

**APOPKA CITY COUNCIL AGENDA**  
February 06, 2019 1:30 PM  
APOPKA CITY HALL COUNCIL CHAMBERS

**CALL TO ORDER**  
**INVOCATION**  
**PLEDGE**

**APPROVAL OF MINUTES:**

1. City Council regular meeting January 16, 2019.

**AGENDA REVIEW**

**PRESENTATIONS:**

1. Presentation of Grant Award
2. Wellness Program

Wil Sanchez  
Tangela Whaley

**PUBLIC COMMENT PERIOD:**

The Public Comment Period is for City-related issues that may or may not be on today's Agenda. If you are here for a matter that requires a public hearing, please wait for that item to come up on the agenda. If you wish to address the Council, you must fill out an Intent to Speak form and provide it to the City Clerk prior to the start of the meeting. If you wish to speak during the Public Comment Period, please fill out a green-colored Intent-to-Speak form. If you wish to speak on a matter that requires a public hearing, please fill out a white-colored Intent-to-Speak form. Speaker forms may be completed up to 48 hours in advance of the Council meeting. Each speaker will have four minutes to give remarks, regardless of the number of items addressed. Please refer to Resolution No. 2016-16 for further information regarding our Public Participation Policy & Procedures for addressing the City Council.

**CONSENT (Action Item)**

1. Authorize the issuance of blanket purchase orders.
2. Signing of Amendment #1 to Contract #W1136 with the Department of Corrections for an inmate work squad.
3. Authorize a replacement Purchasing Card and E-Payables Program.
4. Approval of alcohol sales at the Apopka BBQ Showdown at the Northwest Recreation Complex on February 9th, 2019.

**BUSINESS (Action Item)**

1. Final Development Plan and Plat – Fairfield Inn & Self-Storage  
Project: Farish Enterprises, LLC  
Location: 1616 East Semoran Boulevard  
Jean Sanchez
2. Final Development Plan/Plat – Vista Reserve  
Project: Pulte Home Company, LLC  
Location: East side of Rogers Road, approx. ½ mile north of the intersection of Rogers Road & Lester Road  
Jean Sanchez
3. Ratify two agreements with Stryker and their associated expenditures.  
Wil Sanchez

**PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)**

1. Ordinance No. 2702 Second Reading - Small Scale – Future Land use Amendment  
Project: Construesse USA, Inc.  
Location: 2600 Rock Springs Road.  
Phil Martinez
2. Ordinance No. 2705 – Second Reading – Small Scale – Future Land Use Amendment  
Project: William & Cecilia Uebel and Jose & Iris Acevedo  
Locations: 355, 363, and 371 West Kelly Park Road.  
Phil Martinez
3. Ordinance No. 2706 – Second Reading - Change of Zoning  
Project: William & Cecilia Uebel and Jose & Iris Acevedo  
Locations: 355, 363, and 371 West Kelly Park Road.  
Phil Martinez

- 4. Ordinance No. 2690 – First Reading/Transmittal - Large Scale – Future Land Use Amendment David Moon  
Project: Carrol M. Hamrick  
Location: North of West Ponkan Road, west of Mt. Sterling Avenue
  
- 5. Ordinance No. 2709 – First Reading – Amendment - PUD Master Plan/Preliminary Development Plan Bobby Howell  
Project: Mid-Florida Freezer Warehouses LTD; Florida Express Trucking, Inc.; Eagles Landing at Ocoee, LLC.  
Location: West side of SR 429, south of General Electric Road, and east of Hermit Smith Road
  
- 6. Ordinance No. 2710 – First Reading – Vacate – Public Right-of-Way Jean Sanchez  
Project: City of Apopka  
Location: East of S.R. 414 and west of South Hawthorne Avenue
  
- 7. Ordinance No. 2712 – First Reading - Annexation Bobby Howell  
Project: City of Apopka  
Location: 3251 Harry Street (Lift Station)
  
- 8. Resolution 2019-03 - FY18/19 Budget Amendment Jamie Roberson

**CITY COUNCIL REPORTS**

- 1. Presentation with Girl Scouts 2 troops STEM Project Commissioner Nolan

**CITY ADMINISTRATOR REPORT**

- 1. Appointment of Kevin Becotte as the Public Services Director

**MAYOR’S REPORT**

**ADJOURNMENT**

**MEETINGS AND UPCOMING EVENTS**

DATE	TIME	EVENT
February 8, 2019	5:00PM – 10:00PM	Apopka BBQ Showdown – NW Recreation Complex
February 9, 2019	11:00AM – 6:00PM	Apopka BBQ Showdown – NW Recreation Complex
February 12, 2019	5:30PM – 7:30PM	Planning Commission
February 16, 2019	11:00AM – 12:00PM	Cookies & Milk with a Cop – NW Orange/Apopka Library
February 20, 2019	7:00PM	City Council Meeting
March 6, 2019	1:30PM	City Council Meeting
March 16, 2019	11:00AM – 12:00PM	Cookies & Milk with a Cop – NW Orange/Apopka Library

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.

## CITY OF APOPKA

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### Minutes of the regular City Council meeting held on January 16, 2019, at 7:00 p.m., in the City of Apopka Council Chambers.

PRESENT: Mayor Bryan Nelson  
Commissioner Kyle Becker  
Commissioner Alice Nolan  
Commissioner Alexander Smith  
City Attorney Joseph Byrd  
City Administrator Edward Bass

ABSENT: Commissioner Doug Bankson (excused)

PRESS PRESENT: Teresa Sargeant - The Apopka Chief

**INVOCATION:** - Mayor Nelson called on Reverend Kelli Bankson, Victory Church, who gave the invocation.

**PLEDGE OF ALLEGIANCE:** Mayor Nelson introduced Student Government Student Secretary Astoria Becket from Apopka High School who led in the Pledge. She said on this day, January 16th 1883, President Chester A. Arthur signed the Pendleton Act into law. After the assassination of President Garfield by a disgruntled, deranged office seeker, the act mandated that positions within the federal government should be awarded on the basis of merit instead of political affiliation.

#### **APPROVAL OF MINUTES:**

1. City Council regular meeting January 2, 2019.

**MOTION by Commissioner Nolan, and seconded by Commissioner Becker, to approve the minutes of January 2, 2019. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith and Nolan voting aye.**

**AGENDA REVIEW** – No changes

#### **PUBLIC COMMENT; STAFF RECOGNITION AND ACKNOWLEDGEMENT**

##### **Public Comment:**

Bob Stamps said he was here representing Orange Audubon Society Apopka Birding Park Committee. He thanked Mayor Nelson for moving forward with the cleanup and restoration of the Hickerson property now known as the Apopka Birding Park. He said there was a great deal of enthusiasm and anticipation regarding the future opening of this 69.5 acre city park, stating it is a unique place where people can enjoy the outdoors, hike, bike, and enjoy the wildlife. He thanked the Orange Audubon Society members, City Commissioners, Mayor Nelson, and the cub scouts and boy scouts that helped with the cleanup on the property. He stated the volunteer efforts saved the city and showed a great example of the community working together.

## CONSENT

1. **To authorize closure of roads during the Martin Luther King Jr. Parade.**
2. **Authorize the issuance of blanket purchase orders.**
3. **Sewer and Water Capacity Agreement for Bridlewood Subdivision.**

**MOTION by Commissioner Smith, and seconded by Commissioner Nolan, to approve three items on the Consent Agenda. Motion carried unanimously with Mayor Nelson and Commissioners Becker, Smith and Nolan voting aye.**

Mayor Nelson said Commissioner Bankson is in Israel on a mission and took with him three shirts embroidered with the American Flat, the Israeli Flag, and on the sleeve the City of Apopka logo and the person's name it was being given.

## BUSINESS

1. **Final Development Plan–CJS Holding (Lake Gem Lot 1)**  
**Project: Property Industrial Enterprises, LLC c/o Michael R. Cooper**  
**Location: 701 Marshall Lake Road**

Jean Sanchez, Planner, provided a brief lead-in reviewing the location of the project on a map and providing surrounding land-uses. The request is to approve the CJS Holding Final Development Plan. The parcel is in the Industrial Park Lake Gem Commerce Center, Lot 1. One of the conditions is that each lot go through the site plan approval process. The proposed building is 13,600 sq. ft. in size and 33 feet in height. Ingress and egress access is via Marshall Lake Road. There will be 32 parking spaces provided, including two handicap spaces. She reviewed the landscape plan. The Planning Commission recommends approval subject to the findings of the staff report. The recommendation is to approve the CJS Holding Final Development Plan.

Mayor Nelson opened the meeting to a public comment. No one wishing to speak he closed the public comment.

Mayor Nelson asked that they make sure the pines proposed are not susceptible to the beetle destroying pine trees.

**MOTION by Commissioner Smith, and seconded by Commissioner Nolan to approve the Final Development Plan for CJS Holding. Motion carried unanimously with Mayor Nelson and Commissioners Becker, Smith, and Nolan voting aye.**

2. **Road Closures on McGee Avenue and East 6th Street**  
**Project: City Center – Off-Site Road Improvements.**

Pam Richmond, Transportation Planner, reviewed the road closures on McGee Avenue and East 6<sup>th</sup> Street for the City Center road improvements. There are two closures in the packet and a third brought to her attention today was handed out, all related to the City Center. McGee Avenue from south of the Burger King to 6<sup>th</sup> Street and 6<sup>th</sup> Street closures in two segments from Tilden to Christiana and from McGee to Tilden. These closures are necessary for the offsite roadway improvements while building the hotel. They are coordinating with the Police and Fire Departments and Public Services to minimize the inconvenience as much as possible. The third closure is next Tuesday from 8:00 a.m. to 12:00 noon for the closure of East 6<sup>th</sup> Street. The recommendation is to approve the road closures as submitted.



In response to Mayor Nelson as to this being poste on the City’s website, Ms. Richmond responded in the affirmative.

**MOTION by Commissioner Nolan, and seconded by Commissioner Becker to approve the road closures on McGee Avenue and East 6<sup>th</sup> Street as presented. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

**3. Transportation Impact Fee Update Study – Tindale Oliver**

**Project: City of Apopka**

Ms. Richmond reported that in March of last year Council approved negotiations with Tindale Oliver on a Transportation Fee Study update. The negotiated amount is \$121,820 and they would request authorization for this amount in order to move forward with the study. She affirmed this will be more than an impact fee update, it will also include prioritization of road improvements and update to the transportation element of the comprehensive plan and capital improvements plan.

Mayor Nelson opened the meeting to public comment. No one wishing to speak, he close the public comment.

**MOTION by Commissioner Nolan, and seconded by Commissioner Smith to approve the amount of \$121,820 in expenditures for Oliver Tindale to conduct the Transportation Impact Fee Study. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

Commissioner Becker said it was worth noting that the City did amount \$1.7 million in Transportation Impact Fees in 2017. He stated to spend \$122,000 to get us to a level where we can potentially be where we should be and what we stand to gain.

**4. Authorize the agreement and associated expenditure for Axon Enterprises, Inc.**

Deputy Chief Fernandez said they had discussed the purchase of Tasers during the prior budget and it was decided to replace the Tasers through a five-year agreement, spreading the payments out. The first year was funded and last October it was determined this did not need to come back to Council. However, when they received the second year’s payment it was discovered that the capital lease had not been placed on the books. They are back for transparency to make sure Council knows and understands what this covers.

**MOTION by Commissioner Smith, and seconded by Commissioner Nolan to authorize the agreement and associated expenditure for Axon Enterprises, Inc. for Tasers. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

**PUBLIC HEARINGS/ORDINANCES/RESOLUTION**

1. Ordinance No. 2699 - Second Reading - Change of Zoning – Overlay District Master Plan  
Project: Orlando Beltway West Parcel  
Location: 5401 Effie Drive  
The City Attorney read the title as follows:

**ORDINANCE NO. 2699**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 (ZIP) TO “CITY” KELLY PARK INTERCHANGE MIXED-USE (KPI-MU), AND ASSIGNING A KELLY PARK CROSSING EMPLOYMENT MEDTECH CAMPUS OVERLAY DISTRICT, FOR CERTAIN REAL PROPERTY GENERALLY LOCATED WEST OF STATE ROAD 429 AND EAST OF EFFIE DRIVE, SPECIFICALLY LOCATED AT 5401 EFFIE DRIVE, COMPRISING 51.0 ACRES MORE OR LESS, AND OWNED BY ORLANDO BELTWAY ASSOCIATES; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.**

Bobby Howell, Senior Planner, said there have been no changes since the first reading.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

**MOTION by Commissioner Nolan, and seconded by Commissioner Becker to adopt Ordinance No. 2699. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

2. Ordinance No. 2707 – Second Reading - Annexation  
Project: Ramjit Bhoodram Life Estate, Ramjit Ethel R Life Estate, Rem: Ramjit Family Trust  
Location: 2378 Marden Road  
The City Attorney read the title as follows:

**ORDINANCE NO. 2707**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY RAMJIT BHOODRAM LIFE ESTATE, RAMJIT ETHEL R. LIFE ESTATE, REM: RAMJIT FAMILY TRUST; LOCATED AT 2378 MARDEN ROAD; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

Mr. Howell said there have been no changes since the first reading.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

**MOTION by Commissioner Nolan, and seconded by Commissioner Smith, to adopt Ordinance No. 2707. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

3. Ordinance No. 2702 – First Reading - Small Scale – Future Land Use Amendment  
Project: Construesse USA, Inc.  
Location: 2600 Rock Springs Road.  
The City Attorney read the title as follows:

**ORDINANCE NO. 2702**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” LOW DENSITY RESIDENTIAL TO “CITY” RESIDENTIAL LOW SUBURBAN FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF WEKIVA POINTE CIRCLE AND WEST OF ROCK SPRINGS ROAD, COMPRISING 9.59 ACRES, MORE OR LESS AND OWNED BY CONSTRUESSE USA, INC.; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

Phil Martinez, Planner, provided a brief lead-in for the project, reviewing the location on an aerial map and surrounding uses. The subject property annexed on October 17, 2018, and is waiting an application for city zoning. On January 8, 2019, the Planning Commission found the proposed future land-use amendment consistent with the comprehensive plan and recommended approval. The recommendation is to accept Ordinance 2702 at first reading and carry it over for second reading and adoption.

Montaz Barq, Terra-Max Engineering, representing the applicant said they agreed with the staff report and were present to answer any questions.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

**MOTION by Commissioner Nolan, and seconded by Commissioner Becker, to approve Ordinance No. 2702 for first reading and carry over for a second reading. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

4. Ordinance No. 2705 – First Reading – Small Scale – Future Land Use Amendment  
Project: William & Cecilia Uebel and Jose & Iris Acevedo  
Locations: 355, 363, and 371 West Kelly Park Road.  
The City Attorney read the title as follows:

**ORDINANCE NO. 2705**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE AOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE ESIGNATION FROM COMMERCIAL TO**

**RESIDENTIAL VERY LOW SUBURBAN (0-2 DU/AC) FOR CERTAIN REAL PROPERTY LOCATED NORTH OF W. KELLY PARK ROAD AND WEST OF MT. PLYMOUTH ROAD, COMPRISING 1.36 ACRES MORE OR LESS, AND OWNED BY WILLIAM & CECILIA UEBEL AND JOSE & IRIS ACEVEDO; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

Mr. Martinez said the applicant was proposing a small-scale future land-use amendment from Commercial to Residential very low suburban. He reviewed the location of the property and surrounding uses on an aerial map. The intent is to create a legal conforming use for the houses on the property. The property is currently zoned C-1 with an application for rezoning to R-1 to be covered in the next agenda item. The Planning Commission recommends approval. The recommendation is to accept Ordinance 2705 at first reading and carry over for a second reading and adoption.

Denny Shiver with Lou Haubner Realty is representing the applicants said he was present to answer any questions.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

**MOTION by Commissioner Nolan, and seconded by Commissioner Smith, to approve Ordinance No. 2705 at first reading and carry over for a second reading. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

5. Ordinance No. 2706 – First Reading - Change of Zoning  
Project: William & Cecilia Uebel and Jose & Iris Acevedo  
Locations: 355, 363, and 371 West Kelly Park Road.  
The City Attorney read the title as follows:

**ORDINANCE NO. 2706**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM C-1 (COMMERCIAL RETAIL DISTRICT) TO R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) FOR CERTAIN REAL PROPERTY LOCATED NORTH OF WEST KELLY PARK ROAD AND WEST OF MT. PLYMOUTH ROAD, COMPRISING 1.36 ACRES MORE OR LESS, AND OWNED BY WILLIAM & CECILLIA UEBEL AND JOSE & IRIS ACEFEDO PROVING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

Mr. Martinez said the applicant is proposing zoning from C-1 to R-1 for the same property as the previous agenda item. The finding are the same as previously reviewed. The proposed R-1 zoning is compatible with the proposed Residential very low suburban land-use. The Planning Commission recommends approval. The recommendation is to accept Ordinance 2706 at first reading and carry it over for second reading and adoption.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

**MOTION by Commissioner Smith, and seconded by Commissioner Nolan to approve Ordinance No. 2706 and at first reading carry over for a second reading. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

6. Ordinance No. 2700 – First Reading – Land Development Code Update

Project: City of Apopka

The City Attorney read the title as follows:

**ORDINANCE NO. 2700**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, ADOPTING AND ENACTING A NEW CODE FOR THE LAND DEVELOPMENT CODE, PROVIDING FOR THE REPEAL OF CERTAIN ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; PROVIDING A PENALTY FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.**

Jim Hitt, Community Development Director, said they have been working on the rewrite of the Land Development Code (LDC) for close to two years. This is the first complete rewrite of the Land Development Code. He advised there were carryovers from the previous code, but as discussed and reviewed in joint meetings there have been numerous amendments. The primary concern is to make the code more user friendly with more diagrams added and more explanations. The RFQ was awarded to Clarion and Associates in December 2017. Since then there have been several joint meetings with Council and the Planning Commission. He reviewed some of the highlights such as: new graphics have been added; incorporated the Design Guidelines and Form Base Code; they have consolidated some of the zoning categories and added some new categories; consolidation of the downtown area; consolidated the mixed-use districts in one area; restructured the approval process for developments making them easier to follow and shorten the timeframe for review; added a new complete streets section; updated parking regulations; and added a new airport district and regulation maps. He reviewed the zoning districts and the recommended square footage in the new LDC. Planning Commission recommended approval with the inclusion of ADA language regarding van accessible parking spaces. He advised that staff recommends deleting the Small Lot Overlay district. If someone desires this type of development, a PD can be applied for and go through that process.

Craig Richardson, Clarion and Associates, provided a presentation high lighting key points in the new Land Development Code. He said there has been a reorganization of the document making it more logical in terms of structure. He said there are ten articles and it is organized with the permitting applications all in Article 2, zoning districts and use regulations are in Articles 3 & 4, and then all of the development standards are together in Articles 5 & 6. He

went on highlighting areas and pointed out that the official zoning district map is in Article 1. The end of Article 1 contains the transition from the existing code to the new Land Development Code. This transition area also allows for an applicant that applied under the old code may continue under the old code. However, a provision provides for the applicant to withdraw and submit under the new code if they desire. Any existing development approvals will be recognized as legitimate and may proceed with the terms and conditions of that approval. He advised Article 2 consolidates all the development review procedures. In the beginning of this article, there is a summary table for the review process. The new code has a set of standard procedures that apply to all development applications. The final section deals with the individual development applications. They have modernized and streamlined the Planned Development (PD) procedure making it more user friendly. The new code allows minor Planned Developments to be reviewed and decided by the Development Review Committee. He pointed out that threshold levels have been increased so that a major PD is 300 residential units, as well as increasing the nonresidential standards. An administrative adjustment provision has been added as discussed at the joint workshop. This provision allows for minor modifications, subject to review criteria. He pointed out that there has been consolidation of districts that were similar, and created a residential mixed-use district. He spoke of graphics and photographs making the new code more user friendly. He spoke of the downtown and how many of the provisions were consolidated and created a downtown that supports more walkable development and more flexibility. They carried forward the Kelly Park Form Base Code and drafted provisions for the east shore. Use regulations were consolidated into a table in Article 4 that organizes and identifies each of the uses and districts where they are permitted. He said there was a parking standard table that can be utilized to determine the parking standards for the development. There were two sets of parking standards that he reviewed. He stated landscaping and buffering have been modernized and they have added foundation-planting standards, plant diversity requirements, and the water wise standards were carried forward. There is more flexibility with the buffering standards and options available. He advised most open space standards exceed or are equal to the current requirements. They have added neighborhood compatibility standards. There are also green building standards that can be utilized.

Commissioner Becker said the Planning Commission has one recommendation regarding accessible parking and asked if this was the only formal recommendation.

Mr. Hitt responded in the affirmative.

Commissioner Becker asked what this would look like once it is codified, to which Mr. Richardson said they have discussed codification of this document with Municode and they can translate around 90% of the graphics in Municode.

Commissioner Becker asked what happens when there are conflicts with definitions of like terms elsewhere in our ordinances to which Mr. Richardson said the definitions in the Land Development Code are the definitions that will be utilized in the LDC. He stated the most restrictive provision would prevail, whether in the LDC, Statutes, or other Ordinance.

Commissioner Becker advised an email was received from Derek Ryan regarding landscaping concerns. He asked if they had input from landscaping experts so that they feel confident the

LDC landscaping code will hold up. He also stated he felt 300 was a high threshold before a major development is brought before Council.

Commissioner Nolan agreed this was a large threshold and said citizens like that these come to Council and held accountable. She stated Council needs to continue having a say in these developments.

Discussion was also held regarding a small lot zoning district and Council having the flexibility of deciding what is right for the City. It was the consensus that 50 residential lots or more and 50,000 square feet or more for commercial come before Council.

Mayor Nelson suggested pushing the second reading out to the second meeting in February in order to allow time to review and make the suggested amendments.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

**MOTION by Commissioner Nolan,, and seconded by Commissioner Smith, to approve Ordinance No. 2700 and carry over for a second reading on February 20, 2019 with the following amendments: residential 50 lots or more and 50,000 sq. ft. for commercial has to come before Council; add permit uses for marijuana, remove small lot district and small lot overlay district, change square footage for residential, and add service repair shops. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

7. Resolution 2019-02 - FY18/19 Budget Amendment  
The City Attorney read the title as follows:

**RESOLUTION NO. 2019-02**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, AMENDING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2018 AND ENDING SEPTEMBER 30, 2019, PROVIDING FOR A BUDGET AMENDMENT.**

Jamie Roberson, Finance Director, reviewed the budget amendments to the FY 18/19 Budget.

Mayor Nelson opened the meeting to a public hearing. No one wishing to speak, he closed the public hearing.

**MOTION by Commissioner Nolan, and seconded by Commissioner Smith, to approve Resolution No. 2019-02. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

Mayor Nelson said Tangela Whaley brought to his attention that some municipalities are waiving fines and late fees and arranging payments for utility billing for Federal employees with the government shutdown. Ms. Roberson advised we already have policies in place for payment arrangements. She said they could research this further with regard to late fees. Commissioner

Nolan said Soccer enrollment was going on and suggested taking it a step further and look into working with Federal employees with regard to Parks and Recreation programs.

**MOTION by Commissioner Nolan, and seconded by Commissioner Smith to work with Federal employees to waive any fines and work on payments for utility billing and Parks and Recreation programs as discussed. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

**CITY ADMINISTRATOR’S REPORT** – City Clerk Goff reported that Susan Bone, Deputy City Clerk, has earned the designation of Certified Municipal Clerk (CMC), awarded by the International Institute of Municipal Clerks after three or more years of taking continuing education classes.

**CITY COUNCIL REPORTS**

Commissioner Nolan reported the Apopka Historical Society will be holding a meeting on January 27<sup>th</sup> at 2:00 p.m. at the Museum and they will be discussing what they will be doing this upcoming year.

**MAYOR’S REPORT**

1. Appointment of Vice Mayor Bankson as the alternate MetroPlan Member.  
**MOTION by Commissioner Becker, and seconded by Commissioner Smith to appoint Vice Mayor Bankson as the alternate MetroPlan member. Motion carried unanimously with Mayor Nelson, and Commissioners Becker, Smith, and Nolan voting aye.**

Mayor Nelson reported starting next month disbursements will be part of the consent agenda. He also reported on January 26, 2019, the City of Apopka would partner with Orange County distributing Bear Carts in front of the old Albertson’s from 10:00 a.m. to 2:00 p.m. They will also have information regarding recycling.

Commissioner Nolan reminded everyone of the Martin Luther King Parade on Monday.

**ADJOURNMENT:** There being no further business the meeting adjourned at 9:03 p.m.

\_\_\_\_\_  
Bryan Nelson, Mayor

ATTEST;

\_\_\_\_\_  
Linda F. Goff, City Clerk





## Office of Medical Director, Orange County EMS

2002-A East Michigan Street, Orlando, Florida 32806  
Telephone (407) 836-8960 ■ Fax (407) 836-7625

January 14, 2019

Captain Wil Sanchez  
City of Apopka Fire Department  
175 East 5<sup>th</sup> Street  
Apopka, FL 32703

Dear Captain Sanchez:

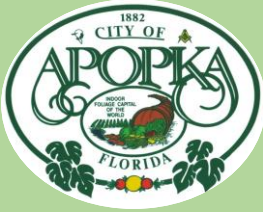
The Orange County EMS Advisory Council and the EMS Finance Committee would like to congratulate you on the award of the EMS County Grant in the amount of \$32,702.25 for (1) LIFEPAK Monitor and accessories for the Apopka Fire Department and the County-wide EMS system.

The decision was based on a standard criteria and scoring process that was applied equally to all applicants. The Orange County EMS Finance Committee will oversee the grant awards and expects quarterly updates on costs and progress.

The purchasing process will begin on February 1, 2019. **All goods and services must be purchased by September 30, 2019 the end of the grant.** You will need to provide our office with three current quotes made out to the Office of the Medical Director for the educational materials and/or equipment to be purchased. Please send all information to Crystal Ford at [Crystal.Beatty@ocfl.net](mailto:Crystal.Beatty@ocfl.net) or you may contact her for additional information and any questions regarding the grant money or the process of selection at 407-836-9392.

Sincerely,

Christian Zuver, M.D.  
Medical Director  
Orange County EMS System  
On behalf of the  
Orange County EMS Advisory Council Board



# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: February 6, 2019  
 FROM: Purchasing  
 EXHIBITS:

**SUBJECT: PURCHASE OF COMMODITIES/SERVICES**

**REQUEST: APPROVE THE ISSUANCE OF BLANKET PURCHASE ORDERS FOR FISCAL YEAR 2018/2019**

**SUMMARY:**

The departments purchase large amounts of various commodities in its daily operations including equipment, tooling, and services throughout the year. This purchasing is accomplished through piggybacking other municipalities, state contracts and evaluated sources which provide the best cost savings for the quantities that are utilized.

In accordance with Section 107.3.1.2(IV) (A), of the City’s Purchasing Policy, Staff requests approval to issue blanket purchase orders to the following vendors for the purchase of the referenced commodities. The amounts shown will remain within the approved FY19 budget.

Department	Vendor	Commodity	Amount	Pricing Source
Recreation	TruGreen	Athletic Fields/Grounds Field Care, Fertilizer & Pest Control	\$114,582	Orange County Public Schools *see note below*
Public Services	Michigan St. Pump & Electric	Lift Station Pump Repair	\$190,000	Evaluated Source
Public Services	S & S Concrete	Concrete – sidewalks, curb repairs & driveways	\$60,000	Evaluated Source
Public Services	P.J.Q. Inc.	Concrete – sidewalks, curb repairs & driveways	\$30,000	Evaluated Source

\* TruGreen: The full amount of \$114,582 for the fiscal year is dependent on an extension of the contract with Orange County Public Schools. If a contract is not executed the department will return for further action and approval.

**FUNDING SOURCE:**

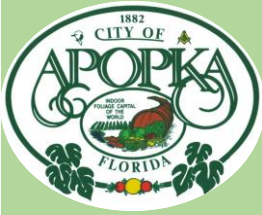
Approved FY19 budget.

**RECOMMENDATION ACTION:**

Approve the issuance of blanket purchase orders to the referenced vendors for the purchases listed.

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: February 6, 2019  
FROM: Public Services  
EXHIBITS: Amendment 1

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**SUBJECT: INMATE WORK SQUAD CONTRACT #W1136 AMENDMENT #1**

**REQUEST: APPROVE AMENDMENT #1 OF THE CONTRACT WITH THE DEPARTMENT OF CORRECTIONS**

---

**SUMMARY:**

On March 7, 2018, the City Council approved Inmate Work Squad Contract #W1136, for one-year with the potential for one one-year extension. The City Council approved the contract to go into effect March 30, 2018. The current contract will expire March 29, 2019. The attached contract amendment will allow for a final one-year extension to expire on March 29, 2020. The cost will remain the same at \$57,497.00.

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**FUNDING SOURCE:**

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**RECOMMENDATION ACTION:**

Authorize the Mayor or his designee to sign Amendment #1 to Contract #W1136 with the Department of Corrections for an inmate work squad.

---

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Manager	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**CONTRACT AMENDMENT BETWEEN  
THE FLORIDA DEPARTMENT OF CORRECTIONS  
AND  
CITY OF APOPKA**

This is an Amendment to the Contract between the Florida Department of Corrections (“Department”) and the City of Apopka (“Agency”), to provide for the use of inmate labor in work programs.

This Amendment:

- Renews the Contract for one (1) year pursuant to Section I., B., Contract Renewal; revises the end date of the Contract referenced in Section I., A., Contract Term. The Department is exercising its renewal option for one (1) year of the renewal term. A renewal term of two (2) years remain in the Contract.
- Revises Section II., B., 3., Communications Equipment, third paragraph;
- Revises Section IV., CONTRACT MANAGEMENT, first paragraph; and
- Revises Addendum A, third line.

Original Contract Term: March 30, 2018 through March 29, 2019

In accordance with Section V., **CONTRACT MODIFICATIONS**, the following changes are hereby made:

1. Section I., CONTRACT TERM/RENEWAL, A., Contract Term is hereby revised to read:

I. A. Contract Term

This Contract shall begin on March 30, 2018, or the last date of signature by all parties, whichever is later.

This Contract shall end at midnight on March 29, 2020.

This Contract is in its first renewal term.

2. Section II., B., 3., Communications Equipment, third paragraph, is hereby revised to read:

II. B. 3. Communications Equipment

At the end or termination of this Contract, the Department's Contract Manager will contact the Department's Utility Systems/Communications Engineer in the Office of Institutions, to effectuate the deprogramming of radio communications equipment provided by the Agency.

3. Section IV., CONTRACT MANAGEMENT, first paragraph, is hereby revised to read:

**IV. CONTRACT MANAGEMENT**

The Department will be responsible for the project management of this Contract. The Department has assigned the following named individuals, addresses, and phone numbers as indicated, as the Department's Contract Manager and the Department's Contract Administrator for the Project.

4. Addendum A, third line, is hereby revised to read:

Interagency Contract Number W1136, Amendment #1 Effective March 30, 2019.

**REMAINDER OF THIS PAGE INTENTIONALLY LEFT BLANK**

All other terms and conditions of the original Contract remain in full force and effect.

This Amendment shall begin on the last date of signature by all parties.

IN WITNESS THEREOF, the parties hereto have caused this Amendment to be executed by their undersigned officials as duly authorized.

**AGENCY: CITY OF APOPKA**

SIGNED  
BY: \_\_\_\_\_  
  
NAME: \_\_\_\_\_  
  
TITLE: \_\_\_\_\_  
  
DATE: \_\_\_\_\_  
  
FEIN: 59-6000265

**FLORIDA DEPARTMENT OF CORRECTIONS**

**Approved as to form and legality, subject to execution.**

SIGNED  
BY: \_\_\_\_\_  
  
NAME: Kasey B. Faulk  
  
TITLE: Chief, Bureau of Procurement  
  
DATE: \_\_\_\_\_

SIGNED  
BY: \_\_\_\_\_  
  
NAME: Kenneth S. Steely  
  
TITLE: General Counsel  
  
DATE: \_\_\_\_\_

**Revised Addendum A  
Inmate Work Squad Detail of Costs for City of Apopka  
Interagency Contract Number W1136, Amendment #1 Effective March 30, 2019**

\*\*\*ENTER MULTIPLIERS IN SHADED BOXES ONLY IF TO BE INVOICED TO AGENCY\*\*\*

				Per Officer Annual Cost	Total Annual Cost
<b>I. CORRECTIONAL WORK SQUAD OFFICER SALARIES AND POSITION RELATED-EXPENSES TO BE REIMBURSED BY THE AGENCY:</b>					
Officers Salary	# Officer: Multiplier	1		\$ 54,194.00 **	\$ 54,194.00
Salary Incentive Payment				\$ 1,128.00	\$ 1,128.00
Repair and Maintenance				\$ 121.00	\$ 121.00
State Personnel Assessment				\$ 354.00	\$ 354.00
Training/Criminal Justice Standards				\$ 200.00	\$ 200.00
Uniform Purchase				\$ 400.00	\$ 400.00
Uniform Maintenance				\$ 350.00	\$ 350.00
Training/Criminal Justice Standards *				\$ 2,225.00	
<b>TOTAL - To Be Billed By Contract To Agency</b>				<b>\$ 58,972.00</b>	<b>\$ 56,747.00</b>

\*Cost limited to first year of contract as this is not a recurring personnel/position cost.

\*\* Annual cost does not include overtime pay.

IA. **The Overtime Hourly Rate of Compensation for this Contract is \$31.85, if applicable.** (The Overtime Hourly Rate of Compensation shall include the average hourly rate of pay for a Correctional Officer and the average benefit package provided by the department, represented as time and one half for purposes of this Contract.)

		Number Squads	Total Annual Cost
<b>II. ADMINISTRATIVE COSTS TO BE REIMBURSED BY THE AGENCY:</b>			
Costs include but may not be limited to the following: Rain coats, staff high visibility safety vest, inmate high visibility safety vest, fire extinguisher, first aid kit, personal protection kit, flex cuffs, warning signs, handcuffs, Igloo coolers, portable toilets, insect repellants, masks, vaccinations, and other administrative expenses.			
		1	\$ 750.00
<b>TOTAL - To Be Billed By Contract To Agency</b>			<b>\$ 750.00</b>

**III. ADDITIONAL AGENCY EXPENSES:**

Tools, equipment, materials and supplies not listed in Section II above are to be provided by the Agency.

CELLULAR PHONE WITH SERVICE REQUIRED: YES  NO   
ENCLOSED TRAILER REQUIRED: YES  NO

**Revised Addendum A  
Inmate Work Squad Detail of Costs for City of Apopka  
Interagency Contract Number W1136, Amendment #1 Effective March 30, 2019**

<b>IV. OPERATING CAPITAL TO BE ADVANCED BY AGENCY:</b>		<b>Per Unit Cost</b>	<b>Number of Units</b>	<b>Total Cost</b>	<b>Bill To Agency</b>
Hand Held Radio	MACOM	\$4969.00	<input type="checkbox"/>	\$ -	<input type="checkbox"/>
Vehicle Mounted Radio	MACOM	\$5400.00	<input checked="" type="checkbox"/>	\$ -	<input type="checkbox"/>
<b>TOTAL Operating Capital To Be Advanced By Agency</b>				<b>\$ -</b>	<b>Already Exists</b>
			1		<input checked="" type="checkbox"/>

**V. TOTAL COSTS TO BE ADVANCED BY AGENCY:**

1. Operating Capital - from Section IV.
2. **Grand Total - To Be Advanced By Agency At Contract Signing:**

<b>Total Cost</b>
\$0.00
<b>\$0.00</b>

**VI. TOTAL COSTS TO BE BILLED TO AGENCY BY CONTRACT:**

1. Correctional Officer Salaries and Position-Related Expenses - from Section I.
2. Other Related Expenses and Security Supplies - from Section II.
3. **Grand Total - To Be Billed To Agency By Contract:**

<b>Total Cost</b>
\$56,747.00
\$750.00
<b>\$57,497.00</b>

**VII. TOTAL OF ALL COSTS ASSOCIATED WITH CONTRACT:  
(Total of Sections V. and VI.)**

<b>\$57,497.00</b>
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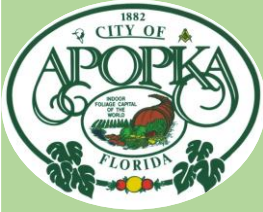
**VIII. OVERTIME COSTS:**

If the contracting Agency requests overtime for the work squad which is approved by the Department, the contracting Agency agrees to pay such costs and will be billed separately by the Department for the cost of overtime.



**Revised Addendum A - INSTRUCTIONS**  
**Inmate Work Squad Detail of Costs for City of Apopka**  
**Interagency Contract Number W1136, Amendment #1 Effective March 30, 2019**

- Section I.** Costs in this section are determined each fiscal year by the Budget and Management Evaluation Bureau and are fixed. By entering the number of Officers required for this contract, the spreadsheet will automatically calculate the "Total Annual Cost" column. If this Work Squad is beyond the first year of existence, enter a zero (0) in the "Total Annual Cost" column for "Training/Criminal Justice Standards" after you have entered the "# Officers Multiplier".
- Section II.** Safety and environmental health procedures require safety measures such as the use of safety signs, vests, and clothing. The Department's procedure for Outside Work Squads requires that all Work Squad Officers be responsible for ensuring their squad is equipped with a first aid kit and a personal protection equipment (PPE) kit. Section II identifies such required equipment. A new squad must be sufficiently equipped and an on-going squad must be re-supplied when needed. Type in the number of squads used for this contract and the spreadsheet will automatically calculate the fixed annual expense of \$750.00 per squad and place the total in Section VI.
- Section III.** Check "Yes" or "No" to indicate whether a Cellular Phone with Service and/or an Enclosed Trailer is required by the Contract Manager.
- Section IV.** The Department's procedure for Outside Work Squads requires that they have at least one (1) primary means of direct communication with the Institution's Control Room. Communication via radio and/or cellular phone is appropriate. It is preferred that a backup, secondary means of communication also be available. It is the Agency's responsibility to provide them. If the Department purchases a radio(s), the Agency must fund the purchase at the time the Contract is signed. Check the box for the type of radio and fill in the Per Unit Cost for the type of radio, Number of Units, and Total Cost columns. Leave the Total Cost column blank if a radio(s) is not being purchased at this time. Check applicable boxes ("Bill to Agency", "Provided by Agency" and "Already Exists") for each radio.  
**NOTE:** All radio communication equipment owned or purchased by the Agency that is programmed to the Department's radio frequency and used by the work squad(s), whether purchased by the Department or the Agency, shall be IMMEDIATELY deprogrammed by the Department at no cost to the Agency upon the end or termination of this Contract.
- Section V.** The total funds the Agency must provide at the time the contract is signed will be displayed here when the form is properly filled out.
- Section VI.** The total funds the Agency will owe contractually, and pay in equal quarterly payments, will be displayed here.
- Section VII.** The total funds associated with the Contract, to be paid by the Agency as indicated in Sections V. and VI., will be displayed here.
- Section VIII.** Any agreement in this area will be billed separately as charges are incurred.



# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: February 6, 2019  
 FROM: Finance Department  
 EXHIBITS:

**SUBJECT: \$5MM SYNOVUS TREASURY MANAGEMENT VISA PURCHASING CARD AND E-PAYABLES PROGRAM TRANSITION**

**REQUEST: REQUEST COUNCIL TO APPROVE FINANCE DIRECTOR AND CITY ATTORNEY TO NEGOTIATE REPLACEMENT OF EXISTING IBERIA BANK PROGRAM \$5MM SPEND WITH SYNOVUS' BANK PROGRAM.**

**SUMMARY:**

On January 13, 2019 the current contract with IBERIA Bank expired which included the City's Purchasing Card and E-Payable Program (processing of electronic payments to our vendors). IBERIA Bank has provided us a 90 day extension. During this period the city needs to find a solution preferably with our existing bank to continue this same type of program. Due to administrative concerns on the reconciliation and accounting process side the finance department recommends that this service be provided by our existing provider Synovus Bank formerly known as Florida Community Bank. Synovus Bank recently acquired Florida Community Bank in January 2019. One advantage of continuing with our existing bank is there will be no \$2,000,000 working capital investment which was required by IBERIA Bank. Additionally, it will make the accounting and reconciliation process smoother.

The previous provider of Florida Community Bank's program prior to becoming Synovus Bank was reviewed by both the City Attorney and the Finance Director and their contract terms and conditions were not acceptable and their response to our concerns were not timely in respect to our 90 day window. While working with our banking representative last week and after their compliance review the opportunity arose that Synovus Bank (new bank) has a program for purchasing cards and e-payables.

There is no cost to the City but a rebate is earned as revenue on all transactions annually. Approval for \$5MM volume of transaction (the approximate volume of current transaction) is required. The City Attorney and Finance Director are still in the review process of the contract and a product demo is scheduled for Monday, February 4, 2019.

**FUNDING SOURCE:**

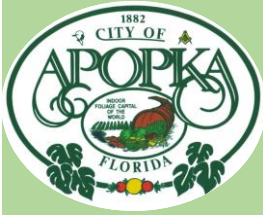
N/A

**RECOMMENDATION ACTION:**

To approve Finance Director and City Attorney to negotiate replacement of existing IBERIA Bank program \$5MM spend with Synovus' Bank Treasury Management Visa Program and E-Payable providing the appointment of Jamie Roberson, Finance Director, as the Program Administrator.

**DISTRIBUTION**

- |                                |                  |                          |
|--------------------------------|------------------|--------------------------|
| Mayor Nelson                   | Finance Director | Public Services Director |
| Commissioners                  | HR Director      | Recreation Director      |
| City Administrator             | IT Director      | City Clerk               |
| Community Development Director | Police Chief     | Fire Chief               |



# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: February 6, 2019  
FROM: Recreation  
EXHIBITS:

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**SUBJECT: ALCOHOL SALES AT THE APOPKA BBQ SHOWDOWN EVENT**

**REQUEST: APPROVAL FOR THE SALE OF ALCOHOL AT THE APOPKA BBQ SHOWDOWN EVENT**

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**SUMMARY:**

Approval of alcohol sales at the Apopka BBQ Showdown event. The event will take place on February 9th, 2019 from 11:00 am - 6:00 pm at the Northwest Recreation Complex. The event will include food vendors, retail vendors, live music and BBQ competition.

On September 3, 2014, City Council adopted ordinance No. 2376 which requires City Council approval for the sale, consumption and carrying of alcoholic beverages on city-owned property during events or programs.

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**FUNDING SOURCE:**

N/A

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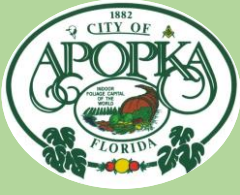
**RECOMMENDATION ACTION:**

**Approve the sale of alcohol at the Apopka BBQ Showdown Event**

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**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Final Development Plan

MEETING OF: February 6, 2019  
 FROM: Community Development  
 EXHIBITS: Vicinity Map  
 Aerial Map  
 Final Development Plan  
 Plat  
 Building Elevations  
 Special Exception Site Plan

**SUBJECT: FAIRFIELD INN & SELF-STORAGE FINAL DEVELOPMENT PLAN & PLAT – SITE PLAN AND SUBDIVISION PLAN**

**REQUEST: APPROVE THE FINAL DEVELOPMENT PLAN & PLAT FOR FAIRFIELD INN & SELF-STORAGE**

**SUMMARY:**

OWNER: Farish Enterprises, LLC  
 ENGINEER: Interplan, LLC, c/o Stuart Anderson, P.E.  
 LOCATION: 1616 East Semoran Boulevard  
 PARCEL ID #: 11-21-28-5600-03-000  
 FUTURE LAND USE: Commercial  
 ZONING: C-2 (General Commercial District)  
 EXISTING USE: Vacant  
 PROPOSED USES: Hotel, Self-Storage Facility and RV Parking  
 BUILDING SIZE: 112,320 square feet; 91 Rooms/51,588 SF - Hotel; 60,732 SF - Storage  
 BUILDING HEIGHT: 53 feet (Hotel) and 35 feet (Self-Storage)  
 FLOOR AREA RATIO: 0.2499 (0.25 Maximum allowed)  
 TRACT SIZE: 12.12 +/- Acres (527,937 square feet)

**FUNDING SOURCE: N/A**

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-2	Aldi’s and RaceTrac Convenience Store
East (City and County)	City Commercial; County Low Medium Density Residential	C-2 and R-2	Single Family Residences; Commercial Uses
South (City and County)	City Medium Density Residential; County Low Medium Density Residential	R-2	Single Family Residences
West (County)	County Commercial	C-2	Vacant

**PROJECT SUMMARY:** City Council approved a preliminary development plan for the Fairfield Inn and Self-Storage project on August 1, 2018, and Planning Commission recommended approval of these preliminary development plans at its meeting held on July 10, 2018.

Further, Planning Commission approved a Special Exception Permit and an associated Special Exception Site Plan on December 13, 2016. The Special Exception allowed for an increase in the maximum building height from 35 feet to 55 for the hotel building.

The Final Development Plan is consistent with both the Special Exception Permit and the Preliminary Development Plan.

Farish Enterprises proposes to replat the McVilla Commerce Park Plat from three lots to four lots. Lot 3 of the McVilla Commerce Center Plat will be subdivided into Lots 3A and 3B. Lot 3B, is the proposed location of a hotel and a storage facility. Lot 3A will function as an outparcel and is situated to Semoran Blvd. A site plan for Lot 3B is included in this Final Development Plan. At a future date, a site plan will be submitted for the vacant outparcel, Lot 3A.

The site plan for Lot 3B includes the hotel and self-storage facility. A service driveway\road connects McVilla Avenue to the western end of Lot 3B and to the eastern property line of outparcel in Lot 3A. A multi-tenant monument sign will be placed in a sign easement at the northeast corner of Lot 3A, and dedicated to the property owner association.

At four stories, the hotel includes 91-lodging units and an outdoor pool. At three stories, the 60,732 square feet self-storage facility will include outdoor storage for recreational vehicles, trucks and other equipment. Located behind the Aldi Grocery Store and the RaceTrac on East Semoran Boulevard, the hotel and self-storage facility have a proposed connection to Semoran from the private driveway, McVilla Avenue.

**BUILDING HEIGHT:** Section 2.02.01(A) of the City’s Land Development Code, mandates a maximum building height of 35’ for all districts. On December 13, 2016, the Planning Commission approved a special exception to allow a maximum building height of fifty-five (55) feet for the hotel. The self-storage facility is in accordance with the previously mentioned building height rule of 35’. The hotel is proposed to have a height of 53 feet.

**PARKING:** The hotel site contains 106 parking spaces of which five are handicapped spaces. And the self-storage facility contains 67 parking spaces of which two are handicapped spaces. In total, applicant proposes 69 more parking spaces than what is required by the Land Development Code. T

applicant has not declared whether joint parking will be allowed between the hotel and self-storage sites, but that capability exists as Lot 3B will occur under one ownership. Per Policy 16.2 (Future Land Use Element of the Comprehensive Plan), “Non-residential development shall use shared parking to the maximum extent feasible in order to minimize impervious surfaces. All parking lots with 100 or more spaces shall be designed with a minimum of twenty (20) percent of the parking spaces in pervious area” Prior to release of the Final Development Plan by Community Development Department, the FDP must be revised to show location and materials for the pervious parking spaces.

**ACCESS/TRANSPORTATION:** Access to the site is via a single full access points on US 441/Semoran Boulevard at McVilla Avenue, a signalized intersection. McVilla Avenue dead ends into this project and provides access to US 441/Semoran Boulevard for Aldi on the west and RaceTrac on the right.

A. Road Jurisdiction.

1. US 441/Semoran Boulevard – State Road.
2. McVilla Avenue – Private.
3. A cross-access easement provides connection between Lot 3A and the Aldi lot, connecting to Semoran Blvd.

B. The project is anticipated to generate 71 PM Peak Hour trips. All project generated traffic is anticipated to exit the site to US 441/Semoran Boulevard, half heading east and half heading west. Sufficient capacity exists to accommodate the addition of trips generated by this project.

C. Road/Intersection Improvements. No roadway or intersection improvements are required.

D. The Plat shall be revised to indicate the access easement is granted to the owner of Parcel 3A, and shall state who has the maintenance responsibility of the cross access easement.

**STORMWATER:** Stormwater run-off and drainage will be accommodated by an on-site retention pond located on the south portion of the project site abutting residential uses/districts and surrounded by a 6-foot tall aluminum fence. The on-site stormwater management system is designed according to standards set forth in the Land Development Code.

**LANDSCAPING/BUFFER:** The site plan shows that parking lots and buildings are proposed to be lined with predominantly Live Oaks and Slash Pines. Live oaks are shown, in addition to a 6-foot tall masonry, concrete or brick wall on the southern boundary and in the 35-foot wide landscaped buffer in the southeastern portion boundary abutting residential zoning districts. The planting materials are consistent with the standards set forth in Ordinance No. 2069.

**SIGNAGE:** Four hundred (400) square feet of area within the proposed outparcel on the northeastern portion that abuts Semoran Boulevard is designated as an area for multitenant monument signage. The Lot 3A outparcel will be created by plat at the time of Final Development Plan. Signage for this development will be permitted separately and must comply with Article VIII of the City’s Land Development Code.

The Plat shall be revised to show the commercial plaza sign tract to be dedicated to the owner of lot 3a and 3b.

**PUBLIC HEARING SCHEDULE:**

January 8, 2019 - Planning Commission (5:30 pm)

February 6, 2019 - City Council (1:30 pm)

---

**RECOMMENDATION ACTION:**

The **Development Review Committee** recommends approval of the Fairfield Inn and Self-Storage Final Development Plan and Plat, subject to the findings of this staff report.

The **Planning Commission**, at its meeting on January 8, 2019, found the Fairfield Inn and Self-Storage Final Development Plan and Plat with the Comprehensive Plan and Land Development Code; and recommended approval of the Final Development Plan and Plat.

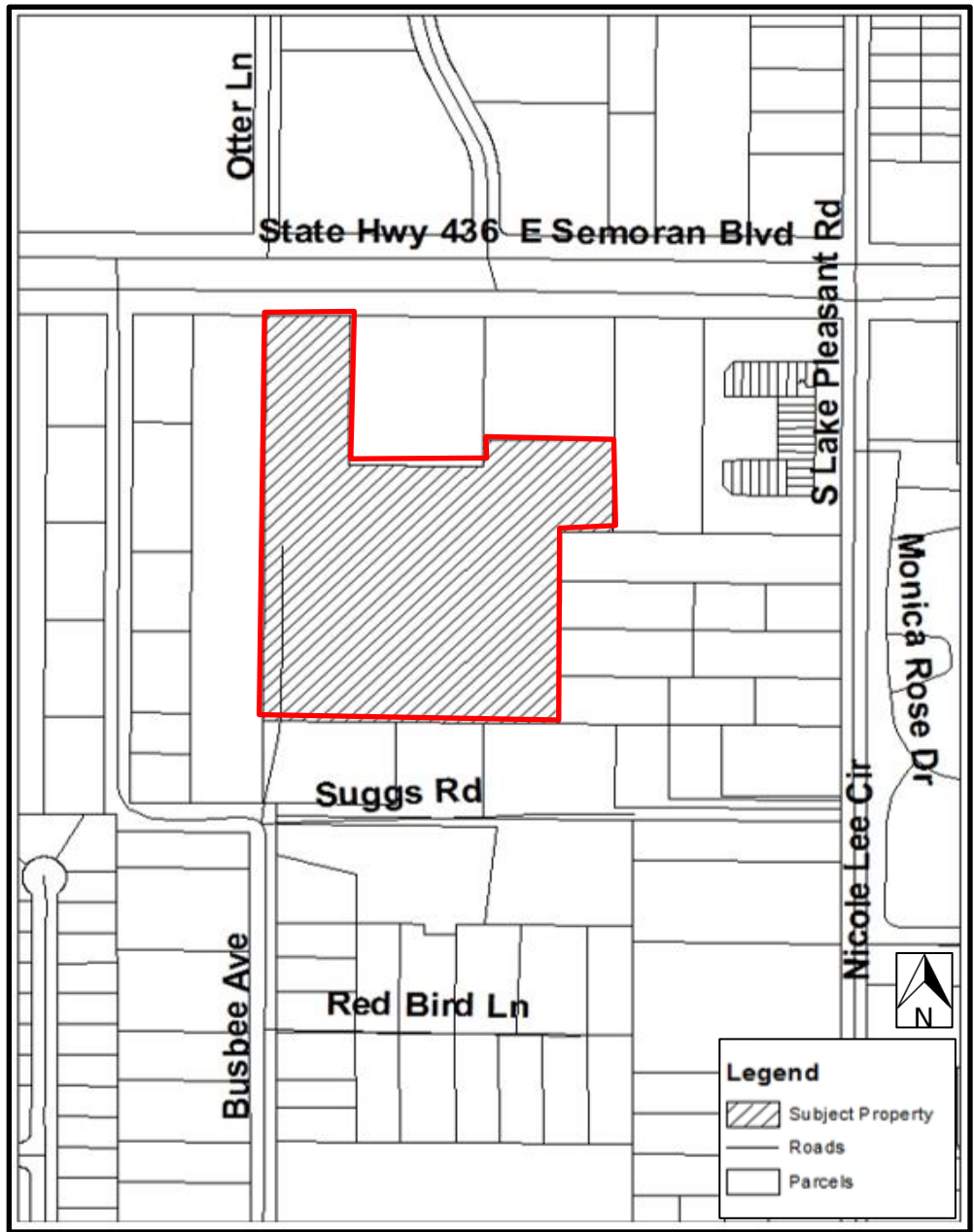
The **City Council**, at its meeting on August 1, 2018, approved the Fairfield Inn and Self-Storage Preliminary Development Plan.

**Recommended Motion:** Approve the Fairfield Inn and Self-Storage Final Development Plan and Plat.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

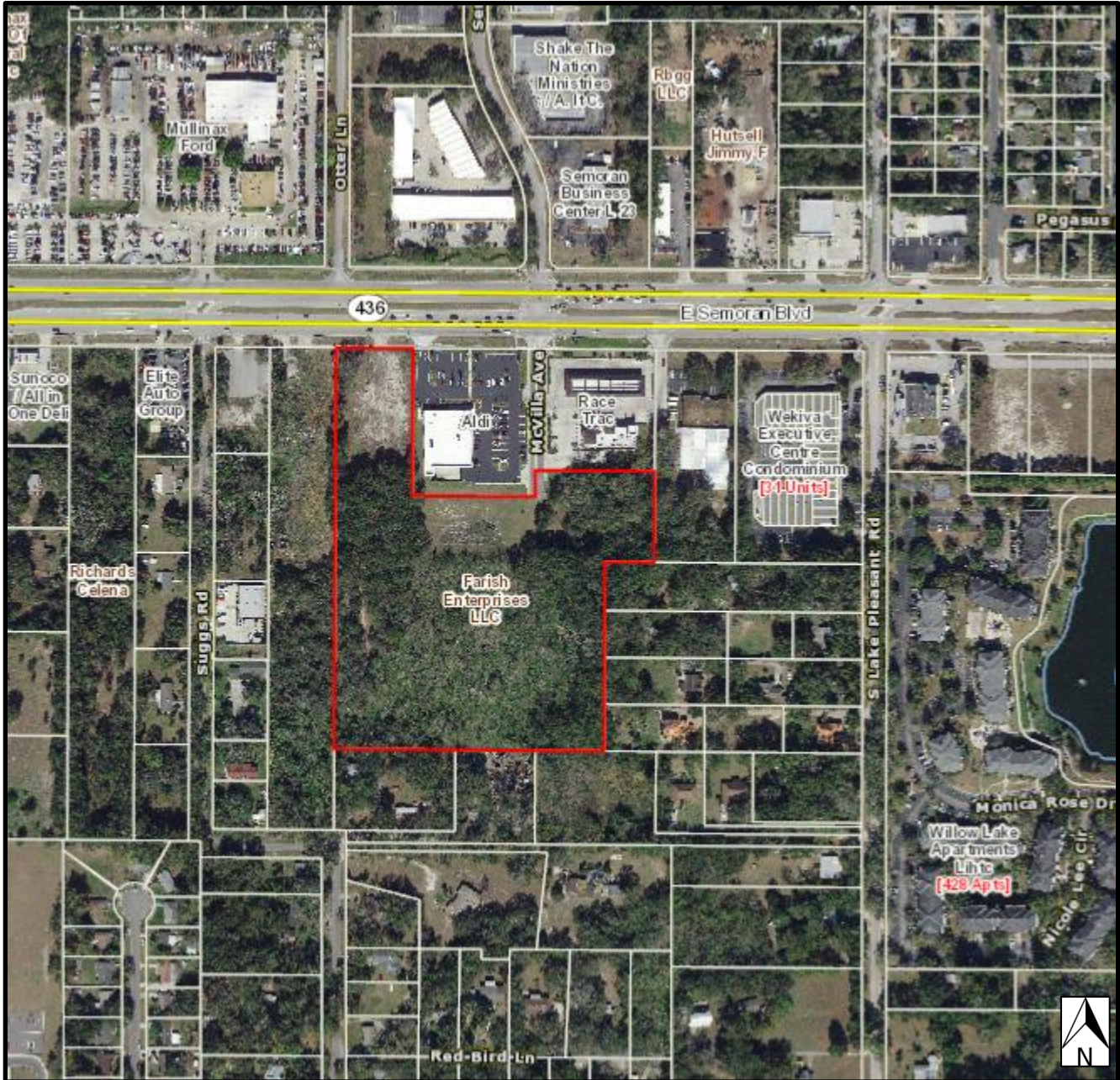
**Project Name:** Fairfield Inn & Self-Storage Final Development Plan & Plat  
**Owner:** Farish Enterprises, LLC  
**Engineer:** Interplan c/o Stuart Anderson, P.E.  
**Parcel I.D. No:** 11-21-28-5600-03-000  
**Location:** 1616 East Semoran Boulevard  
**Total Acres:** 12.12 +/- Acres

### VICINITY MAP





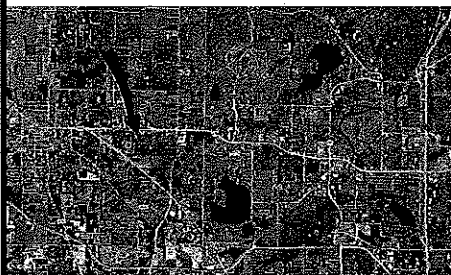
### AERIAL MAP



SEAL:

# FINAL DEVELOPMENT PLAN / SITE AND SUBDIVISION PLAN FOR FAIRFIELD INN AND SELF STORAGE OF APOPKA 1616 E. SEMORAN BLVD. APOPKA, FLORIDA

VICINITY MAP



LOCATION MAP



**SITE DATA**

<b>OVERALL PROJECT AREA</b>		
OUTPARCEL AREA	78,163 SF	1.79 AC
PROJECT AREA	449,524 SF	10.32 AC
OVERALL SITE AREA	527,687 SF	12.11 AC
<b>SITE AREA</b>		
SITE AREA	449,524 SF	10.32 AC
<b>PROPOSED SITE AREAS</b>		
IMPERVIOUS (PAVEMENT/SIDEWALKS)	189,486 SF	24%
(BUILDING (HOTEL))	12,877 SF	3%
(BUILDING (STORAGE))	20,009 SF	4%
TOTAL IMPERVIOUS	142,363 SF	
OPEN SPACE (GREEN)	387,161 SF	69%
<b>ZONING</b>		
FLOOR AREA RATIO (FAR)	COMMERCIAL (C-2)	
3 STORY SELF STORAGE + 4 STORY FAIRFIELD INN (3 x 20,244) + (4 x 12,897)		
= 60,732 + 51,588 = 112,320 SF		
FLOOR AREA RATIO (FAR) = 112,320 / 449,524 = 0.2498 F.A.R.		
<b>BUILDING HEIGHT</b>		
MAX. ALLOWED	55 FT	53 FT (HOTEL)
PROPOSED	35 FT	35 FT (SELF STORAGE)
SPEX16-03 FARIKH ENTERPRISES AT MANILA AVENUE. - ALLOW A BUILDING HEIGHT OF 55 FEET		
<b>BUILDING SETBACKS</b>		
FRONT (NORTH)	30 FT	198 FT
REAR (SOUTH)	30 FT	425 FT
SIDE (EAST)	10 FT	95 FT
SIDE (WEST)	10 FT	28 FT
<b>LANDSCAPE BUFFER</b>		
FRONT (NORTH)	5 FT	185 FT
REAR (SOUTH)	20 FT	354 FT
SIDE (EAST)	20 FT	37 FT
SIDE (WEST)	5 FT	28 FT
<b>PARKING REQUIRED</b>		
HOTEL: 1 SP/ROOM + 1 SP/2 EMPLOYEES	186 SPACES	
+ 1SP/200 SF MEETING SPACE		
=91 ROOMS + 20 EMPLOYEES + 990 SF MEETING SPACE		
SELF STORAGE: 1 SP/250 SF OFFICE	3 SPACES	
800 +/- SF OFFICE		
<b>PARKING PROVIDED (HOTEL)</b>		
REGULAR	181	
HANDICAP	5	
TOTAL	186	
<b>PARKING PROVIDED (STORAGE)</b>		
REGULAR	65	
HANDICAP	2	
TOTAL	67	
PARCEL ID# :11-21-28-5600-03-000		
FUTURE LAND USE: COMMERCIAL		
ADJACENT LAND USE : NORTH COMMERCIAL- SOUTH RESIDENTIAL		
EAST COMMERCIAL & RESIDENTIAL - WEST COMMERCIAL		
ADJACENT ZONING : NORTH: C2, SOUTH: R2,		
EAST: C2 & R2, WEST: C2		
NUMBER OF EMPLOYEES: 30		
PROPOSED NUMBER OF BEDS: 144 BEDS		
WAIVER REQUEST: NO		
VARIANCE REQUEST: NO		

**REVISION ISSUE LOG**

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	REMARKS	BY
1	10-26-18	CITY COMMENTS	CS, C1, C2.1, C3, C4		COB

**SHEET INDEX**

SHT. NO.	DESCRIPTION
CS	COVER SHEET
CIVIL DRAWINGS	
C0	GENERAL NOTES
C1	OVERALL SITE PLAN
C1.1	SITE DIMENSION PLAN
C2	SITE UTILITY PLAN
C2.1	LIFT STATION DETAIL
C3	GRADING & DRAINAGE PLAN
C3.1	STORMWATER POLLUTION PREVENTION PLAN
C4	DETAILS
C4.1	DETAILS
C5	CITY DETAILS
SL1	SITE LIGHTING PLAN
L1	OVERALL LANDSCAPE PLAN
L2	TREE MITIGATION PLAN
L3	TREE MITIGATION PLAN
L4	TREE MITIGATION PLAN
L5	TREE MITIGATION PLAN
L6	LANDSCAPE PLAN
L7	LANDSCAPE PLAN
L8	LANDSCAPE PLAN
L9	LANDSCAPE PLAN
L10	LANDSCAPE PLAN
L11	LANDSCAPE PLAN
L12	LANDSCAPE PLAN
L13	OVERALL IRRIGATION PLAN
L14	IRRIGATION PLAN
L15	IRRIGATION PLAN
L16	IRRIGATION PLAN
L17	IRRIGATION PLAN
L18	IRRIGATION PLAN
L19	IRRIGATION DETAILS
SW-1.0	SECTIONAL RETAINING WALL PLAN
A211	HOTEL ELEVATIONS
A212	HOTEL ELEVATIONS
AB.1	SELF STORAGE ELEVATIONS
-	SURVEY
-	PLAT (2 SHEETS)

**LEGAL DESCRIPTION**

LOT 3, MCVILLA COMMERCE PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 76, PAGE 128 AND 129, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

**OWNER & CONSULTANTS**

**OWNER**  
FARIKH ENTERPRISES  
MANILA AVE & SR 436  
APOPKA, FL 32783

**MANAGER MEMBER:**  
ANIN ALJAMALI  
4680 S ORANGE BLOSSOM TRAIL  
ORLANDO, FL 32839  
PH: (321) 231-4588

**RANZAN CULJAMALI**  
4680 S ORANGE BLOSSOM TRAIL  
ORLANDO, FL 32839

**ARCHITECT**  
INTERPLAN, LLC  
604 COURTLAND ST. SUITE 100  
ORLANDO, FL 32804  
CONTACT: GREG REBLOCK  
PH: (407) 645-5008

**CIVIL ENGINEER**  
INTERPLAN LLC  
604 COURTLAND ST, SUITE 100  
ORLANDO, FL 32804  
CONTACT: CHRIS BURTON  
PH: (407) 645-5008

**FAIRFIELD INN / SELF STORAGE**

1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 8-3-18

**CS**

COVER SHEET  
SHEET 1 OF 30

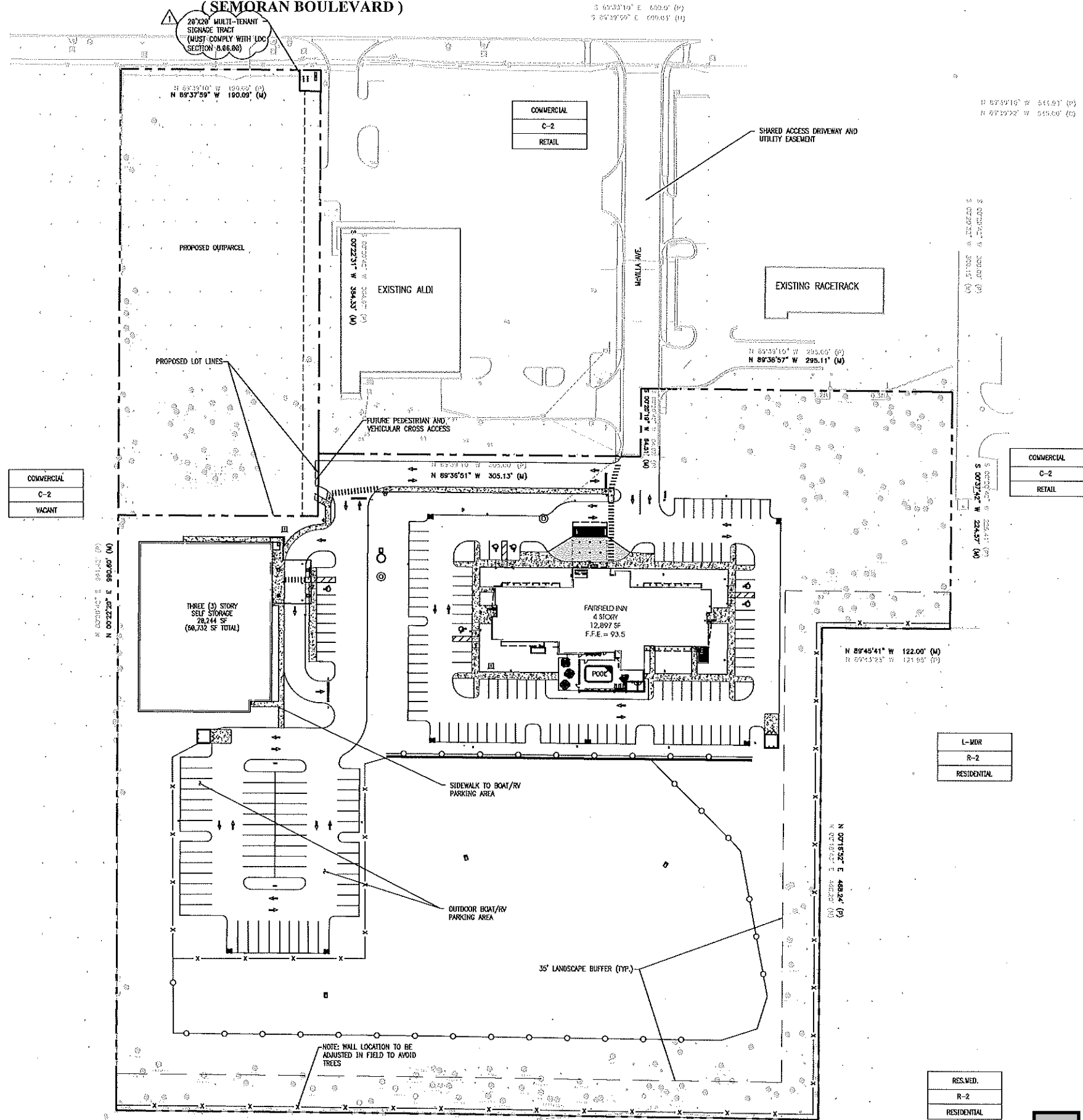
CHECKED: COB DRAWN: MTS

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STATE ROAD 436 (200.0' R/W)  
(SEMORAN BOULEVARD)



OVERALL SITE PLAN

N 89°22'09" E 668.00' (M)  
N 89°22'09" W 668.00' (M)

1"=50'

•	LDR
•	R-2
•	RESIDENTIAL

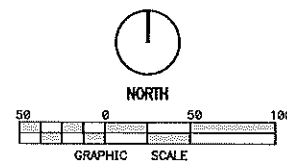
•	RES. MED.
•	R-2
•	RESIDENTIAL

•	L-MDR
•	R-2
•	RESIDENTIAL

•	COMMERCIAL
•	C-2
•	RETAIL

•	COMMERCIAL
•	C-2
•	RETAIL

•	COMMERCIAL
•	C-2
•	VACANT



REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

32

INTERPLANS

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 8660

604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124

SEAL:

STUART ANDERSON, P.E.  
FL. REG. #68848

1 18-26-18 CITY COMMENTS  
NO. DATE REMARKS

REVISIONS

FARISH  
ENTERPRISES

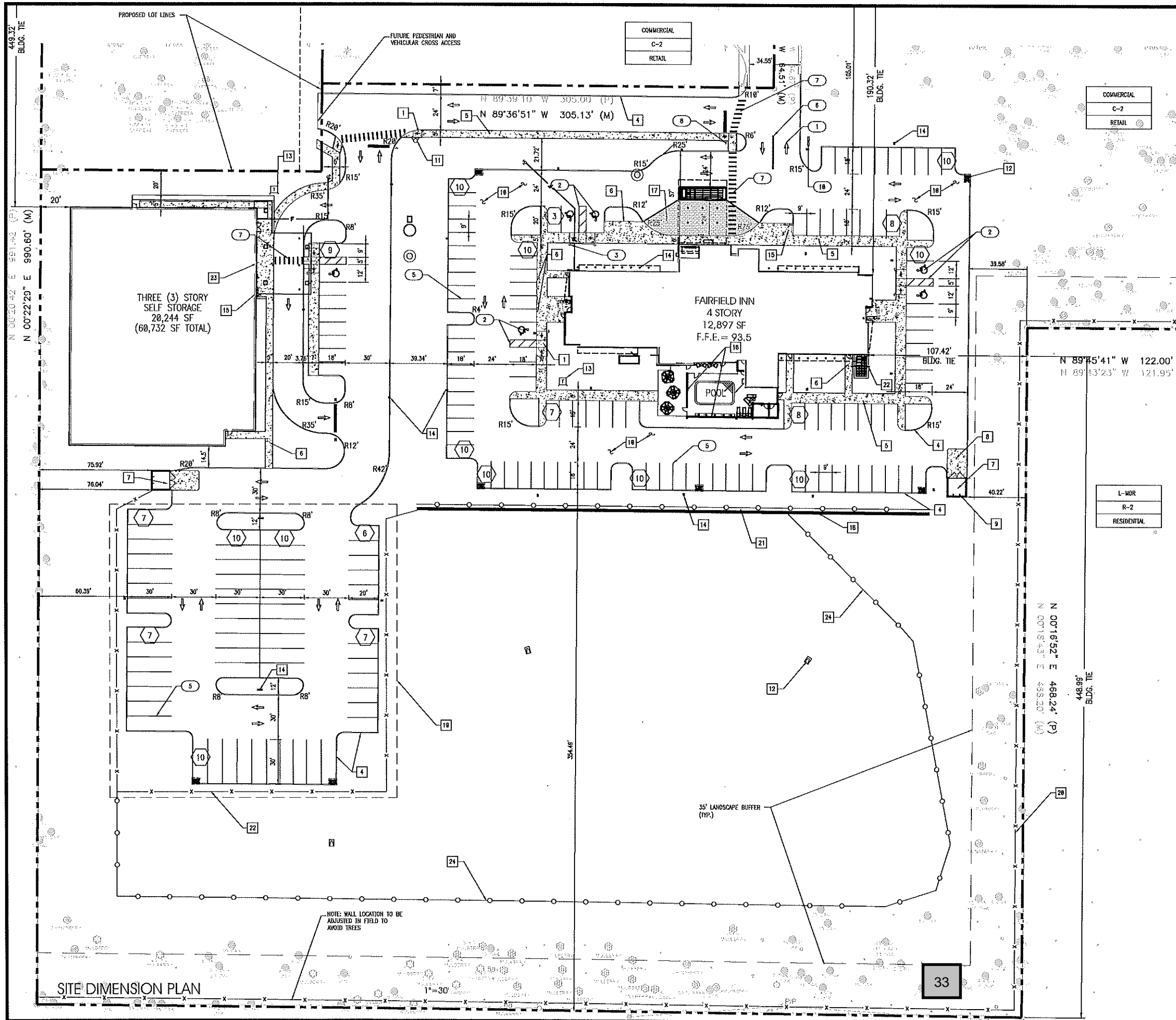
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 6-3-18

C1

OVERALL SITE DIMENSION  
PLAN  
SHEET 3 OF 30  
CHECKED: CDB DRAWN: MRS

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COMMERCIAL
C-2
RETAIL

COMMERCIAL
C-2
RETAIL

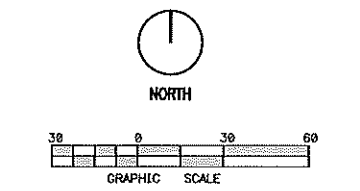
L-MDR
R-2
RESIDENTIAL

**TRAFFIC CONTROL & SIGNAGE**

- 1 DIRECTIONAL ARROW (11 C4)
- 2 HANDICAP PAVEMENT SYMBOLS (12 C4)
- 3 HANDICAP SIGN (13 C4)
- 4 24" WIDE WHITE STOP BAR (TYP.)
- 5 PAVEMENT STRIPING (4" WHITE) (TYP.)
- 6 DOUBLE YELLOW STRIPING
- 7 24" WIDE WHITE CROSSWALK STRIPING
- 8 30" STOP SIGN (R1-1)
- 9 MONUMENT SIGNAGE
- 10 HOTEL ENTRANCE SIGN

**SITE NOTES**

- 1 HANDICAP RAMP (16 C4)
- 2 SIDEWALK RAMP (15 C4)
- 3 WHEEL STOP (9 C4)
- 4 6" CURB (5 C4)
- 5 MONOLITHIC CURB AND SIDEWALK (6 C4)
- 6 CONCRETE SIDEWALK (8 C4)
- 7 DUMPSTER ENCLOSURE (1-3 C4)
- 8 CONCRETE APRON (7 C4)
- 9 BOLLARD (4 C4)
- 10 ASPHALT PAVEMENT (18 C4)
- 11 EXISTING OR PROPOSED FIRE HYDRANT
- 12 DRAINAGE STRUCTURES (SEE SHEET C3)
- 13 TRANSFORMER PAD
- 14 LIGHT POLE (SEE SHEET SL1)
- 15 BIKE RACK (14 C4)
- 16 OUTDOOR POOL PATIO W/MASONRY WALL AND ALUMINUM FENCE ON TOP FOR SCREENING (1 C4.1)
- 17 STAMPED, COLORED CONCRETE PAVEMENT
- 18 RETAINING WALL (SEE SHEET C3 SW-1.0)
- 19 BOAT/RV PARKING/STORAGE
- 20 6' MASONRY WALL (3 C4.1)
- 21 HANDRAIL (2 C4.1)
- 22 6' HIGH PVC FENCE
- 23 BUILDING ENTRANCE AT PORTE-COCHERE
- 24 5' ALUMINUM FENCE (2 C4.1)



**INTERPLAN**

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 8660  
604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.8008  
FX 407.629.9124

SEAL:  
  
STUART ANDERSON, P.E.  
FL. REG. #68848

1 18-28-18 CITY COMMENTS  
NO DATE PSH/MS  
REVISIONS

**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 8-3-18

**C1.1**  
SITE DIMENSION PLAN  
SHEET 4 OF 30  
CHECKED: CDB DRAWN: HJM

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STATE ROAD 436 (200.0' R/W)  
(SEMORAN BOULEVARD)

**INTERPLAN**

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 8660

604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.445.5008  
FX 407.629.9124

SEAL:

STUART ANDERSON, P.E.  
FL. REG. #58848

SITE UTILITY NOTES

- ELECTRIC**
- CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRICAL SERVICE WITH DUKE ENERGY FOR CONDUIT SIZE, CONNECTION POINT AND APPROVED TRANSFORMER LOCATION.
  - TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH DUKE ENERGY FOR FINAL LOCATION OF TRANSFORMER TO BE SET.
- PHONE**
- CONTRACTOR SHALL COORDINATE UNDERGROUND TELEPHONE SERVICE WITH AT&T TELEPHONE FOR CONDUIT SIZE, CONNECTION POINT.
- SANITARY SEWER**
- CONNECT TO EXISTING 4" SANITARY SEWER FORCE MAIN STUB-OUT @ INV. = ±90.00
  - 4" PVC FORCE MAIN
  - SANITARY SEWER LIFT STATION  
RIM = 68.00  
INV. ELEV. = 62.00
  - 10 LF 8" PVC @ 0.5% SLOPE
  - SANITARY SEWER COLLECTION MANHOLE #1  
RIM = 68.00  
INV. ELEV. (E & SE) = 62.15  
INV. ELEV. (W) = 62.05
  - 5 LF 6" PVC @ 1.0% SLOPE
  - C.O.  
INV. ELEV. = 62.20
  - 28 LF 6" PVC @ 1.0% SLOPE
  - C.O.  
INV. ELEV. = 62.40
  - 230 LF 6" PVC @ 1.0% SLOPE
  - C.O.  
INV. ELEV. = 64.70
  - 25 LF - 4" PVC @ 2% SLOPE TO BUILDING SEWER SERVICE @ INV. ELEV. = 64.15
  - 25 LF - 4" PVC @ 2% SLOPE TO BUILDING SEWER SERVICE @ INV. ELEV. = 65.20
  - 53 LF 6" PVC @ 1.0% SLOPE
  - C.O.  
INV. ELEV. = 62.68
  - 64 LF - 4" PVC @ 2% SLOPE TO BUILDING SEWER SERVICE @ INV. ELEV. = 63.96
  - 1,800 GALLON GREASE INTERCEPTOR  
RIM = 93.00  
(SEE PLUMBING PLANS)
  - WET TAP EXISTING 16" WATER MAIN WITH 12" TAPPING SADDLE & GATE VALVE
  - 8" COMPOUND WATER METER AND 12" DCVA BACKFLOW PREVENTER
  - 12" PVC WATER MAIN
  - 12" x 8" TEE
  - 8" FIRE/DOMESTIC SERVICE TO BUILDING (2 PLACES)
- IRRIGATION**
- IRRIGATION METER AND RPZ BACKFLOW PREVENTER
  - IRRIGATION SERVICE (SEE IRRIGATION SITE PLAN)
- FIRE**
- FIRE HYDRANT ASSEMBLY (TO BE MARKED WITH BLUE ROAD REFLECTOR)
  - FIRE DEPARTMENT CONNECTION (2 PLACES)
- STREET LIGHT**
- LIGHT POLE (SEE ELECTRICAL SITE PLAN)

NO DATE REMARKS  
REVISIONS

REFER TO SHEET C08 FOR GENERAL NOTES, SPECIFICATIONS, AND LEGENDS, IN ADDITION TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

**BURIED UTILITIES NOTE**  
BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT SUNSHINE STAFF @ 1-800-432-4778 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.

Always call 811 two full business days before you dig

**Sunshine811.com**

FARISH  
ENTERPRISES

1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

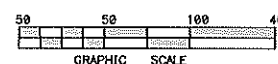
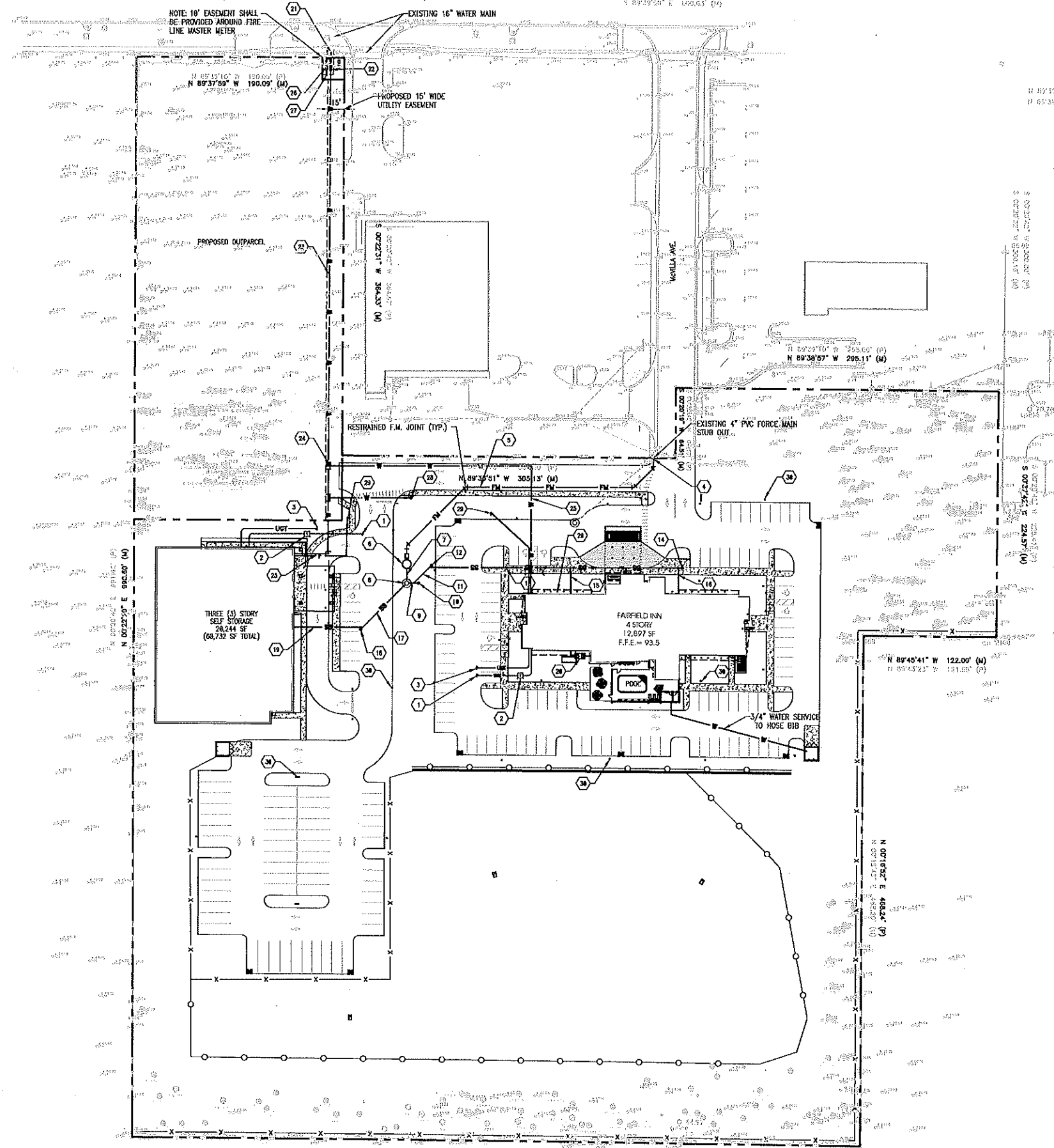
PROJECT NO: 2016.0341  
DATE: 8-3-18

C2

SITE UTILITY PLAN

SHEET 5 OF 30

CHECKED: COB DRAWN: MRS



34

SITE UTILITY PLAN

1"=50'

# RILEY & Company, Inc. (H-20 GP/BA)

SCOPE: Supply and install one complete H-20 GP/BA Pre-Fab Lift Station with Battery Back-Up Power System For High Level Alarm

Pumps shall be capable of grinding and pumping domestic & commercial sewage.

Complete system shall be supplied by:

**RILEY & Company, Inc.**  
 Sanford, FL 32750 (Ph. 407-265-9963)

Contract to be awarded on the basis of the base bid H-20 GP/BA LIFT STATION. Alternative detail systems will only be considered after award of contract and alternate must be specified at bid time. The design engineer shall be reimbursed for additional time and costs to review any alternate equipment or design.

Any savings to contractor shall be shared with the Owner. Due to the structural strength, corrosion resistance, and the leak-proof design of the H-20 GP/BA complete system, concrete wetwells will not be approved. Certification of the wetwell H-20 load rating must be supplied with submittals. H-20 certification must be signed and sealed by an engineer registered in the State of Florida. ASTM Rating must be stamped and visible on each wetwell.

**PUMPS:** Submersible grinder pumps shall be HOMA Model GRP. The pumps shall be installed in the H-20 GP/BA FRP wetwell utilizing a dual side rail system. The grinder unit shall be capable of macerating all material in normal domestic and commercial sewage, including foreign objects such as plastic, sanitary napkins, and disposable diapers into a fine slurry which will pass through the pump and the Sch.80 PVC discharge piping.

Single phase motors shall be of the capacitor start, capacitor run type for high starting torque. Stator winding shall be open type with Class F insulation and shall be heat-shrink fitted into the stator housing. The use of pins, bolts, or other fastening devices is not acceptable. A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in the control panel to stop motor if winding temperature exceeds 148 C., but shall automatically reset when the winding temperature returns to normal. Two heat sensor thermostats shall be used on three phase motors.

The pump motor grinder shaft shall be of AISI 430F SS threaded to take pump impeller and grinder impeller. Upper & lower seals shall be Silicon Carbide vs. Silicon Carbide.

**DUPLEX PUMP CONTROL PANEL:** The enclosure shall be NEMA 4X, minimum 30" high x 24" wide x 18" deep, fiberglass with padlockable draw latches. The enclosure shall have external mounting feet to allow for wall mounting. All hardware shall be stainless steel. All conduit penetrations shall have approved seal off fittings and shall be properly sealed to prevent wetwell gases from entering enclosure.

The following components shall be mounted through the enclosure:

- 1 ea. Red Alarm Beacon
- 1 ea. Alarm Horn
- 1 ea. Generator Receptacle with weatherproof cover
- 1 ea. Silence Pushbutton

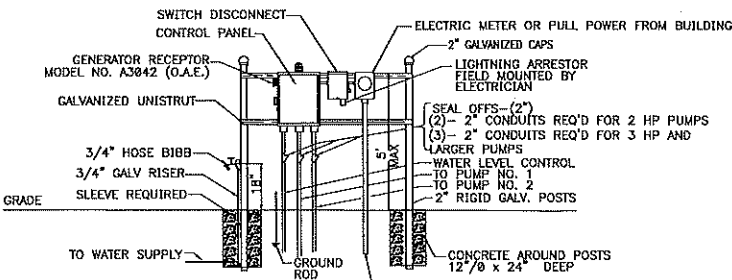
The backpanel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel screws. Self tapping screws are not acceptable. The following components shall be mounted to the backpanel:

- 1 ea. High Level Alarm Battery Back-Up System
- 2 ea. Motor Contactors
- 2 ea. Start and Run Capacitors to match motor requirements, single phase only
- 2 ea. Start Relays to match motor requirements, single phase only
- 1 ea. Volt Monitor (Single Phase) Phase/Monitor (Three Phase)
- 1 ea. Control Transformer with primary and secondary fuses, 480 Volt only
- 1 ea. Silence Relay
- 1 ea. Duplex Alternator
- 20 ea. Terminals for field connections
- 6 ea. Terminals for motor connections, single phase only
- 3 ea. Ground Lugs

The innerdoor shall be fabricated from .080, 5052-H32 marine alloy aluminum.

The following components shall be mounted through the innerdoor:

- 1 ea. Main Circuit Breaker
- 1 ea. Emergency Circuit Breaker
- 1 ea. Mechanical Interlock for main breakers
- 2 ea. Motor Short Circuit Protectors
- 1 ea. Control Circuit Breaker
- 2 ea. Hand-Off-Auto selector switches
- 2 ea. Pump Run Pilot Lights
- 2 ea. Elapsed Time Meters
- 1 ea. GFI Duplex Convenience Outlet



**COMPONENT SPECIFICATIONS:**  
 All circuit breakers shall be molded case thermal magnetic. Circuit breakers shall be sealed by the manufacturer after calibration to prevent tampering. Each breaker shall be adequately sized to meet the equipment operating conditions. The mechanical interlock shall prevent the normal and emergency main breakers from being energized at the same time. The interlock shall be fabricated from aluminum or stainless steel. An emergency generator receptacle shall be supplied in accordance with DEP standards. The generator receptacle shall be adequately sized to meet the equipment operating conditions. All motor short circuit protection devices must provide for undervoltage release and class 10 overload protection on all three phases. Visible trip indication, test and reset capability must be provided without opening inner door. Open frame, across the line, contactors shall be rated per IEC standards and properly sized per the motor requirements. Contactors shall provide for safe touch power and control terminals. Contactor contacts and coil shall be easily replaceable without removing the contactor from its mounted position.

Lightning Arrestor to meet or exceed the requirements of ANSI/IEEE Std. C62.21-1984 section 8.6.1 and 8.7.3 shall be supplied by electrician and mounted on the bottom side of the switch disconnect ahead of the pump control panel. Voltage Monitor shall be supplied for single phase service. The voltage monitor shall be designed to sense a low voltage condition. The relay shall de-energize the motors when the line voltage drops 15% below the relay setting. The voltage monitor shall be protected by dual element fuses. Phase Monitor shall be supplied for three phase service. The phase monitor shall be designed to sense a low voltage, phase loss, power failure and improper phase sequence condition. The relay shall de-energize the motors upon a condition fault. The phase monitor shall be protected by dual element fuses.

The duplex alternator shall be the solid state type. The alternator shall switch each pump to load upon a single complete cycle and shall provide for lag pump operation upon level rise. An alternator sequence (1 - Auto - 2) three position toggle type selector switch shall be supplied to manually override the alternator. In the '1' position, motor #1 shall always be the lead motor. In the 'Auto' position, the motors shall sequence to become the lead motor. In the '2' position, motor #2 shall always be the lead motor. A Green pilot light shall be supplied for each motor. The pilot light shall illuminate each time the motor is called to run.

Each motor shall have an Elapsed Time Meter to record the accumulated running time. The ETM shall be a 2" diameter, non-resettable, six digit, totally encapsulated unit. Relays shall be ice-cube plug in type. Relay contacts shall be rated 10 amp minimum, OPDT.

**ALARM BATTERY BACK-UP SYSTEM** shall be model RCB5012v and utilize a 12v sealed lead acid battery. Power supply / charger RCM-ALS24 shall maintain the battery ready for loss of power. Once power is lost the system will change over from normal power to battery power. This feature will facilitate the system to indicate any alarms programmed to call out.

Twenty (20) terminals shall be supplied for field connections. The terminals shall be rated 25 amps minimum and shall be mounted on a 30 degree angle for ease of field wiring. Float connection terminals shall be arranged such that each float is connected in consecutive order and does not require any crossing of wires. Each motor over-temperature contact shall be connected to the terminal strip and shall open a contact to de-energize the appropriate motor upon a high temperature within the motor.

A 15A, GFI duplex convenience outlet shall be supplied and mounted on the innerdoor to provide service technicians with an outlet for trouble lights, etc. Ground Lugs shall be supplied and appropriately sized for each motor and for service entrance.

Nameplates for the innerdoor shall be of a graphic design, specifically depicting the intent for each device. One nameplate shall be supplied for all control devices. One nameplate shall be supplied for all power devices. All text and graphics on each nameplate shall be scratch resistant. The nameplates shall be fabricated from laser-screened laminated mylar. Nameplates for the backpanel shall be of a graphic design, specifically depicting the intent for each component. One nameplate shall be supplied for each component. All text and graphics on each nameplate shall be scratch resistant. The nameplates shall be fabricated from laser-screened laminated mylar.

**MISCELLANEOUS:**  
 All wiring on the backpanel shall be contained within wiring duct. All wiring between the innerdoor and the backpanel shall be contained within a plastic spiral wrap. Each wire shall have a wire number at each end to correspond to the asbuilt drawing for field troubleshooting. The control panel shall be assembled by an Underwriters Laboratories UL508 listed manufacturing facility.

**FASTENERS & APPURTENANCES:** All fasteners, lifting cables, float cable bracket and appurtenances shall be made of AISI 304SS or other material inert to the highly corrosive atmosphere of a sewage lift station. Hinges for the wet well and valve box shall be AISI 304SS minimum. An aluminum slide/ratch assembly shall be provided for holding the doors open on both the wet well and the valve box. Side rails shall be SCH 40 AISI 304SS pipe. Pump lifting devices shall be made of AISI 304SS (min.) cable (1/4" min) or 304SS chain of sufficient size, with safety factor to handle safe/the specific pumps. AISI 304SS (min.) pump lifting balls shall be provided.

**H-20 LOAD RATED WETWELL WITH LIFTING LUGS:** The fiberglass wetwell must be H-20 load rated w/ integral lifting lugs, and certification of this rating must be supplied at time of submittal. The wetwell shall be manufactured of fiberglass reinforced polyester (FRP) of diameter and depth as shown on the lift station elevation detail. The wall thickness shall be adequate for the depth of the wetwell to maintain the H-20 load rating. Reinforcing Materials: The reinforcing material shall be commercial grade "C" type glass in the form of mat, chopped or roving fabric, having a coupling agent that will provide a suitable bond between the glass reinforcement and the resin. Additives, such as thixotropic agents, catalysts, promoters, etc., may be added as required by the specific manufacturing process to be used to meet the requirements of this specification. Filters and Additives: Filters of any type shall not be utilized.

**EXECUTION:** Installation shall be in strict accordance with the manufacturer's instructions and recommendations in the locations shown on the drawing. **INSPECTION & TESTING:** A factory representative shall be provided for one (1) day and shall have complete knowledge of proper operation and maintenance to inspect the final installation and supervise the test run of the equipment. Megger the motor. The pump motors shall be megged out prior to startup to ensure the insulation of the pump motor/cable system is intact. The pump controls and pumps shall be checked for mechanical reliability and proper operation.

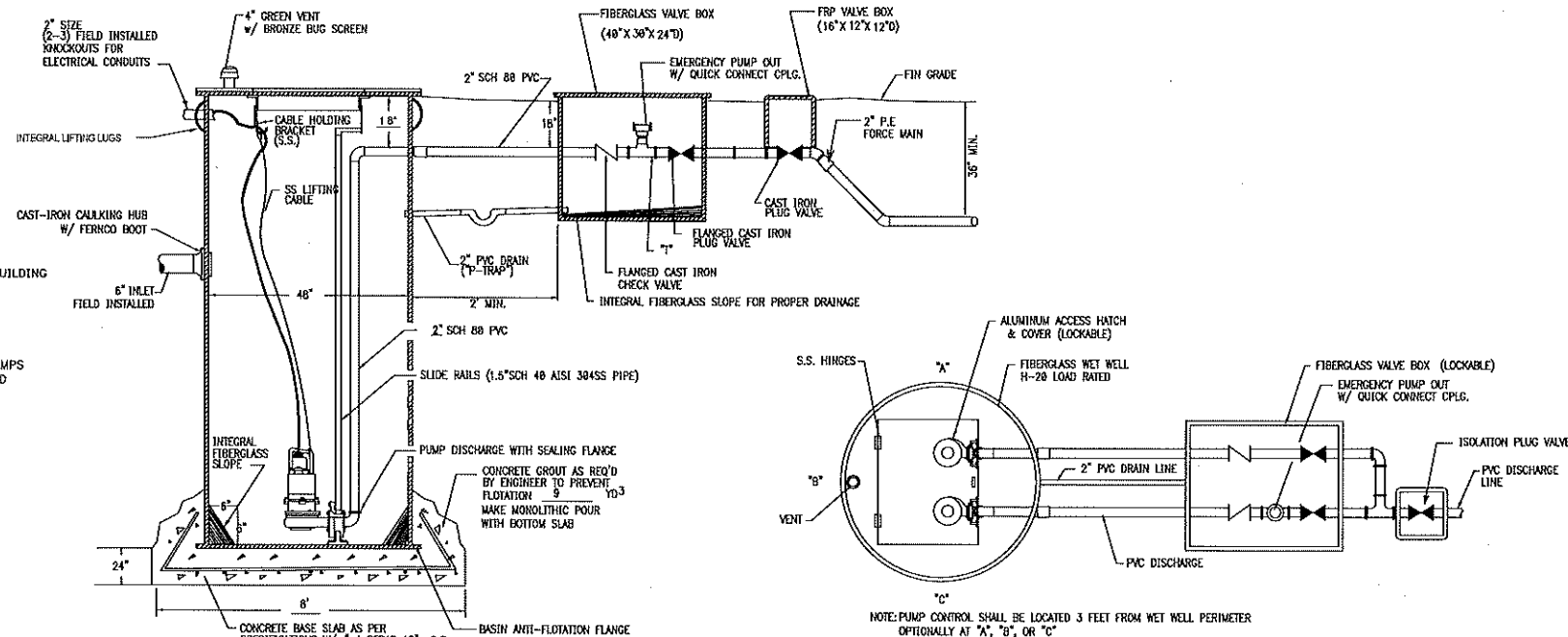
PUMP DATA		ELEVATIONS	
PRIMARY PUMP CAPACITY	125 GPM	TOP OF WETWELL	88.00
PRIMARY TDH	124' TDH	INLET INVERT	82.00
PUMP MANUFACTURER	HOMA	HIGH LEVEL ALARM	81.00
PUMP MODEL #	GRP78/3	2nd PUMP ON	80.50
R.P.W.	3450	1st PUMP ON	80.00
HORSEPOWER	9	PUMPS OFF	78.00
ELECTRICAL - VOLTS / PHASE	208/3	BOTTOM OF WETWELL	76.50
PUMP DISCHARGE SIZE	2"	WETWELL DIAMETER	48"

**\* ELECTRICIAN NOTES**

1. DRAWING IS NOT TO SCALE.
2. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES.
3. ELECTRICIAN SHALL SEAL OFF CONDUIT RUNS INSIDE WETWELL AND INSIDE OF CONTROL PANEL.
4. ELECTRICIAN TO MOUNT LIGHTNING ARRESTOR AT SWITCH DISCONNECT.
5. BOTH WETWELL AND VALVE BOX SHALL BE LOCKABLE.
6. CONTRACTOR SHALL FIELD INSTALL INLET FITTING AT PROPER ELEVATION.
7. ALL HARDWARE AND FASTENERS SHALL BE STAINLESS STEEL.
8. CONTRACTOR SHALL VERIFY POWER SOURCE PRIOR TO ORDERING EQUIPMENT.

Riley & Co./ H-20 GP/BA 07-04

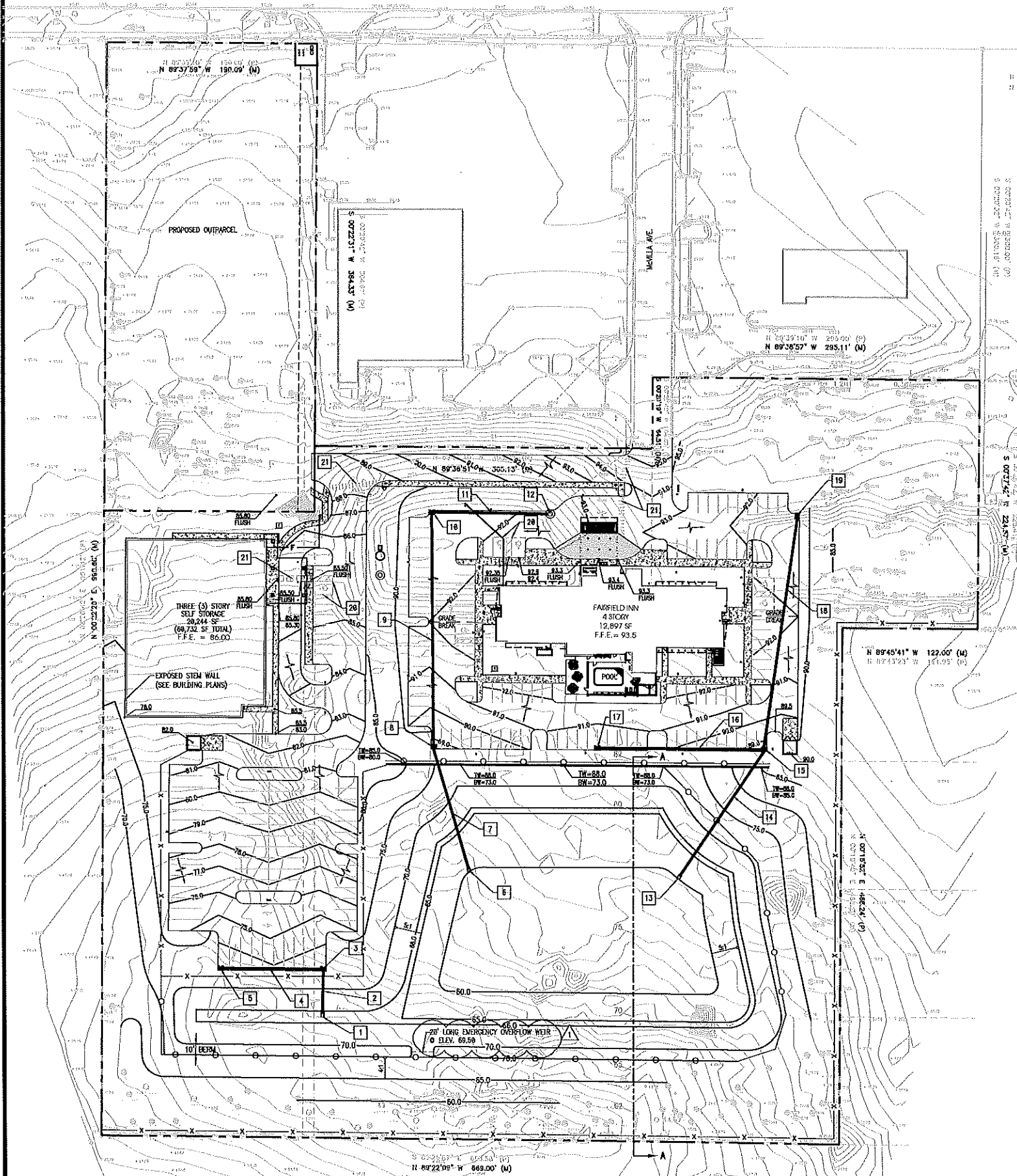
NOTE: LIFT STATION SHALL BE PRIVATELY OWNED.





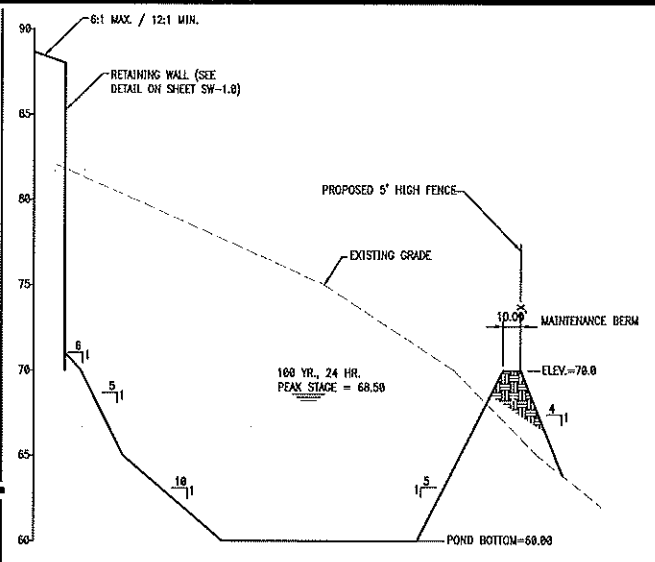
STATE ROAD 436 (200.0' R/W)  
(SEMORAN BOULEVARD)

S 02°29'10" E 650.0' (P)  
S 97°30'59" E 450.61' (H)



GRADING & DRAINAGE PLAN

1"=50'



(A-A) POND SECTION VERT.: 1"=5' HORIZ.: 1"=50'

DRAINAGE STRUCTURE TABLE

- |    |  |
|----|--|
| 1  | MITERED END SECTION<br>INV. ELEV. = 66.00  |
| 2  | 42 LF 24" HDPE @ 1.0% SLOPE  |
| 3  | INLET #1 - FDOT TYPE '1'<br>GRATE ELEV. = 73.00<br>INV. (N) = 68.00<br>INV. (S) = 66.42                                      |
| 4  | 89 LF 18" HDPE @ 0.5% SLOPE  |
| 5  | INLET #2 - FDOT TYPE '1'<br>GRATE ELEV. = 73.00<br>INV. (E) = 68.45  |
| 6  | MITERED END SECTION INV. ELEV. = 68.00   |
| 7  | 116 24" HDPE @ 5.0% SLOPE  |
| 8  | INLET #3 - FDOT TYPE '1'<br>GRATE ELEV. = 68.75<br>INV. (N) = 74.34<br>INV. (S) = 65.80                                      |
| 9  | 209 24" HDPE @ 1.0% SLOPE  |
| 10 | INLET #4 - FDOT TYPE '1'<br>GRATE ELEV. = 61.00<br>INV. (E) = 76.48<br>INV. (S) = 76.43                                      |
| 11 | 103 24" HDPE @ 1.0% SLOPE  |
| 12 | STORMWATER MANHOLE #1<br>(INSTALL ON END OF EXISTING 24" HDPE)<br>RIM = ±92.5<br>ELEV. (E) = 77.61<br>INV. ELEV. (N) = 77.51 |
| 13 | MITERED END SECTION<br>INV. ELEV. = 68.00  |
| 14 | 135 18" HDPE @ 5.0% SLOPE  |
| 15 | INLET #5 - FDOT TYPE '1'<br>GRATE ELEV. = 68.75<br>INV. (SW) = 68.75<br>INV. (N) = 65.00<br>INV. (W) = 65.00                 |
| 16 | 147 15" HDPE @ 0.5% SLOPE  |
| 17 | INLET #6 - FDOT TYPE '1'<br>GRATE ELEV. = 60.00<br>INV. (E) = 65.74  |
| 18 | 210 15" HDPE @ 0.5% SLOPE  |
| 19 | INLET #7 - FDOT TYPE '1'<br>GRATE ELEV. = 61.5<br>INV. (S) = 66.65   |
| 20 | HANDICAP ZONE - MAX. 2.0% SLOPE IN ANY DIRECTION.  |
| 21 | ACCESSIBLE ROUTE MAX. 2% CROSS SLOPE, 5% IN DIRECTION OF TRAVEL.   |

NOTE:  
DRAINAGE WILL SERVE EXISTING BUSINESSES ON PARCEL.  
P'S 11-21-28-5600-01-000 (EXISTING ALD) AND  
11-21-28-5600-02-000 (EXISTING RACETRAC).

REFER TO SHEET C0 FOR GENERAL NOTES,  
SPECIFICATIONS, AND LEGENDS, IN ADDITION  
TO SITE-SPECIFIC NOTES AND REQUIREMENTS.

BURIED UTILITIES NOTE

BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION  
BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES  
AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST  
ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS  
DRAWING. USE EXTREME CAUTION DURING EXCAVATION  
PROCEDURES AND CONTACT SUNSHINE STATION @  
1-888-332-4778 FOR EXACT LOCATION OF BURIED FACILITIES  
PRIOR TO EXCAVATION OPERATIONS.

Always call 811 two full business days before you dig

**Sunshine811.com**

INTERPLANS

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ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 8660

604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.646.5008  
FX 407.629.9124

SEAL:

STUART ANDERSON, P.E.  
FL. REG. #68848

1 18-28-18 CITY COMMENTS  
PRO DATE REVIEWS

REVISIONS

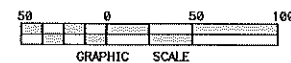
FARISH  
ENTERPRISES

1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 10-31-16

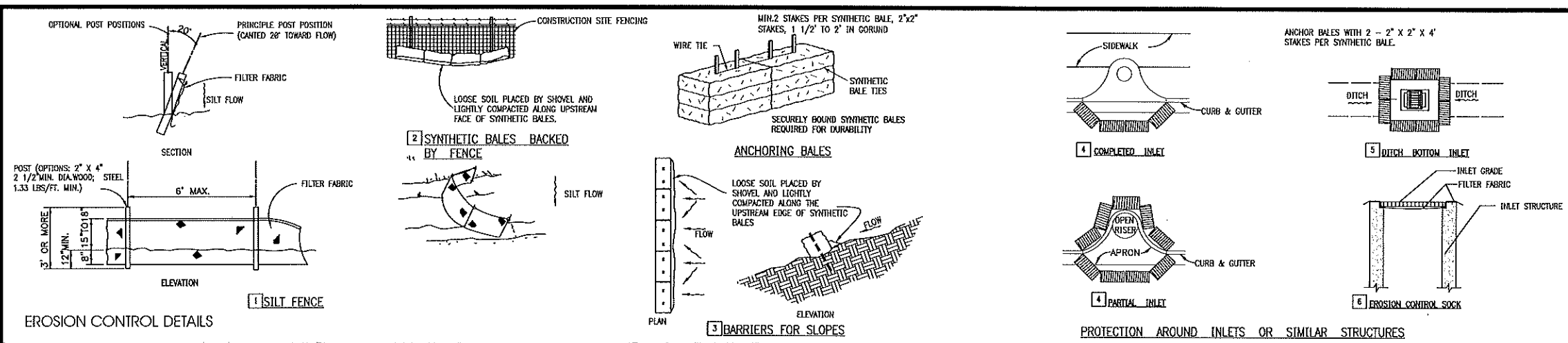
C3

GRADING & DRAINAGE  
PLAN  
SHEET 7 OF 30  
CHECKED: CDB DRAWN: MRS



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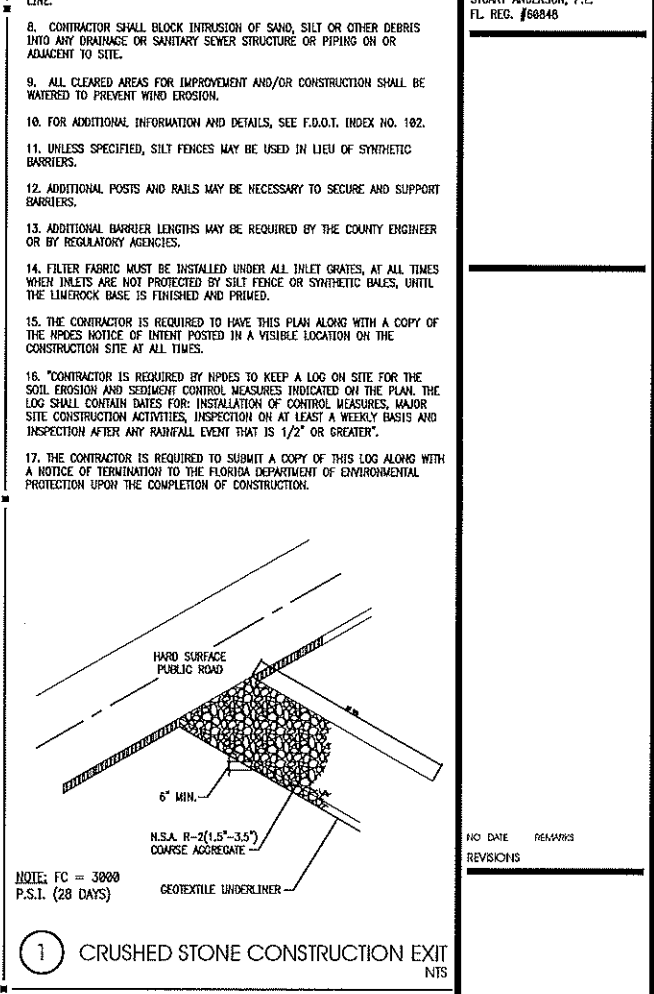
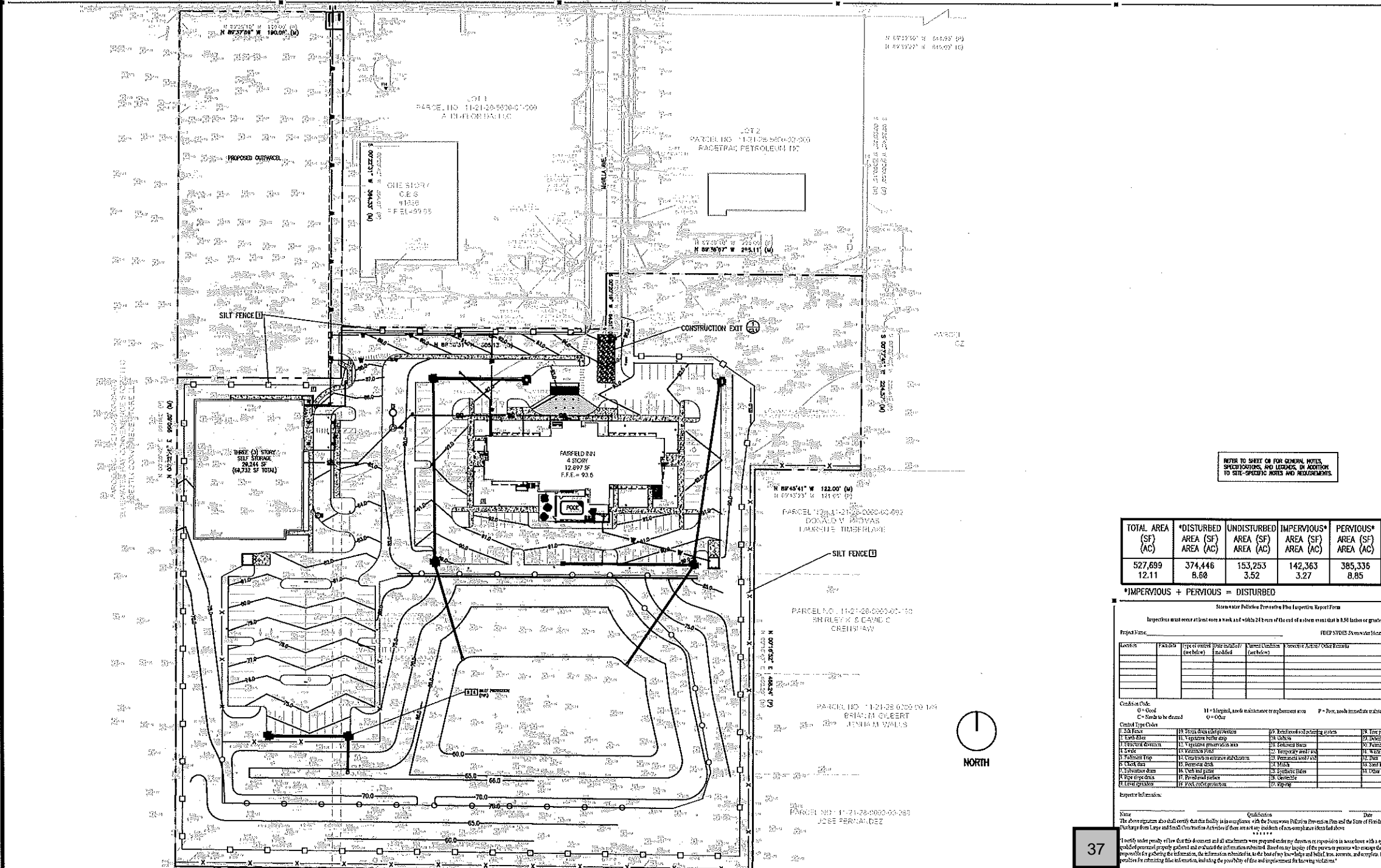


### POLLUTION CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL CITY/COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONS OF SITE PERMITS.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS.
- THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE OF PROPERTY LINE.
- CONTRACTOR SHALL BLOCK ENTRANCE OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.
- ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
- FOR ADDITIONAL INFORMATION AND DETAILS, SEE F.D.O.T. INDEX NO. 102.
- UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.
- ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
- ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE COUNTY ENGINEER OR BY REGULATORY AGENCIES.
- FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES, UNTIL THE LIMEROCK BASE IS FINISHED AND PRIMED.
- THE CONTRACTOR IS REQUIRED TO HAVE THIS PLAN ALONG WITH A COPY OF THE NPDES NOTICE OF INTENT POSTED IN A VISIBLE LOCATION ON THE CONSTRUCTION SITE AT ALL TIMES.
- CONTRACTOR IS REQUIRED BY NPDES TO KEEP A LOG ON SITE FOR THE SOIL EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THE PLAN. THE LOG SHALL CONTAIN DATES FOR: INSTALLATION OF CONTROL MEASURES, MAJOR SITE CONSTRUCTION ACTIVITIES, INSPECTION ON AT LEAST A WEEKLY BASIS AND INSPECTION AFTER ANY RAINFALL EVENT THAT IS 1/2" OR GREATER.
- THE CONTRACTOR IS REQUIRED TO SUBMIT A COPY OF THIS LOG ALONG WITH A NOTICE OF TERMINATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION UPON THE COMPLETION OF CONSTRUCTION.

**INTERPLAN**  
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PROJECT MANAGEMENT  
AA 003420  
CA 8660  
604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124

SEAL:  
STUART ANDERSON, P.E.  
FL. REG. #68848



TOTAL AREA (SF)	*DISTURBED AREA (SF)	UNDISTURBED AREA (SF)	IMPERVIOUS* AREA (SF)	PERVIOUS* AREA (SF)
527,699	374,446	153,253	142,363	385,336
12.11	8.60	3.52	3.27	8.85

\*IMPERVIOUS + PERVIOUS = DISTURBED

Stormwater Pollution Prevention Plan Inspection Report Form

Inspection was performed on site on a week day with 24 hours of lead time of a storm event that is 0.50 inches or greater.

Project Name: \_\_\_\_\_

Location	Facility	Type of control (see below)	Date installed	Name (see below)	Inspected by (see below)

Creation Code:  
O = Good  
C = Needs to be checked  
N = No report, needs maintenance or replacement soon  
P = Poor, needs immediate maintenance or replacement

Control Type Codes	1 - Silt Fence	2 - Vegetative filter strip	3 - Vegetative preservation area	4 - Erosion control matting	5 - Temporary seeding	6 - Temporary mulch	7 - Temporary silt fence	8 - Temporary silt fence	9 - Temporary silt fence	10 - Temporary silt fence	11 - Temporary silt fence	12 - Temporary silt fence	13 - Temporary silt fence	14 - Temporary silt fence	15 - Temporary silt fence	16 - Temporary silt fence	17 - Temporary silt fence	18 - Temporary silt fence	19 - Temporary silt fence	20 - Temporary silt fence

Inspection Information:  
Name: \_\_\_\_\_ Conditions: \_\_\_\_\_ Date: \_\_\_\_\_  
The above signature also shall certify that the facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida General Public Works Code Chapter 62G and local Ordinance Activities of those are not in compliance with the above.

I hereby certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Name (Responsible Authority) Title: \_\_\_\_\_

ENGINEER'S CERTIFICATIONS:  
"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

STUART ANDERSON, P.E. #68848 \_\_\_\_\_ Date: \_\_\_\_\_

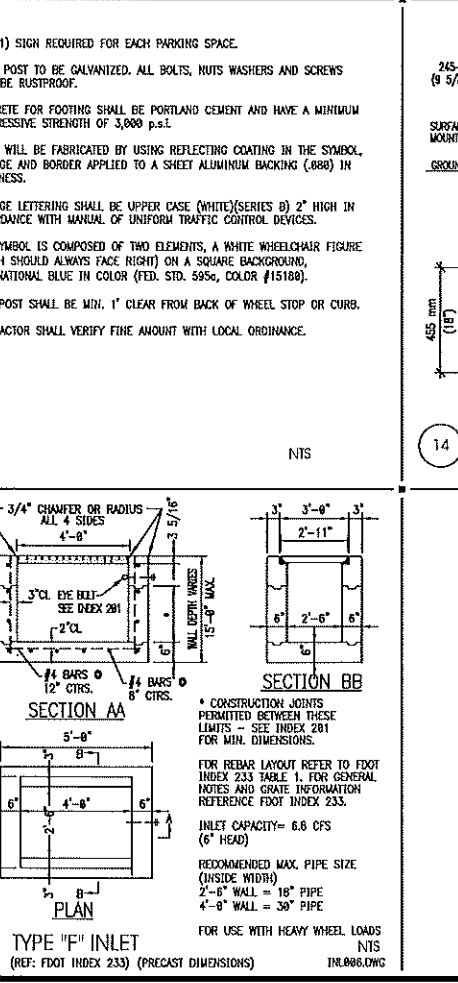
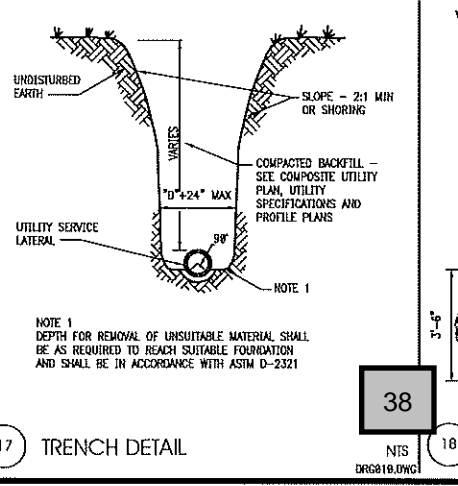
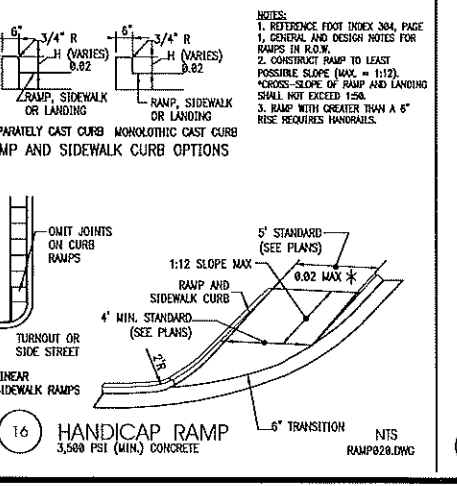
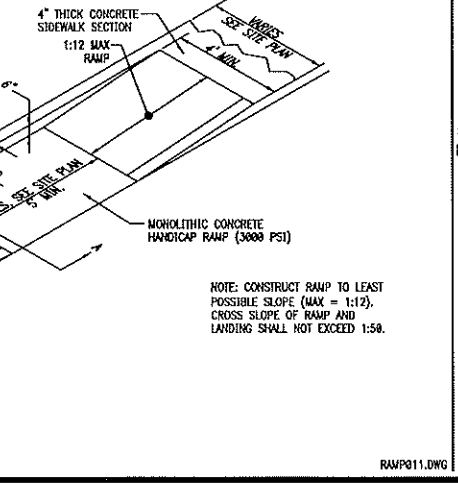
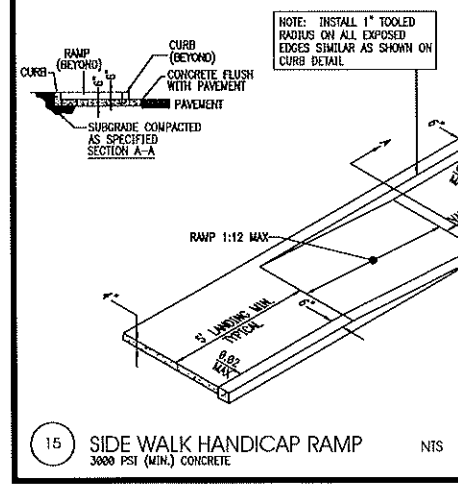
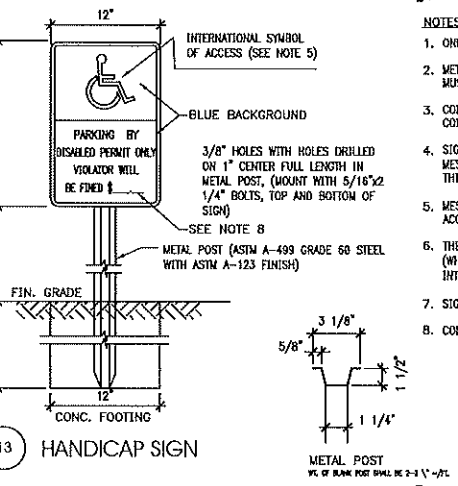
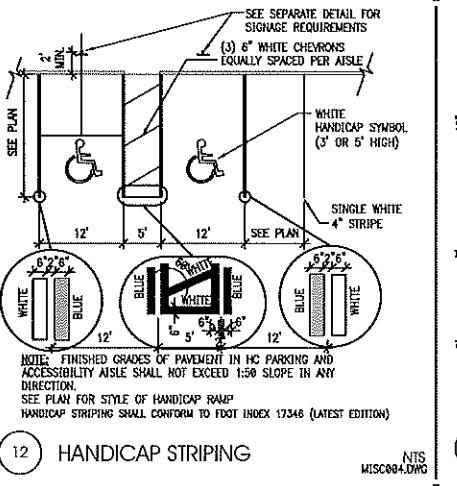
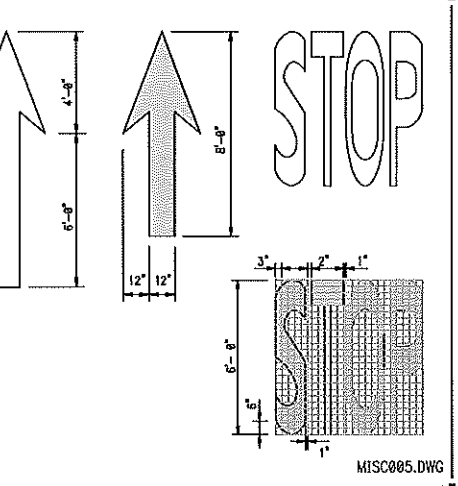
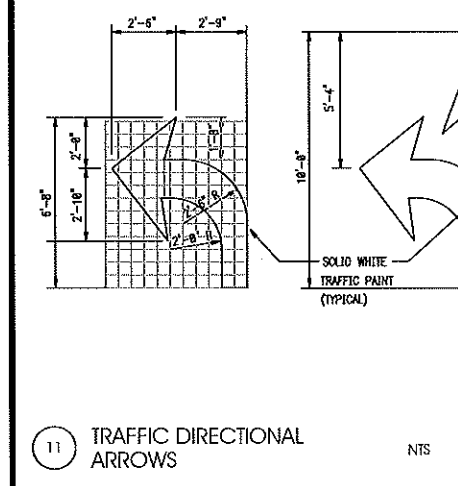
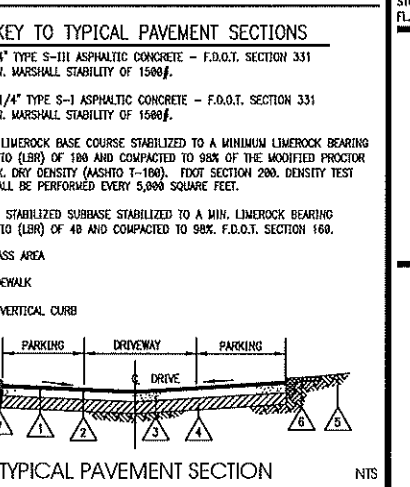
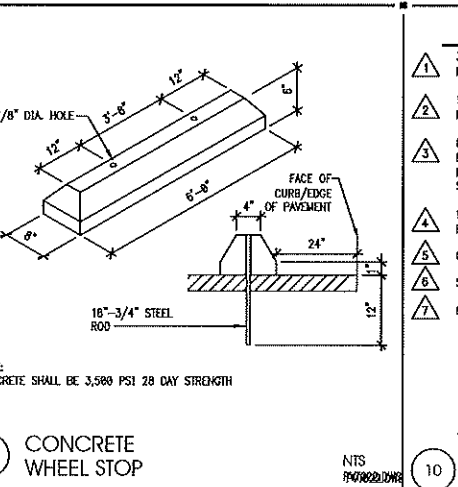
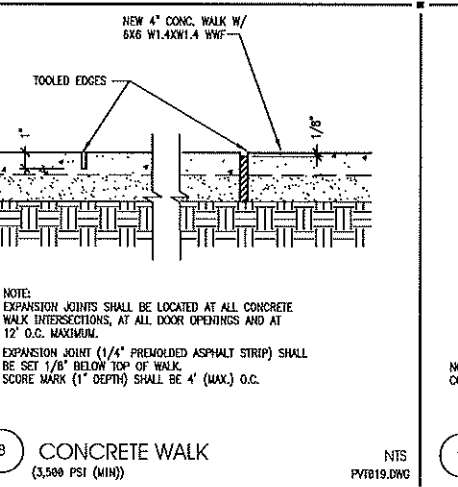
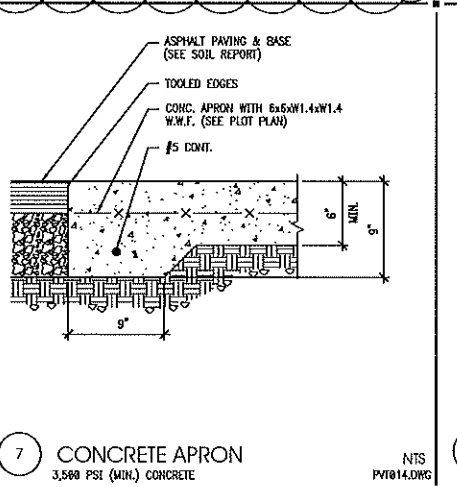
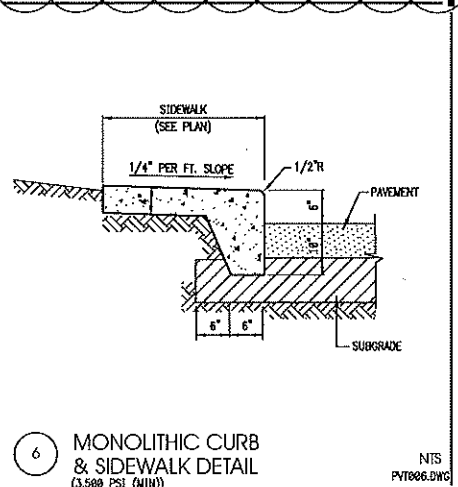
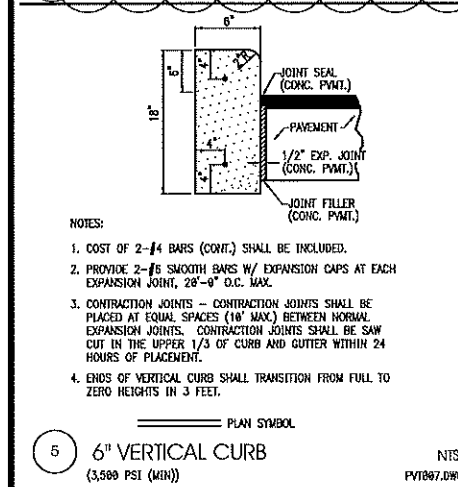
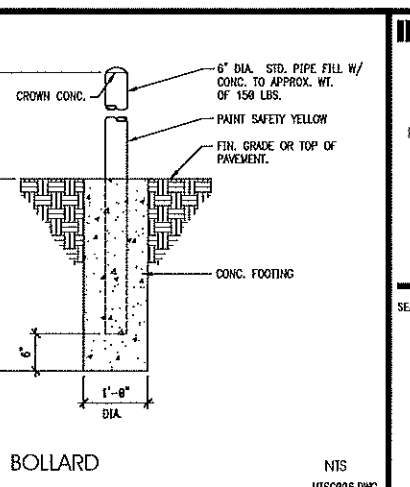
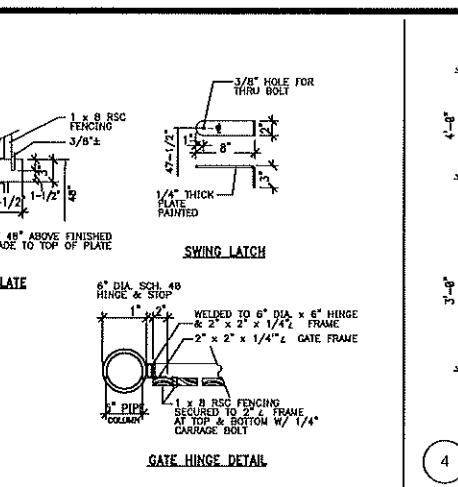
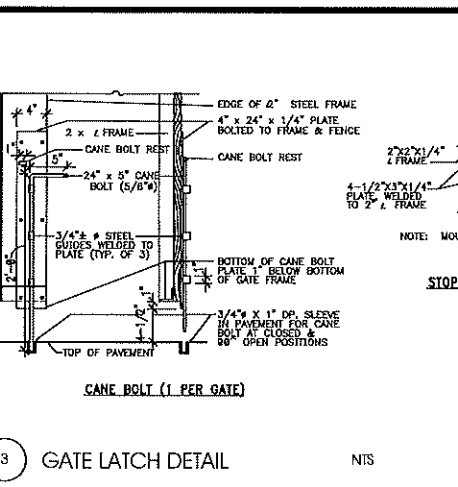
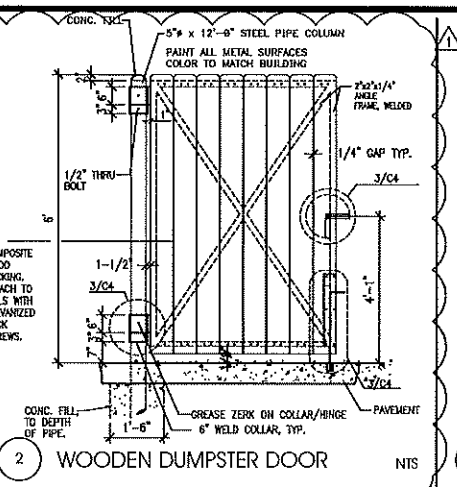
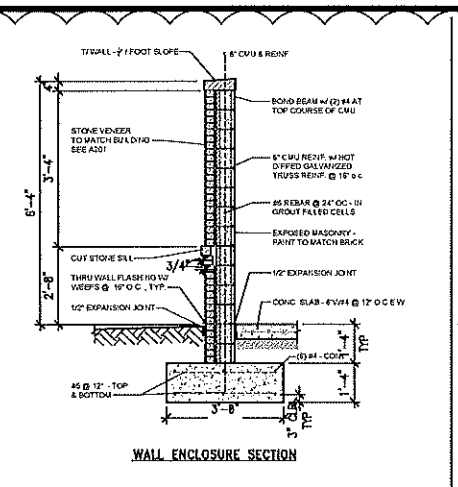
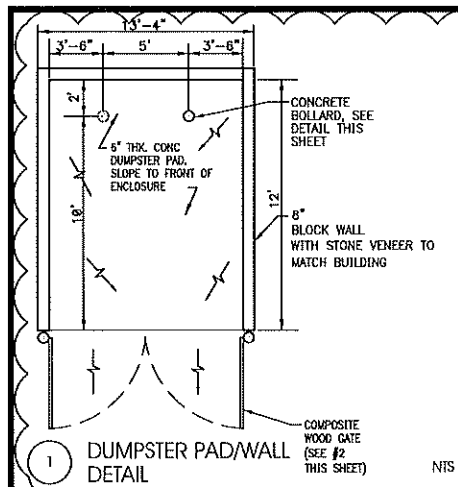
OWNER/AGENT CERTIFICATIONS:  
I HAVE REVIEWED THIS PLAN AND AGREE TO COMPLY WITH THE REQUIREMENTS SHOWN HEREON.

OWNER/AUTHORIZED REPRESENTATIVE \_\_\_\_\_ Date: \_\_\_\_\_

**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

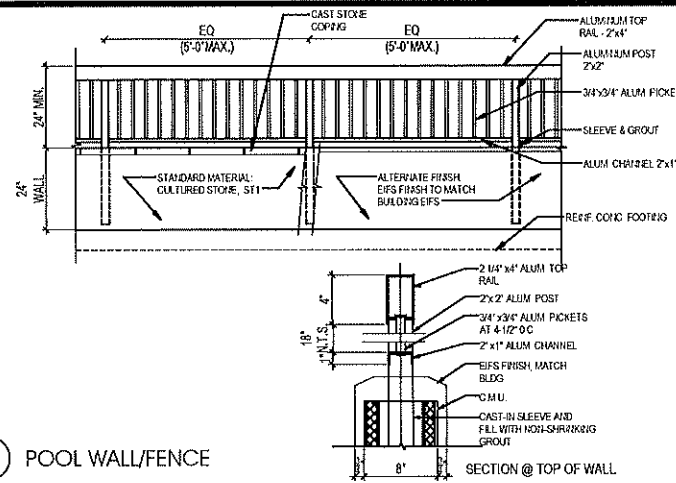
PROJECT NO: 2016.0341  
DATE: 8-3-18

**C3.1**  
STORMWATER POLLUTION PREVENTION PLAN  
SHEET 8 OF 30  
CHECKED: CDB DRAWN: MRS

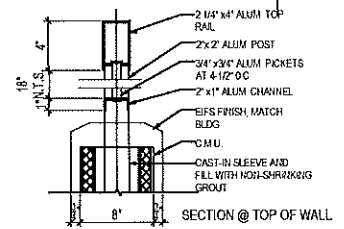


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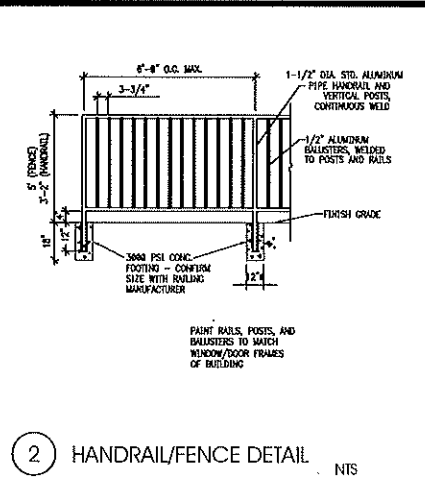
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REVISIONS  
PROJECT NO: 2016.03.41  
DATE: 8-3-18  
FARISH ENTERPRISES  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA  
PROJECT NO: 2016.03.41  
DATE: 8-3-18  
SHEET 9 OF 30  
CHECKED: CDB DRAWN: MRS  
C4  
DETAILS  
SHEET 9 OF 30  
CHECKED: CDB DRAWN: MRS



1 POOL WALL/FENCE



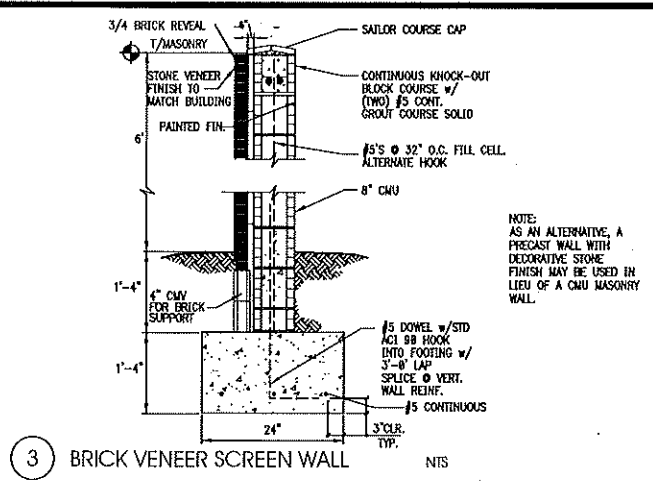
NTS



2 HANDRAIL/FENCE DETAIL

PAINT RAILS, POSTS, AND BALLUSTERS TO MATCH WINDOW/DOOR FRAMES OF BUILDING

NTS



3 BRICK VENEER SCREEN WALL

NTS

NOTE:  
AS AN ALTERNATIVE, A  
PRECAST WALL WITH  
DECORATIVE STONE  
FINISH MAY BE USED IN  
LIEU OF A CMU MASONRY  
WALL.

WALL014.DWG

SEAL:

STUART ANDERSON, P.E.  
FL. REG. #68848

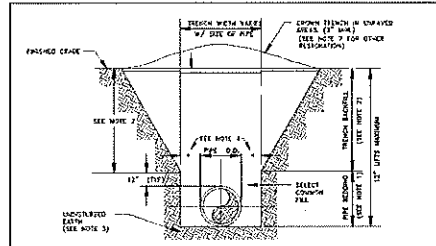
NO	DATE	REMARKS

**FAIRFIELD INN /  
SELF STORAGE**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 9-13-17

**C4.1**  
DETAILS  
SHEET 10 OF 30  
CHECKED: CDB DRAWN: H.M.

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- NOTES:
1. PIPE BEDDING: SELECT CONCRETE FULL COMPACTED TO BE IN LAYER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-99.
  2. FINISH: FINISH: CONCRETE FULL COMPACTED TO BE IN LAYER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-99.
  3. PIPE BEDDING: SELECT CONCRETE FULL COMPACTED TO BE IN LAYER PAVEMENT OF THE MAXIMUM DENSITY AS PER AASHTO T-99.
  4. PIPE 15\"/>

TYPE "B" BEDDING AND OPEN-CUT DETAIL

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 100

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S) \*

FITTING	PIPE SIZE								
	6"	8"	10"	12"	16"	20"	24"	36"	48"
90° BEND	33	43	51	60					
45° BEND	14	18	22	25					
22-1/2° BEND	7	9	11	12					
11-1/4° BEND	4	5	6	6					
TEE*	1	7	24	44					
REDUCER (ONE SIZE SMALLER)	4	4	39	40					
DEAD END	74	98	115	136					

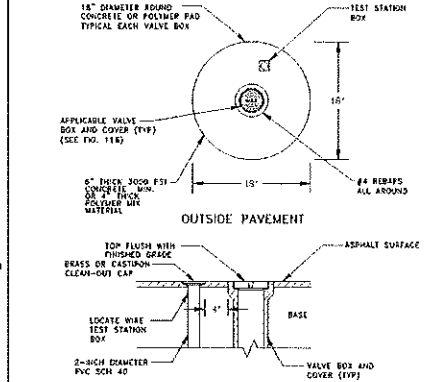
- NOTES:
1. FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE, FM FITTINGS TO BE LISTED WHEN PROTECTED 401.
  2. INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH EXCEEDING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
  3. WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
  4. IN LINE VALVES AND THROUGH RUNS OF TEES OUTSIDE UNITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
  5. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEEDURE GIVEN IN "THROUGHT RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY EPRI, FOR PVC WITH THE FOLLOWING ASSUMPTIONS:  
 TYPE OF PIPE: PVC  
 WORKING PRESSURE: 150 P.S.I.  
 SOIL DEFORMATION: 2.0%  
 LAYING CONDITIONS: 2  
 \*\* FM = 100 P.S.I. / WM OR RWM = 150 P.S.I.
  6. FOR PIPE BEDDING IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
  7. VALVES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

RESTRAINED PIPE TABLE (PVC)

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DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 105



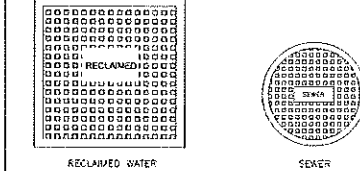
VALVE BOX

VALVE IDENTIFICATION TAG TO BE INSTALLED BY CITY & PAID FOR BY DEVELOPER

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DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 109

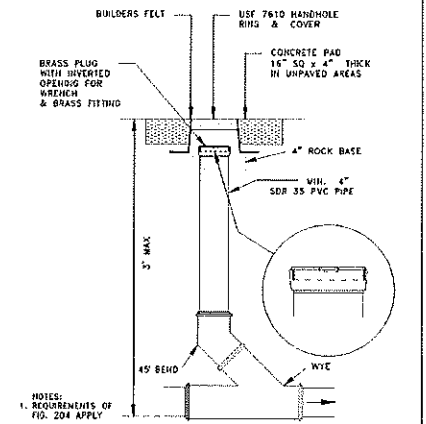


TYPICAL VALVE BOX COVER DETAILS

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FIG. 116

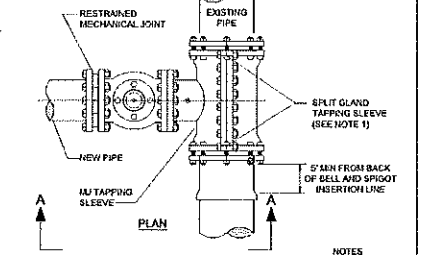


SANITARY SEWER SERVICE TRAFFIC RATED CLEAN-OUT DETAIL

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DESIGN ENGINEERING DIVISION

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FIG. 205

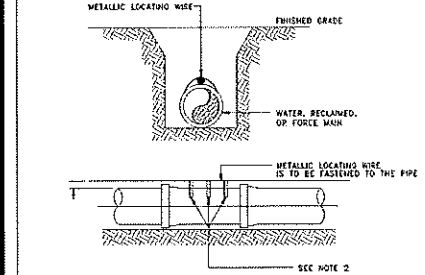


SECTION A-A WATER AND RECLAIMED WATER MAINS WET TAP TIE-IN DETAIL

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 406

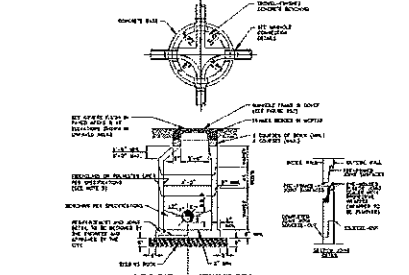


PIPE LOCATING WIRE DETAIL

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DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 118

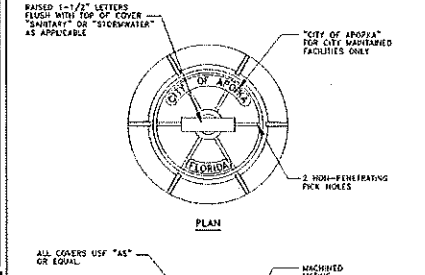


TYPICAL MANHOLE

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 200

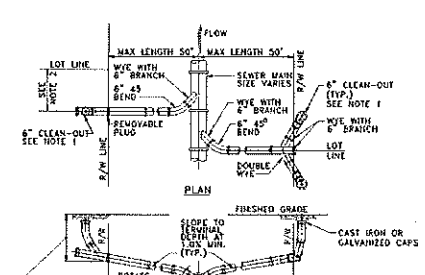


STANDARD MANHOLE FRAME AND COVER

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 202

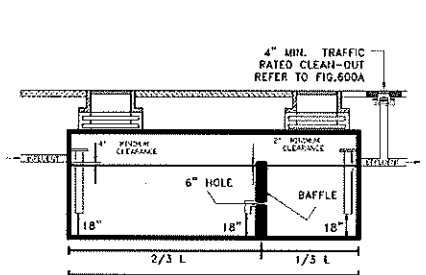


SERVICE LATERAL DETAIL

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 204

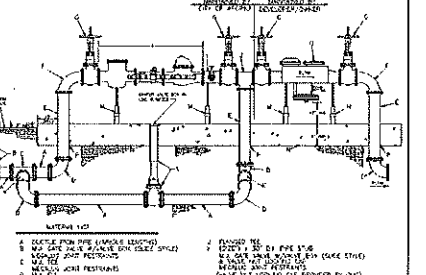


GREASE INTERCEPTOR DETAIL

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 600



FIRE LINE MASTER METER ASSEMBLY W/ BY-PASS (TYPICAL)

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 500 C

SEAL:

STUART ANDERSON, P.E.  
FL. REG. #68848

NO DATE  
REVISIONS

FAIRFIELD INN /  
SELF STORAGE

1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 9-13-17

C5  
CITY DETAILS  
SHEET 11 OF 30  
CHECKED: CDB DRAWN: HJM

SEAL:

STUART ANDERSON, P.E.  
FL. REG. #68848

NO DATE REVISIONS  
REVISIONS

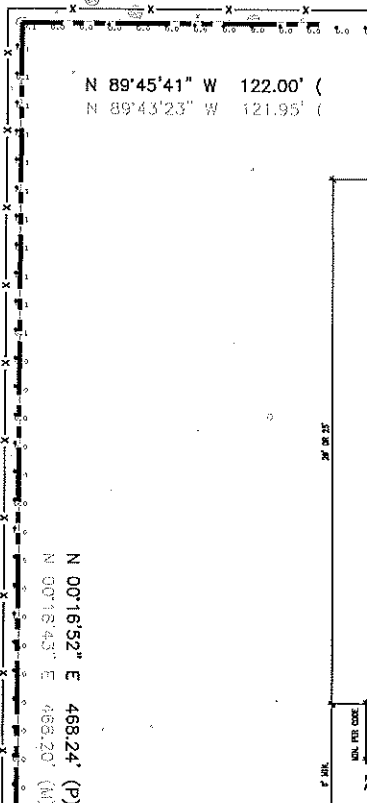
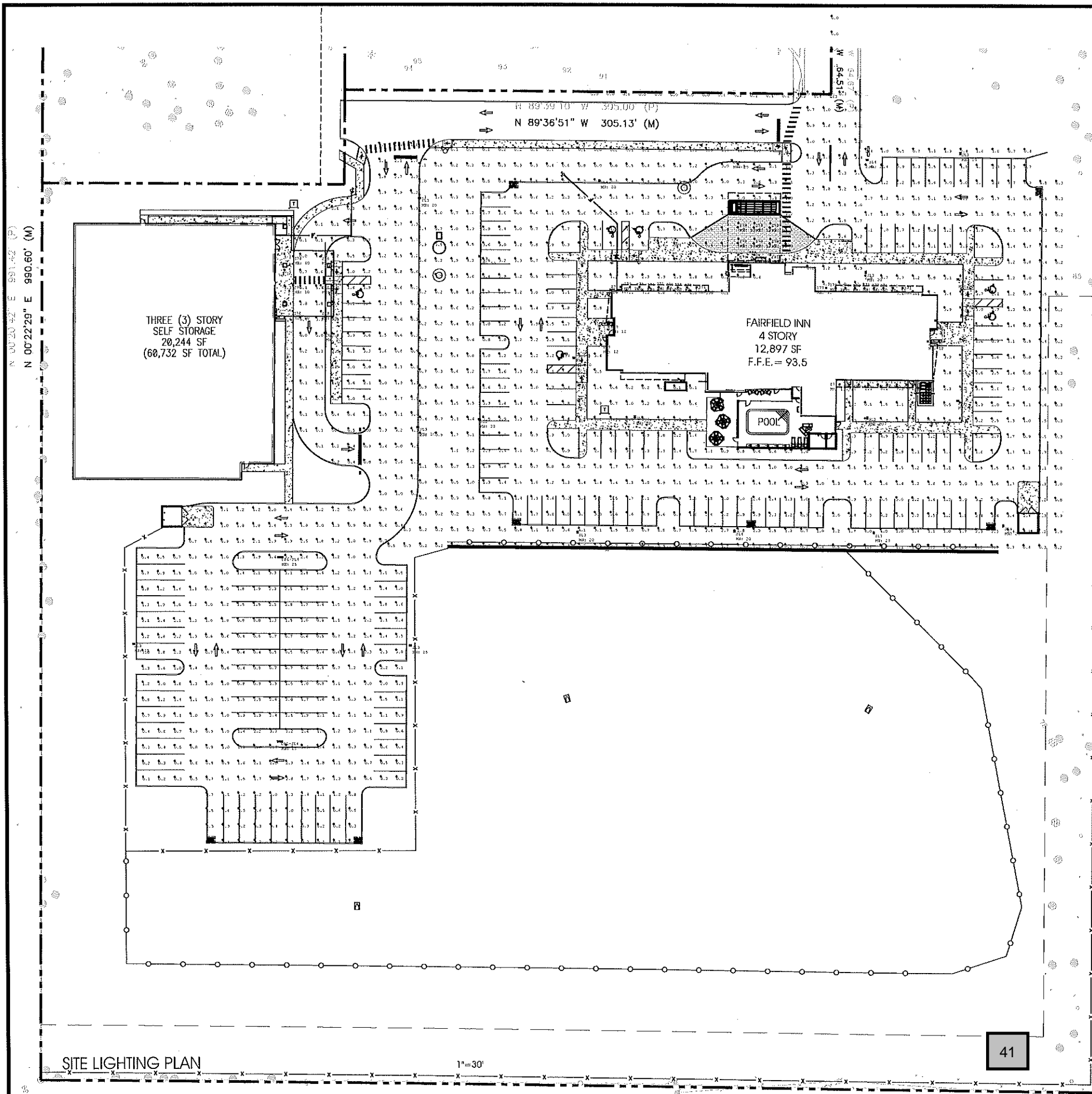
**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 8-3-18

**SL1**  
SITE LIGHTING PLAN  
SHEET 12 OF 30  
CHECKED: CDB DRAWN: H.M

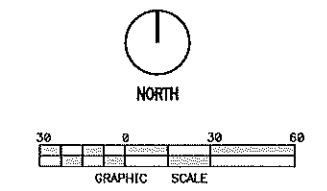
Label	Calc/Type	Units	Avg	Max	Min	Avg/ftm	Max/ftm
Entrance	ILLUMINANCE	FC	2.11	12.7	0.3	7.07	43.00
Hotel East FL	ILLUMINANCE	FC	0.92	0.3	0.0	N.A.	N.A.
Property Entrance	ILLUMINANCE	FC	0.03	0.4	0.0	N.A.	N.A.
Self Storage	ILLUMINANCE	FC	1.86	6.2	0.0	N.A.	N.A.
Self Storage West FL	ILLUMINANCE	FC	0.09	0.0	0.0	N.A.	N.A.
West	ILLUMINANCE	FC	1.63	8.1	0.0	N.A.	N.A.

Symbol	Label	Arrangement	Total Lamp Lumens	LF	Description
□	SL3	SINGLE	N.A.	0.950	OSC-A-xx-300-B-100-0L-xxxx W/OCC-BL-SP C
□	SL4	SINGLE	N.A.	0.950	OSC-A-xx-300-B-100-0L-xxxx W/OCC-BL-SP C
□	SL5	SINGLE	N.A.	0.950	OSC-A-xx-300-B-100-0L-xxxx W/OCC-BL-SP C
□	SL6	SINGLE	N.A.	0.950	OSC-A-xx-300-B-100-0L-xxxx W/OCC-BL-SP C
□	SL7	SINGLE	N.A.	0.950	OSC-A-xx-300-B-100-0L-xxxx W/OCC-BL-SP C
□	SL8	SINGLE	N.A.	0.950	OSC-A-xx-300-B-100-0L-xxxx W/OCC-BL-SP C
□	SL9	SINGLE	N.A.	0.950	OSC-A-xx-300-B-100-0L-xxxx W/OCC-BL-SP C
□	SL10	SINGLE	N.A.	0.950	OSC-A-xx-300-B-100-0L-xxxx W/OCC-BL-SP C









NOTES:  
ALL POLE BASES TO BE INSTALLED OF 24\"/>

1 SITE LIGHTING POLE AND BASE AS






# PLANT LEGEND







## SHADE TREES

- QV  LIVE OAK - QUERCUS VIRGINIANA  
4" CAL./6' SPRD./14' HT.
- QWH  SWEET GUM - LIQUIDAMBAR STYRACIFLUA  
4" CAL./6' SPRD./14' HT.
- IA  ALLEE ELM - ULMAS AMERICANA  
4" CAL./6' SPRD./14' HT.
- JV  SOUTHERN RED CEDAR - JUNIPERUS SILICICOLA  
3" CAL./5' SPRD./12' HT.
- PE  PINUS ELLIOTTII - SLASH PINE  
BALD CYPRESS - TAXODIUM DISTICHUM (AT LAKE EDGE)  
3" CAL./5' SPRD./12' HT.  
2" CAL./3' SPRD./10' HT.
- MG  SOUTHERN MAGNOLIA - MAGNOLIA GRANDIFLORA  
3" CAL./5' SPRD./12' HT.

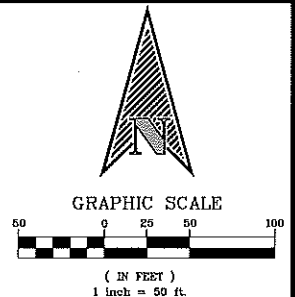
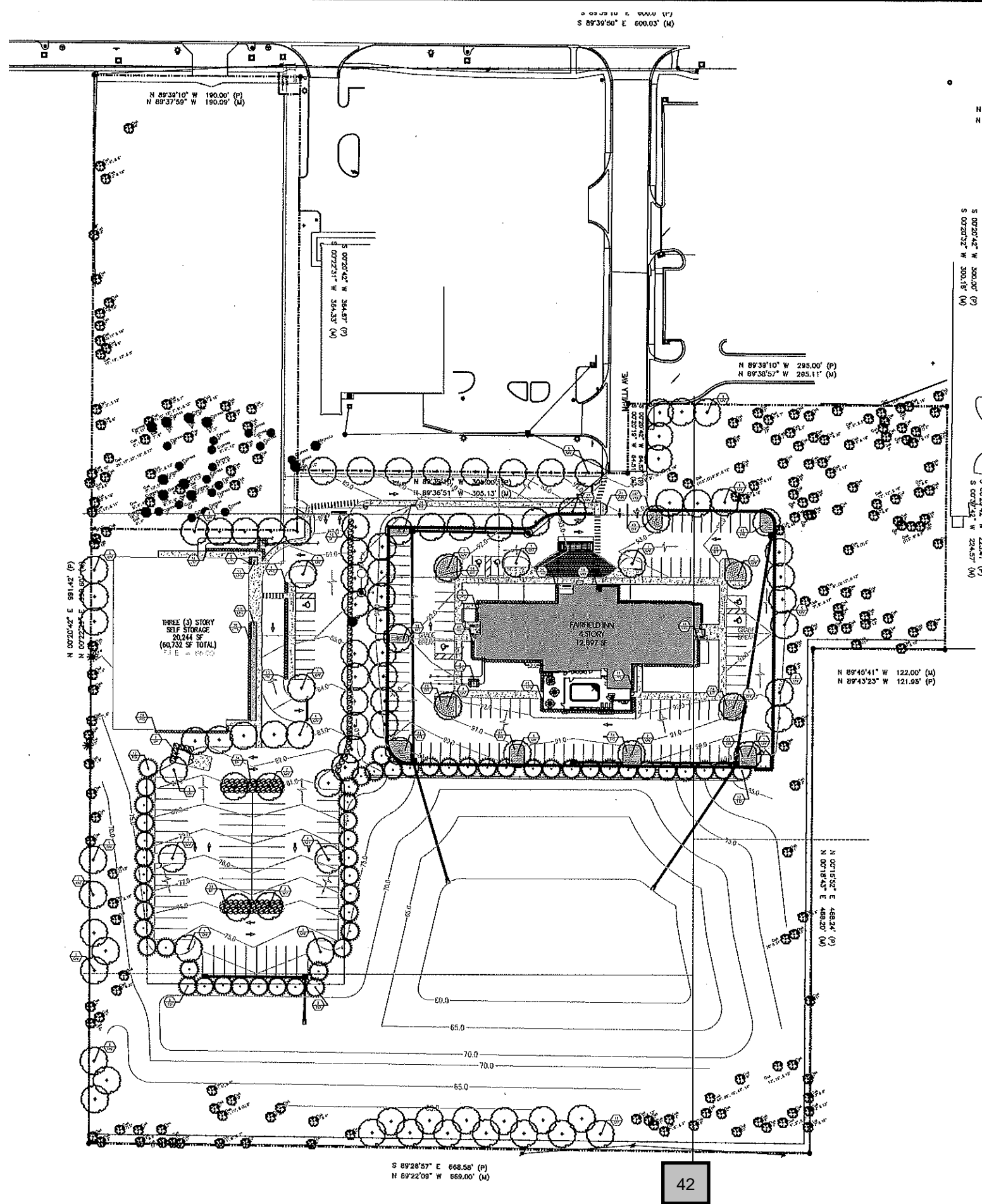
## UNDERSTORY TREE

- LL  LIGUSTRUM TREE - LIGUSTRUM LUCIDUM  
3" CAL./8' SPRD./8' HT./MULTI-TRUNKED
- LI  CRAPE MYRTLE - LAGERSTROEMIA INDICA  
3" CAL./6' SPRD./10' HT.
- CS  BRODIE JUNIPER - JUNIPERUS SILICICOLA 'BRODIE'  
3" CAL./2' SPRD./10' HT.

## SHRUBS / GROUND COVER

- CA  DWARF WALTER'S VIBURNUM, SWEET VIBURNUM,  
FAKAHATCHEE GRASS, AZALEA, BURFORD HOLLY,  
PT  PODOCARPUS, PINEAPPLE GUAVA, PHILODENDRON,  
MC  WILD COFFEE, MIRROR-LEAF VIB., FLORIDA ANISE,  
VA  CRINUM LILY, CARDBOARD PALM, SAGO PALM  
CU  LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN,  
VWS  BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER,  
ANNUALS - SIZES VARY

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.



**INTERPLAN**

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 8660

604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124



Jason P. Bridgewater  
Registered Landscape Architect  
FL Registration - LA 6667308

NO	DATE	REVISIONS
4	10/23/18	IRRIGATION PLANS ADDED
3	06/09/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
NO		DATE
		REMARKS

**CADDSAPES, INC.**  
Florida Landscape Architecture Firm  
714 Arlene Drive, FL 32723  
Office: 407 310-5567  
LCA# 26000950  
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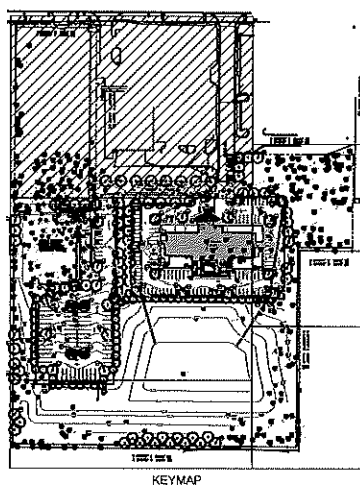
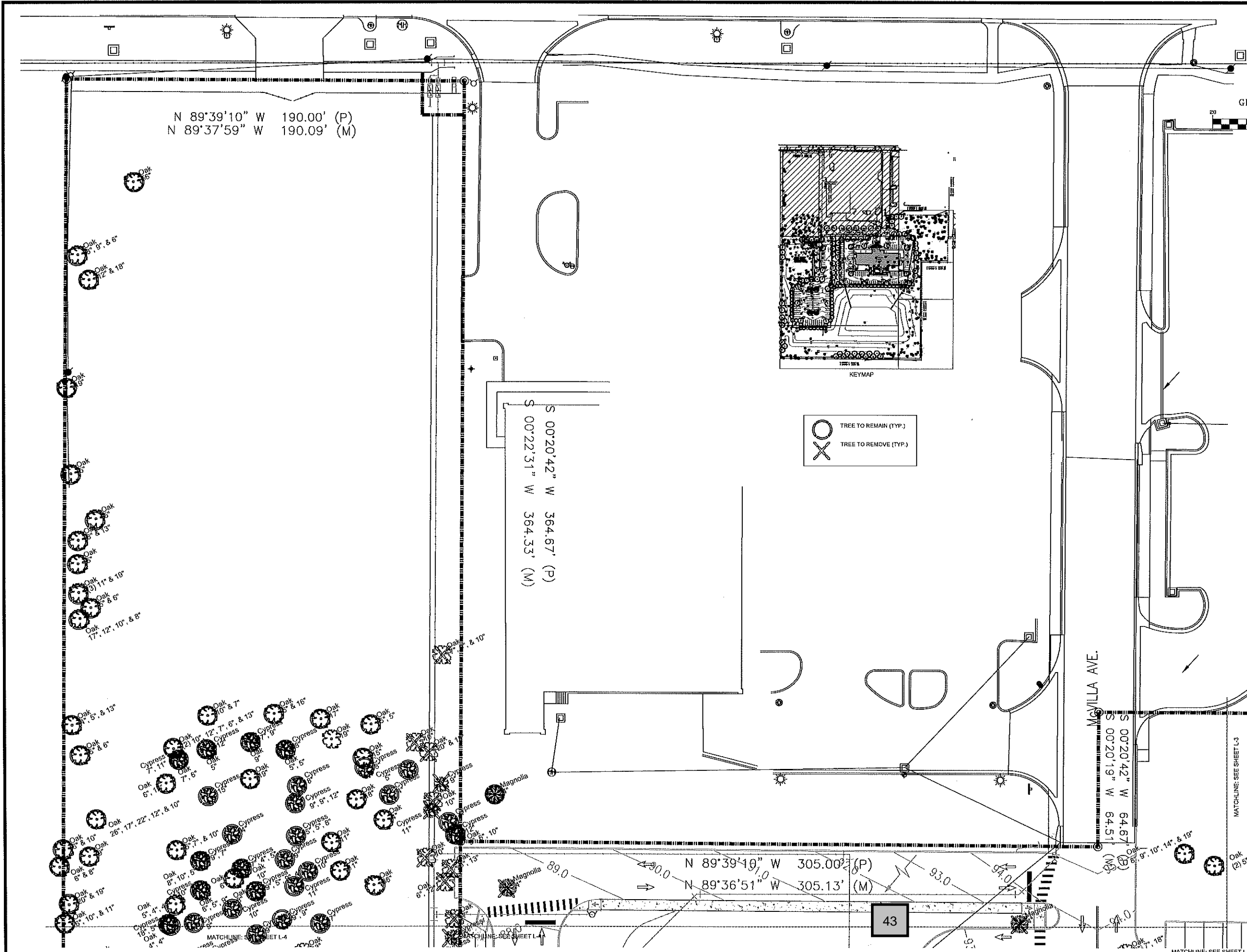
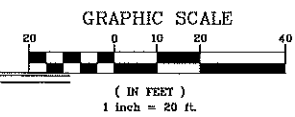
MATCHLINE: SEE SHEET L-2

**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 04/11/17

**OVERALL LANDSCAPE PLAN**  
L-1  
SHEET: 8 OF 19  
CHECKED: JB DRAWN: JB





○ TREE TO REMAIN (TYP.)  
✕ TREE TO REMOVE (TYP.)

NO	DATE	REVISIONS
4	10/23/18	IRRIGATION PLANS ADDED
3	04/25/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
	NO DATE	REMARKS

MATCHLINE: SEE SHEET L-3

**CADDSCAPES, INC.**  
Florida Landscape Architecture Firm  
714 Arlene Drive, FL 32725  
Office: 407-310-5567  
jasonbridgewater@gmail.com

**FARISH ENTERPRISES**

1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

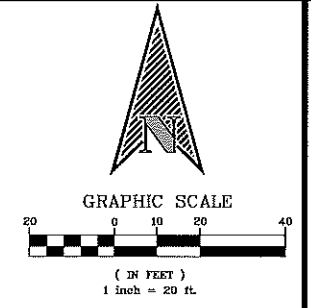
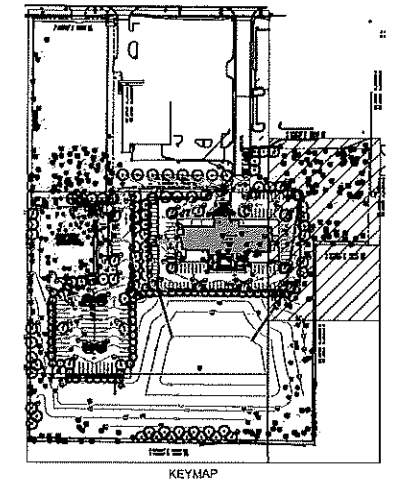
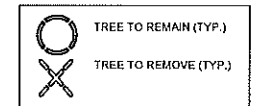
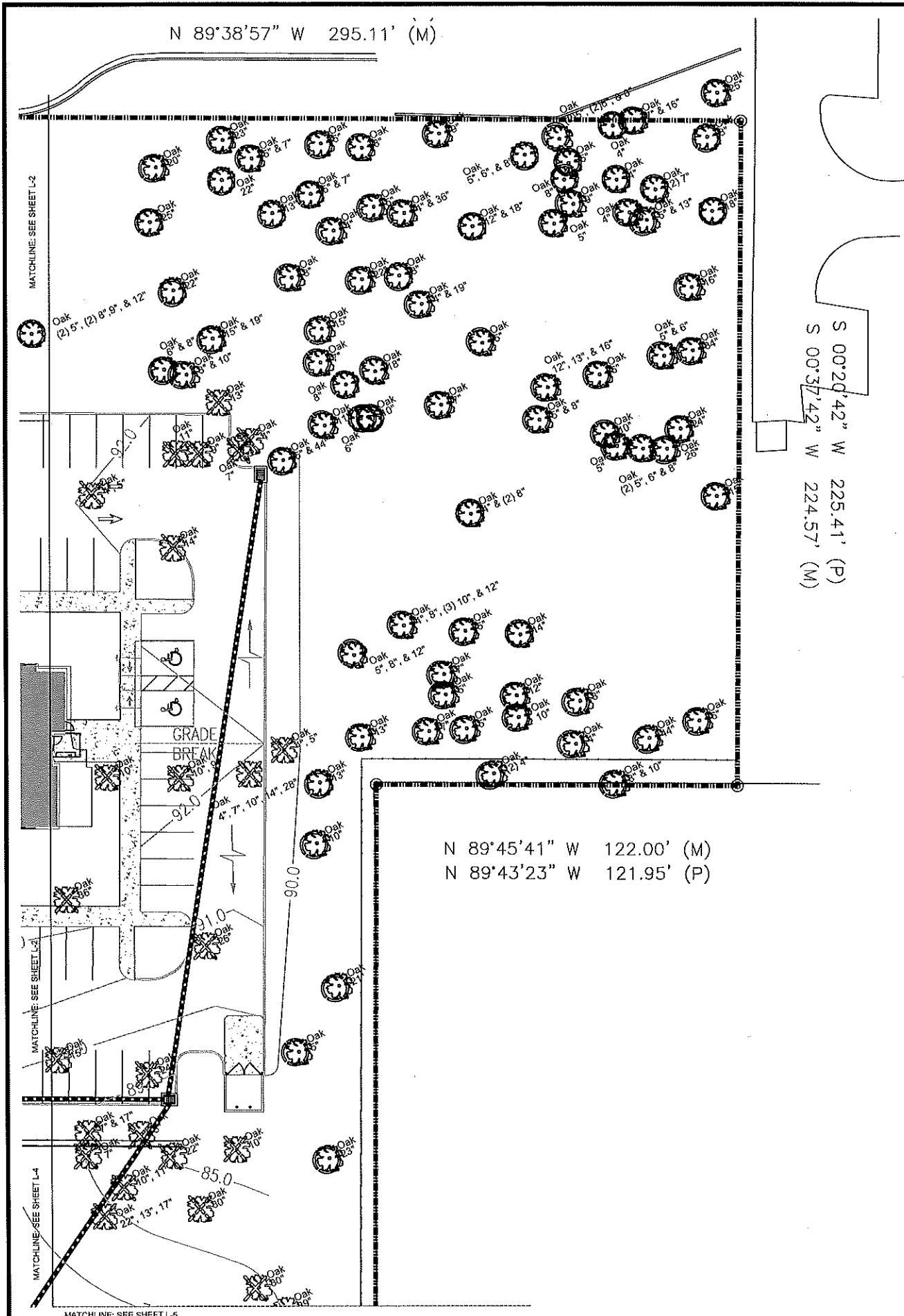
PROJECT NO: 2016.0341  
DATE: 04/11/17

TREE MITIGATION PLAN

L-2

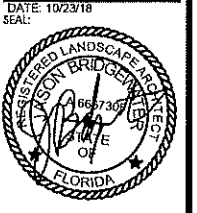
SHEET: 9 OF 19  
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**INTERPLAN**

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT  
AA 003426  
CA 8660  
604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124



Jason P. Bridgewater  
Registered Landscape Architect  
FL Registration - LA 6667308

NO	DATE	REMARKS
4	10/23/18	IRRIGATION PLANS ADDED
3	06/29/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
NO	DATE	REMARKS

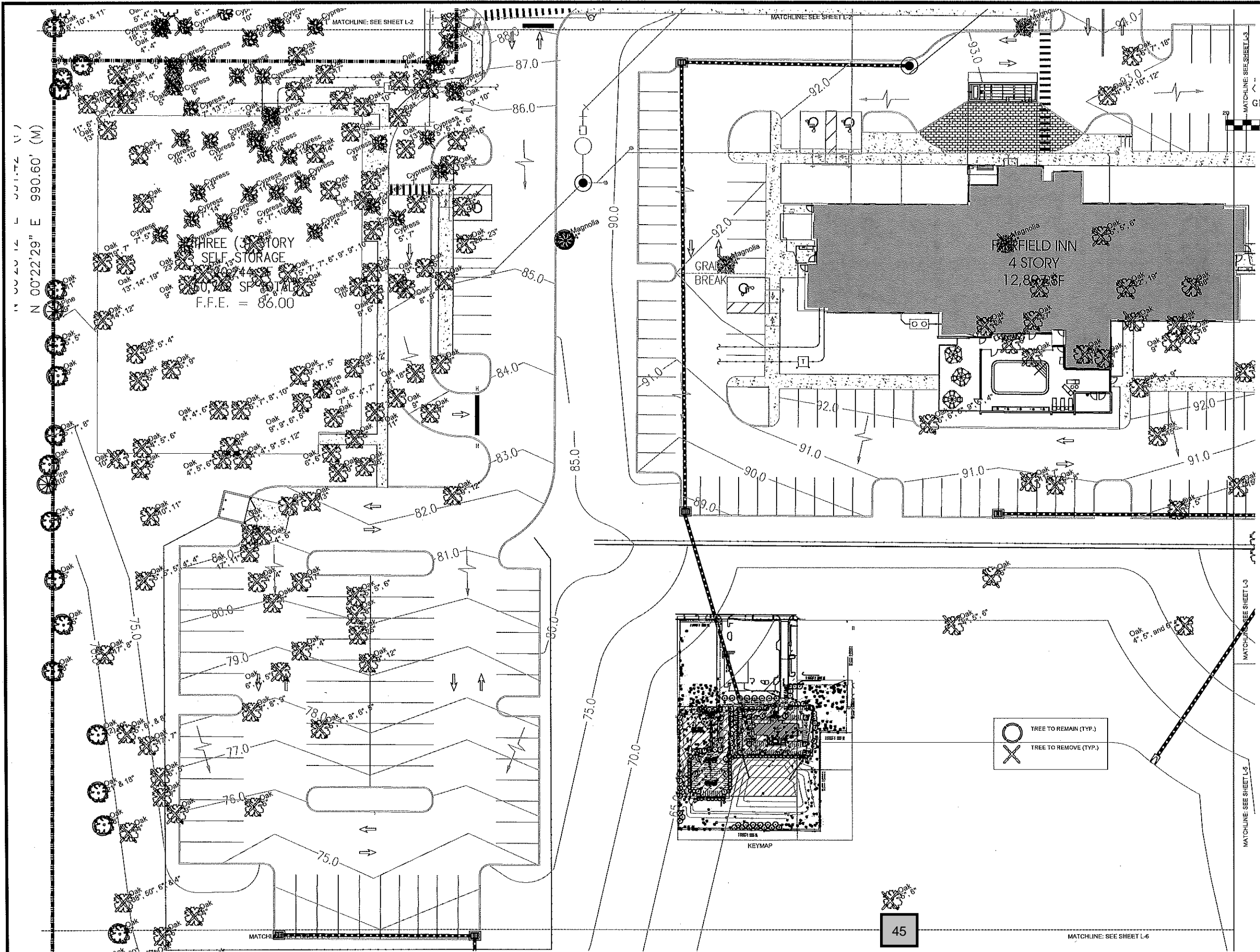
REVISIONS

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714 Arlene Drive, FL 32725  
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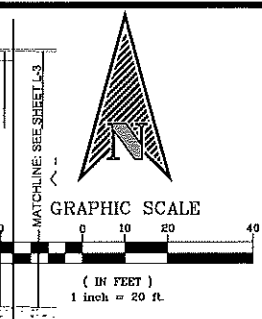
**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 04/11/17  
**TREE MITIGATION PLAN**  
L-3  
SHEET 10 OF 19  
CHECKED: JB DRAWN: JB





N 00°22'29" E 990.60' (M)



**INTERPLAN**  
 ARCHITECTURE  
 ENGINEERING  
 INTERIOR DESIGN  
 PROJECT MANAGEMENT  
 AA 003420  
 CA 8660

604 COURTLAND STREET  
 SUITE 100  
 ORLANDO, FLORIDA 32804  
 PH 407.645.6008  
 FX 407.629.9124

DATE: 10/23/18  
 SEAL:



Jason P. Bridgewater  
 Registered Landscape Architect  
 FL Registration - LA 6867308

NO.	DATE	REVISIONS
4	10/23/18	658/2018 PLANIS ADDED
3	05/08/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
100		DATE
		REMARKS

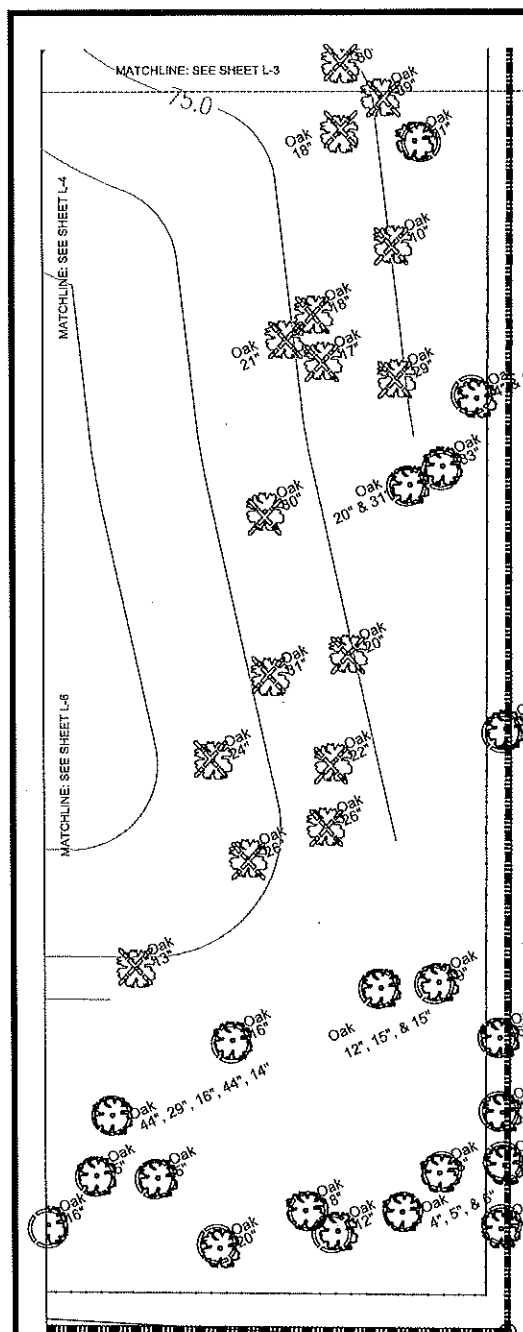
**CADSCAPES, INC.**  
 Florida Landscape Architecture Firm  
 714 Aliene Drive, FL 32723 Landscape Architect  
 Office: 407 310-5567 Jason Bridgewater, RLA  
 Florida Water Star AP  
 jasonbridgewater@gmail.com  
 LC# 26000050  
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**FARISH ENTERPRISES**  
 1616 EAST SEMORAN BOULEVARD  
 APOPKA  
 FLORIDA

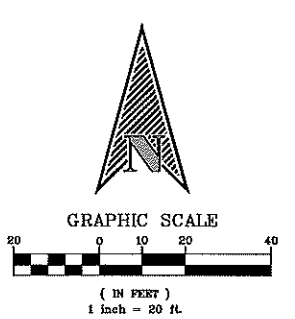
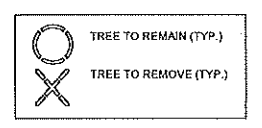
PROJECT NO: 2016.0341  
 DATE: 04/11/17  
**TREE MITIGATION PLAN**

**L-4**  
 SHEET 11 OF 19  
 CHECKED: JB DRAWN: JB

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N 00°16'52" E 468.24' (P)  
N 00°18'43" E 468.20' (M)



• Total inches on-site: 7,602" DBH  
 • Total number of specimen trees: 34 Specimen Trees  
 • Total inches removed: 2,992"  
 • Total inches retained: 3,290"  
 • Total specimen inches retained: 557"  
 • Total inches required: 1,847"  
 • Total inches replaced: 93.5"  
 • Total inches post development: 3,383.5"  
 • Maximum tree stock formula and calculations:  $527,699 - 6,000 = 521,699 / 1000 = 521.699$   
 $521.699 * 3.5 = 1,826 + 21 = 1,847$   
 • Site clearing area in square feet and acres: 527,699 (12.11 acres).

Existing Specimen Trees to Remove		
Count	SIZE	TYPE
1	28"	Oak
4	26"	Oak
1	27"	Oak
1	4", 7", 10", 14", 20"	Oak
1	38"	Oak
3	30"	Oak
1	31"	Oak
1	38", 50", 6", & 4"	Oak
1	39"	Oak
3	24"	Oak
2	38"	Oak
2	29"	Oak
1	28", 23"	Oak
2	25"	Oak
763		

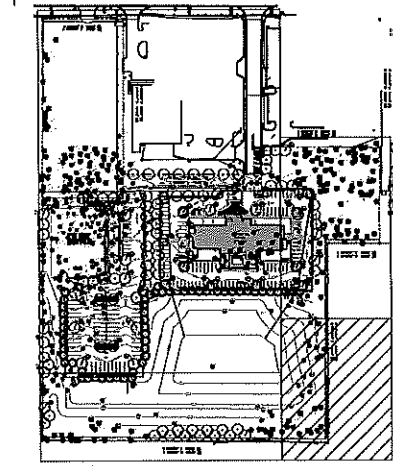
Existing Trees to Remove		
Count	SIZE	TYPE
1	6", 7", 10"	Cypress
1	11"	Cypress
2	13"	Cypress
1	8", 4", 5"	Cypress
1	5", 6", 4", 6"	Cypress
1	4", 4"	Cypress
1	5", 7"	Cypress
1	7", 5"	Cypress
1	5", 5"	Cypress
1	7", 14"	Cypress
1	12"	Cypress
4	7"	Cypress
2	6"	Cypress
4	8"	Cypress
1	7", 13", 12"	Cypress
1	10", 10"	Cypress
2	10"	Cypress
1	6", 8"	Cypress
1	15"	Cypress
4	4"	Magnolia
1	8"	Komqueal
1	4", 6"	Oak
1	6", 6"	Oak
1	13", 12"	Oak
1	6", 18"	Oak
1	17", 11"	Oak
1	7", 4"	Oak
1	6", 4", 5"	Oak
1	4", 4"	Oak
2	5", 5", 8"	Oak
1	7", 6", 4", 7"	Oak
1	5", 5", 5", 4", 4"	Oak
2	10", 11"	Oak
2	9", 12"	Oak
1	22", 5", 4"	Oak
2	6", 9"	Oak
1	7", 9", & 10"	Oak
1	20" & 15"	Oak
6	6"	Oak
1	10", 14"	Oak
1	6", 7", 8", 10"	Oak
1	9", 9", 6", 5"	Oak
1	4", 4", 6"	Oak
1	4", 4", 9", 5", 12"	Oak
3	4", 5", 6"	Oak
1	6", 7", 8", 6", 5"	Oak
1	5", 13", 9"	Oak
1	6", 6", 6", 9", 5", 4"	Oak
1	22", 13", 17"	Oak
1	11", 7"	Oak
1	9", 7", 5"	Oak
1	5", 6", & 8"	Oak
1	22", 19"	Oak
1	10", 9"	Oak
1270		

Existing Trees to Remove (Cont.)		
Count	SIZE	TYPE
1	5", 6"	Oak
1	14", 9"	Oak
1	10", 16"	Oak
1	6", 5"	Oak
1	7", 8", 9"	Oak
2	17", 7"	Oak
1	20"	Oak
1	21"	Oak
2	22"	Oak
1	14", 12"	Oak
1	9", 10"	Oak
5	10"	Oak
1	6", 13"	Oak
1	6", 12"	Oak
2	12"	Oak
1	17", 8"	Oak
3	19"	Oak
1	9", 4"	Oak
1	4", 10"	Oak
1	4", 12"	Oak
4	17"	Oak
3	15"	Oak
1	3"	Oak
4	4"	Oak
12	9"	Oak
16	7"	Oak
1	4", 5", and 6"	Oak
3	18"	Oak
2	11"	Oak
1	4", 5", 10", 12"	Oak
2	5", 5"	Oak
1	6", 7", 18"	Oak
2	14"	Oak
2	4", 5"	Oak
9	5"	Oak
1	12", 13"	Oak
1	5", 7"	Oak
1	23"	Oak
1	19", 7"	Oak
1	13", 14", 19"	Oak
1	5", 7", 7", 8", 9", 9", 10"	Oak
1	8", 6"	Oak
1	7", 8", 8"	Oak
3	8"	Oak
1	7", 10", 18"	Oak
1	11", 6", 9", 12"	Oak
7	13"	Oak
1	5", 14"	Oak
2	7", 8"	Oak
1	17", 5"	Oak
1	9", 7"	Oak
1	16"	Oak
1	7", 7"	Oak
1	4", 16"	Oak
2	6", 9"	Oak
1	14"	Pine
1722		

Existing Trees to Remain		
Count	SIZE	TYPE
1	4" & 36"	Oak
2	25"	Oak
1	24"	Oak
1	28"	Oak
1	44"	Oak
1	5" & 44"	Oak
1	56"	Oak
1	26", 17", 22", 12", & 10"	Oak
1	36"	Oak
1	34"	Oak
1	44", 29", 16", 44", 14"	Oak
1	20" & 31"	Oak
1	33"	Oak
		557.00
		0000

Existing Trees to Remain		
Count	SIZE	TYPE
2	12"	Cypress
5	8"	Cypress
1	9", 7"	Cypress
1	5", 5", 8"	Cypress
2	4"	Cypress
1	9", 9", 12"	Cypress
1	7", 9"	Cypress
1	7", 11"	Cypress
1	7", 4", 5"	Cypress
1	18", 5"	Cypress
1	5"	Cypress
1	9", 9"	Cypress
1	10"	Cypress
3	9"	Cypress
1	11"	Cypress
1	7"	Cypress
1	9", 5", 9", 4"	Cypress
1	15"	Cypress
2	4"	Magnolia
1	4" & 36"	Oak
2	12" & 18"	Oak
1	4" & 19"	Oak
1	15" & 19"	Oak
2	5" & 7"	Oak
3	15"	Oak
1	5" & 8"	Oak
1	12", 13", & 16"	Oak
1	4" & (2) 8"	Oak
1	(2) 5", 6" & 8"	Oak
1	4", 6", (3) 10", & 12"	Oak
1	5", 8", & 12"	Oak
1	(2) 4"	Oak
3	22"	Oak
2	23"	Oak
2	8" & 10"	Oak
1	8", 9", 10", 14", & 19"	Oak
1	(2) 5", (2) 8", 9", & 12"	Oak
2	4" & 8"	Oak
2	14"	Oak
1	5" & 44"	Oak
1	4", 5", & 13"	Oak
1	26", 17", 22", 12", & 10"	Oak
1	(3) 11" & 19"	Oak
1	8" & 13"	Oak
1	8", 9", & 6"	Oak
1	7" & 11"	Oak
1	6" & 10"	Oak
1	10" & 7"	Oak
1	6" & 16"	Oak
2	17"	Oak
1	6", 10", & 11"	Oak
1	20" & 19"	Oak
1	(2) 7"	Oak
1	5", 8", & 8"	Oak
1	(2) 5", (2) 6", & 8"	Oak
3	5" & 6"	Oak
1	5" & 13"	Oak
1	7" & 16"	Oak
		1573

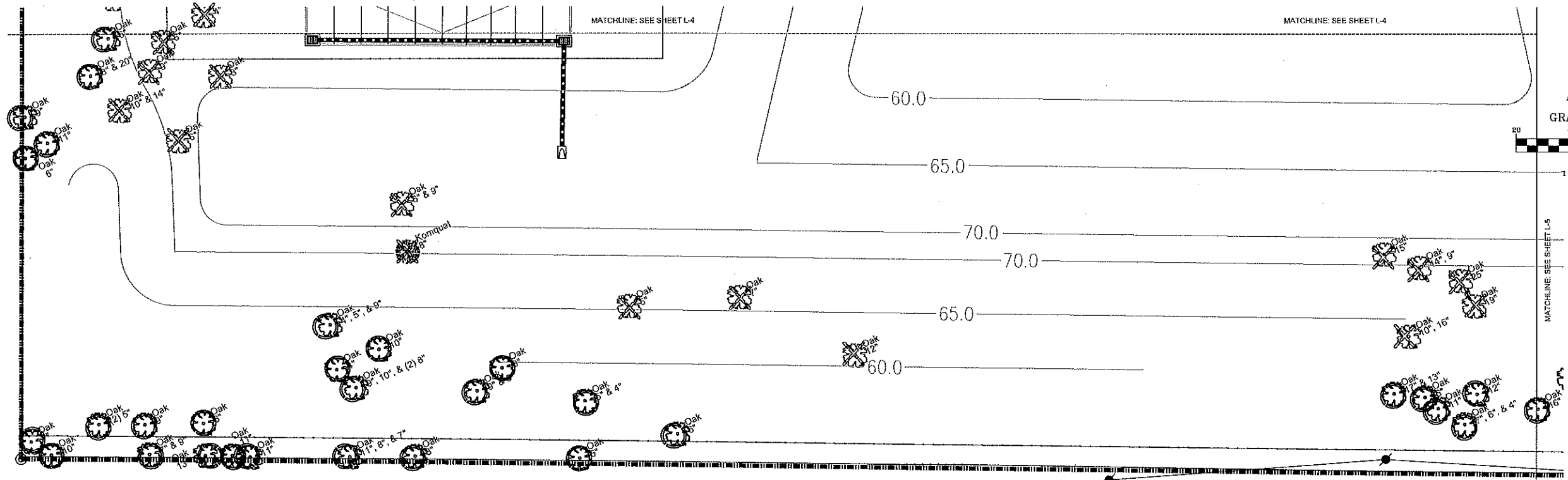
Existing Trees to Remain (cont.)		
Count	SIZE	TYPE
57	19"	Oak
47	17", 12", 10", & 8"	Oak
23	5", 7", & 10"	Oak
58	(2) 10", 12", 7", 6", & 13"	Oak
13	7", 6"	Oak
18	6", 12"	Oak
80	10"	Oak
23	6", 10", 5"	Oak
21	5", 6", 10"	Oak
13	5", 4", 4"	Oak
20	(2) 10"	Oak
28	6" & 20"	Oak
39	21" & 16"	Oak
10	38", 50", 6", & 4"	Oak
2	4"	Oak
7	5"	Oak
19	5"	Oak
8	9"	Oak
1	17", 8"	Oak
4	13"	Oak
4	8"	Oak
11	6", 5"	Oak
20	6", 5", 9"	Oak
60	6"	Oak
16	7", 9"	Oak
42	7"	Oak
20	5", 7", 8"	Oak
36	12"	Oak
72	18"	Oak
48	16"	Oak
25	12" & 13"	Oak
28	12" & 16"	Oak
15	4", 5", & 6"	Oak
17	7", 6", & 4"	Oak
12	4" & 8"	Oak
30	17" & 13"	Oak
20	20" & 31"	Oak
18	4", 5", & 9"	Oak
35	6", 10", & (2) 8"	Oak
8	4", 4"	Oak
17	9" & 8"	Oak
88	11"	Oak
9	5" & 4"	Oak
28	11", 8", & 7"	Oak
63	21"	Oak
42	12", 15", & 15"	Oak
18	10" & 8"	Oak
16	7" & 9"	Oak
30	(2) 5"	Oak
40	20"	Oak
9	9"	Pine
		1717



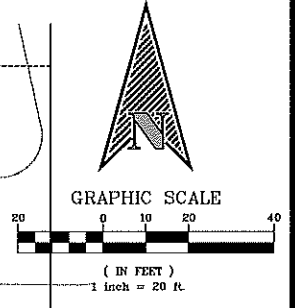
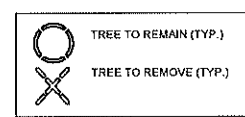
**INTERPLAN**  
 ARCHITECTURE  
 ENGINEERING  
 INTERIOR DESIGN  
 PROJECT MANAGEMENT  
 AA 003420  
 CA 8560  
 604 COURTLAND STREET  
 SUITE 100  
 ORLANDO, FLORIDA 32804  
 PH 407.645.5008  
 FX 407.629.9124  
 DATE: 12/12/18  
 SEAL:  
  
 Jason P. Bridgewater  
 Registered Landscape Architect  
 FL Registration - LA 6667305

6 12/12/18 TREE CALC FORMULA L-5  
 4 10/23/18 IRRIGATION PLANS ADDED  
 3 06/08/18 CITY COMMENTS  
 2 01/19/18 CITY COMMENTS  
 1 09/04/17 CITY COMMENTS  
 NO DATE REMARKS  
 REVISIONS  
**FARISH ENTERPRISES**  
 1616 EAST SEMORAN BOULEVARD  
 APOPKA  
 FLORIDA  
 PROJECT NO: 2016.0341  
 DATE: 04/11/17  
**TREE MITIGATION PLAN**  
**L-5**  
 SHEET: 12 OF 19  
 CHECKED: JB DRAWN: JB

**CADSCAPES, INC.**  
 Florida Landscape Architecture Firm  
 714 Arlene Drive, FL 32725 Landscape Architect  
 Office: 407.310.5567 Jason Bridgewater, RLA  
 Florida Water Star, A.P.  
 jasonbridgetwater@gmail.com  
 LCA# 26009550  
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S 89°26'57" E 668.58' (P)  
 N 89°22'09" W 669.00' (M)



**INTERPLAN**

ARCHITECTURE  
 ENGINEERING  
 INTERIOR DESIGN  
 PROJECT MANAGEMENT

AA 003420  
 CA 8660

604 COURTLAND STREET  
 SUITE 100  
 ORLANDO, FLORIDA 32804  
 PH 407.645.5008  
 FX 407.629.9124

DATE: 10/23/18  
 SEAL:



Jason P. Bridgewater  
 Registered Landscape Architect  
 FL Registration -LA 6667308

NO	DATE	REMARKS
4	10/23/18	IRRIGATION PLANS ADDED
3	06/08/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/26/17	CITY COMMENTS

REVISIONS

**CADDSAPES, INC.**  
 Florida Landscape Architecture Firm  
 714 Arlene Drive, FL 32725 Landscape Architect:  
 Office: 407 310-5567 Jason Bridgewater, RLA  
 Florida Water Star AP  
 LCA# 20000550  
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 jasonbridgewater@gmail.com

**FARISH ENTERPRISES**

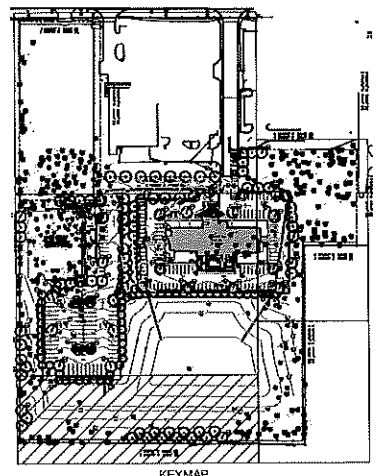
1616 EAST SEMORAN BOULEVARD  
 APOPKA  
 FLORIDA

PROJECT NO: 2016.0341  
 DATE: 04/11/17

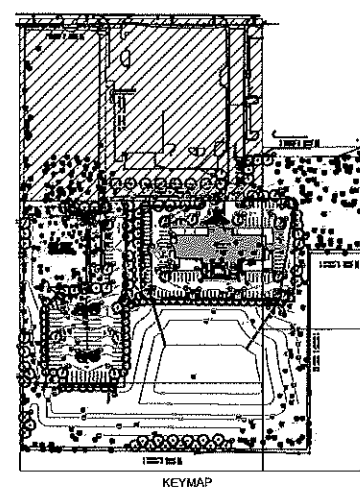
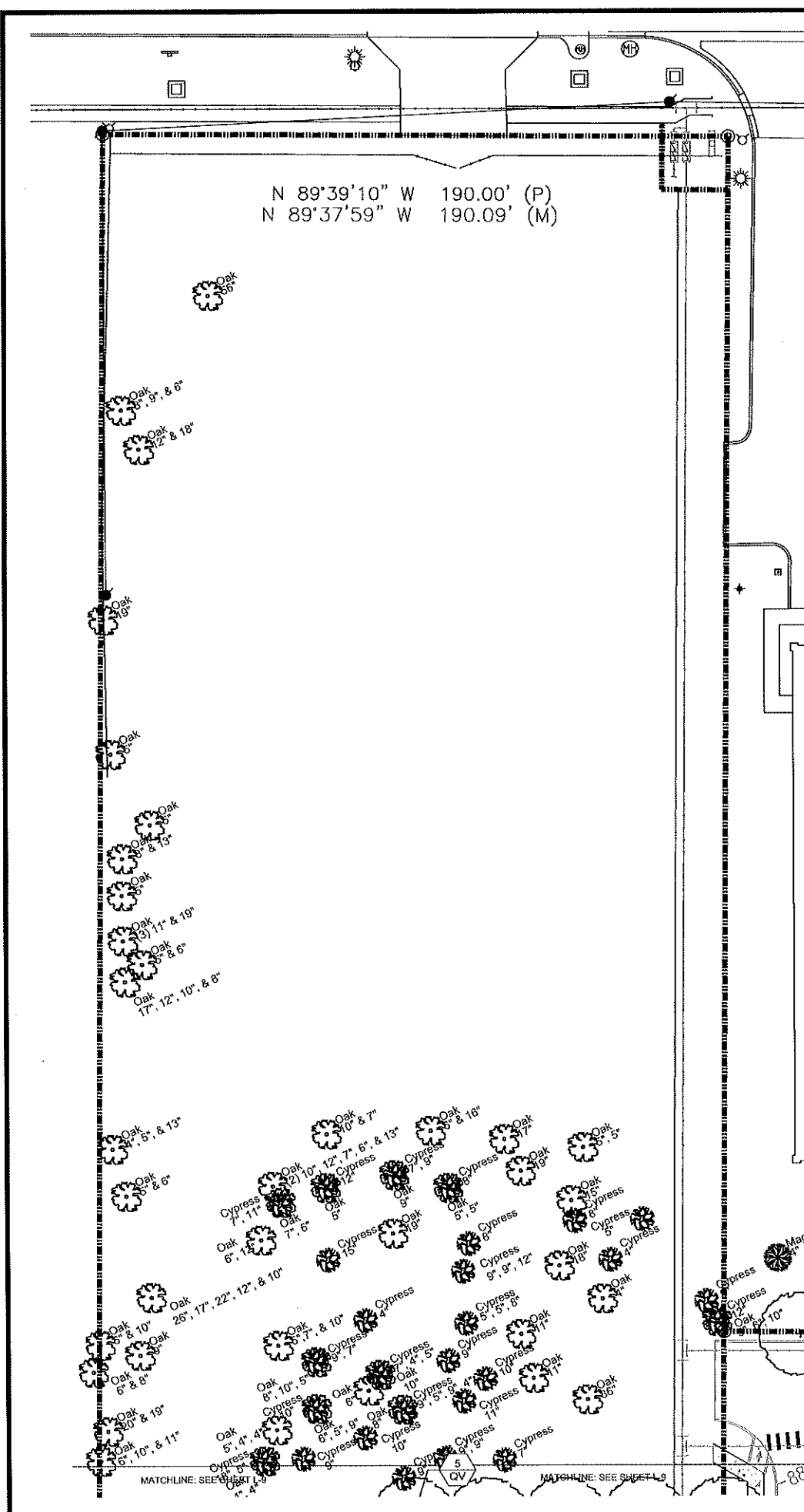
**TREE MITIGATION PLAN**

**L-6**

SHEET 13 OF 19  
 CHECKED: JB DRAWN: JB

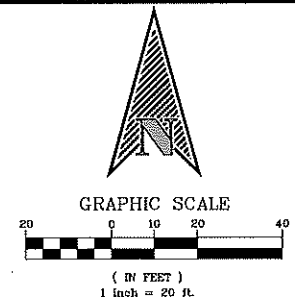


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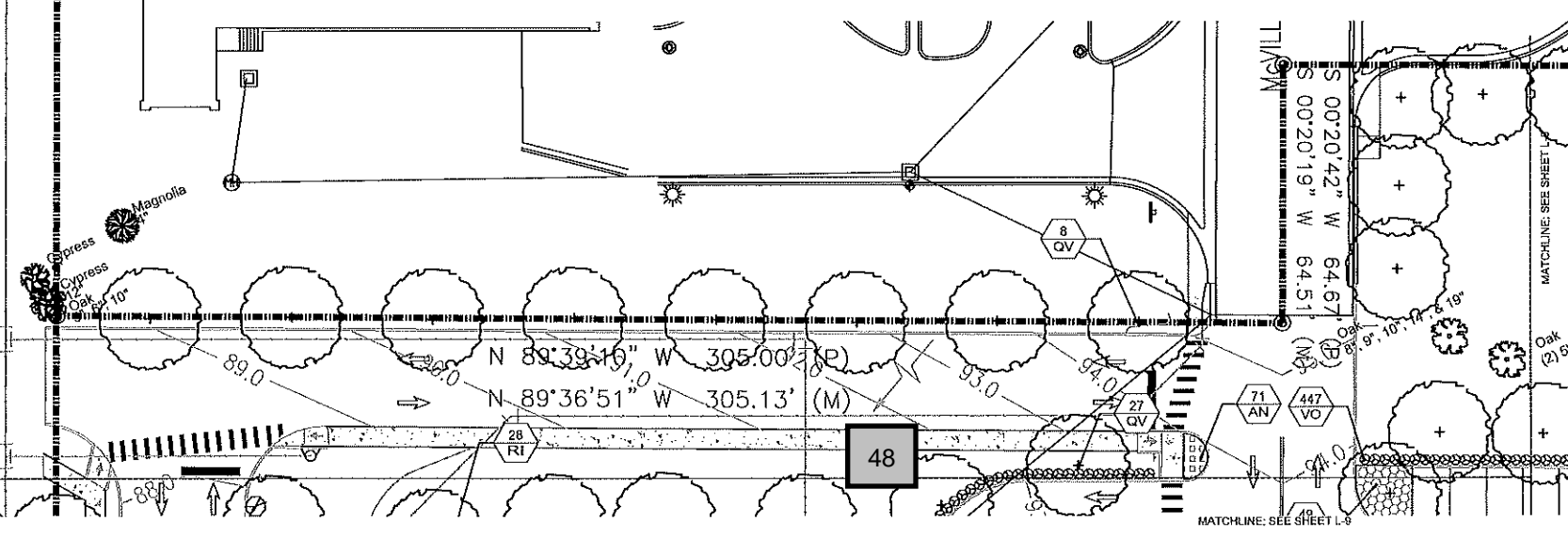


### PLANT LEGEND

SHADE TREES	
QV	LIVE OAK - QUERCUS VIRGINIANA 4" CAL./6' SPRD./14' HT.
QWH	SWEET GUM - LIQUIDAMBAR STYRACIFLUA 4" CAL./6' SPRD./14' HT.
JA SB	ALLEE ELM - ULMAS AMERICANA 4" CAL./6' SPRD./14' HT.
JV	SOUTHERN RED CEDAR - JUNIPERUS SILICICOLA 3" CAL./5' SPRD./12' HT.
PE TD	PINUS ELLIOTTII - SLASH PINE BALD CYPRESS - TAXODIUM DISTICHUM (AT LAKE EDGE) 3" CAL./5' SPRD./12' HT. 2" CAL./3' SPRD./10' HT.
MG	SOUTHERN MAGNOLIA - MAGNOLIA GRANDIFLORA 3" CAL./5' SPRD./12' HT.
UNDERSTORY TREE	
LL	LIGUSTRUM TREE - LIGUSTRUM LUCIDUM 3" CAL./8' SPRD./8' HT./MULTI-TRUNKED
LI	GRAPE MYRTLE - LAGERSTROEMIA INDICA 3" CAL./6' SPRD./10' HT.
CS	BRODIE JUNIPER - JUNIPERUS SILICICOLA 'BRODIE' 3" CAL./2' SPRD./10' HT.
SHRUBS / GROUNDCOVER	
CA ES PT MC VA CU VWS	DWARF WALTER'S VIBURNUM, SWEET MBURNUM, FAKAHATCHEE GRASS, AZAELA, BURFORD HOLLY PODOCARPUS, PINEAPPLE GUAVA, PHLODENDRON WLD COFFEE, MIRROR-LEAF YB., FLORIDA ANISE, CRINUM LILY, CARDBOARD PALM, SAGO PALM
	LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN, BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER, ANNUALS - SIZES VARY



ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.



**INTERPLAN**  
ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT  
AA 003420  
CA 8650

604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124

DATE: 10/23/18  
SEAL:



Jason P. Bridgewater  
Registered Landscape Architect  
FL Registration - LA 6687308

NO	DATE	REMARKS
4	10/23/18	IRRIGATION PLANS ADDED
3	06/08/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
NO	DATE	REMARKS

REVISIONS

**CADDSCAPES, INC.**  
Florida Landscape Architecture Firm  
714 Arlene Drive, FL 32725 Landscape Architect  
Office: 407 310-8567 Jason Bridgewater, RLA  
Florida Water Star AP  
jasonbridgewater@gmail.com  
LCH 26000550  
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**FARISH ENTERPRISES**

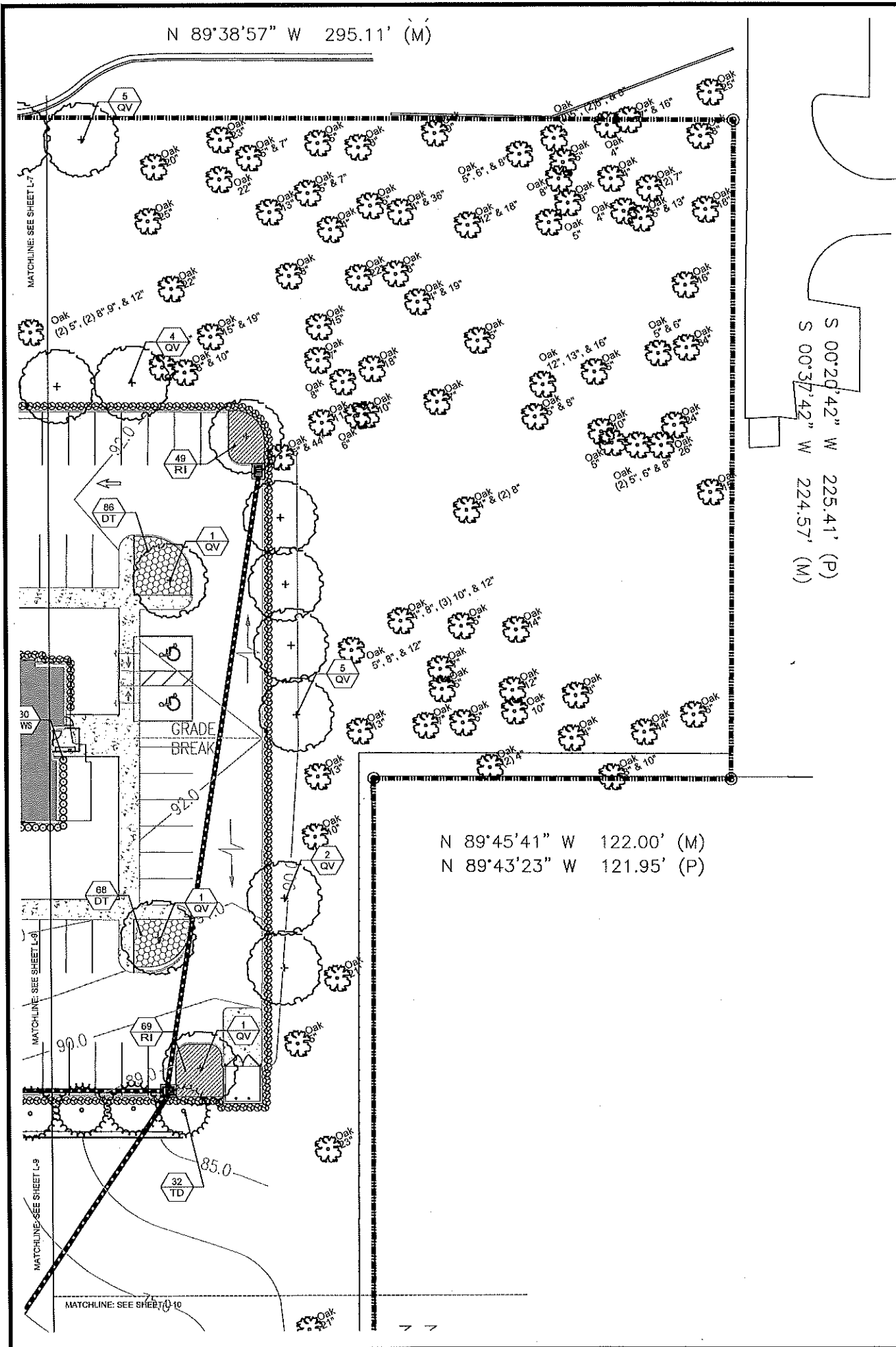
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 04/11/17

LANDSCAPE PLAN

L-7  
SHEET 14 OF 19  
CHECKED: JB DRAWN: JB

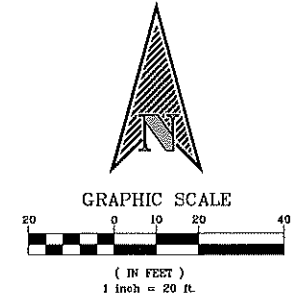
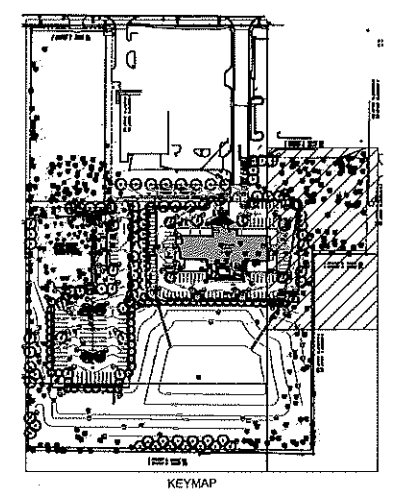
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### PLANT LEGEND

SHADE TREES	
QV	LIVE OAK - QUERCUS VIRGINIANA 4" CAL./6" SPRD./14' HT.
QWH	SWEET GUM - LIQUIDAMBAR STYRACIFLUA 4" CAL./6" SPRD./14' HT.
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CS	BRODIE JUNIPER - JUNIPERUS SILICICOLA 'BRODIE' 3" CAL./2" SPRD./10' HT.
SHRUBS / GROUNDCOVER	
CA ES PT MC VA CU VWS	DWARF WALTER'S VIBURNUM, SWEET VIBURNUM, FAKAHATCHEE GRASS, AZAELA, BURFORD HOLLY PODOCARPUS, PINEAPPLE GUAVA, PHILODENDRON WILD COFFEE, MIRROR-LEAF VB., FLORIDA ANISE, CRINUM LILY, CARDBOARD PALM, SAGO PALM  LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN, BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER, ANNUALS - SIZES VARY

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.



**INTERPLAN**  
ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 8660

604 COURTLAND STREET SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124

DATE: 10/23/18  
SEAL:

Jason P. Bridgewater  
Registered Landscape Architect  
FL Registration - LA 6667308

NO.	DATE	REVISIONS
4	10/23/18	IRRIGATION PLANS ADDED
3	06/08/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
NO.	DATE	REMARKS

**CADDSCAPES, INC.**  
Florida Landscape Architecture Firm  
714 Alhena Drive, FL 32725  
Office: 407-310-5567  
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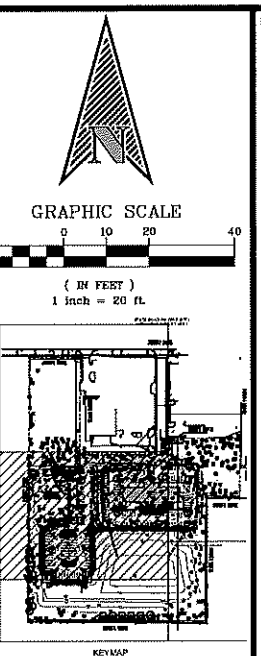
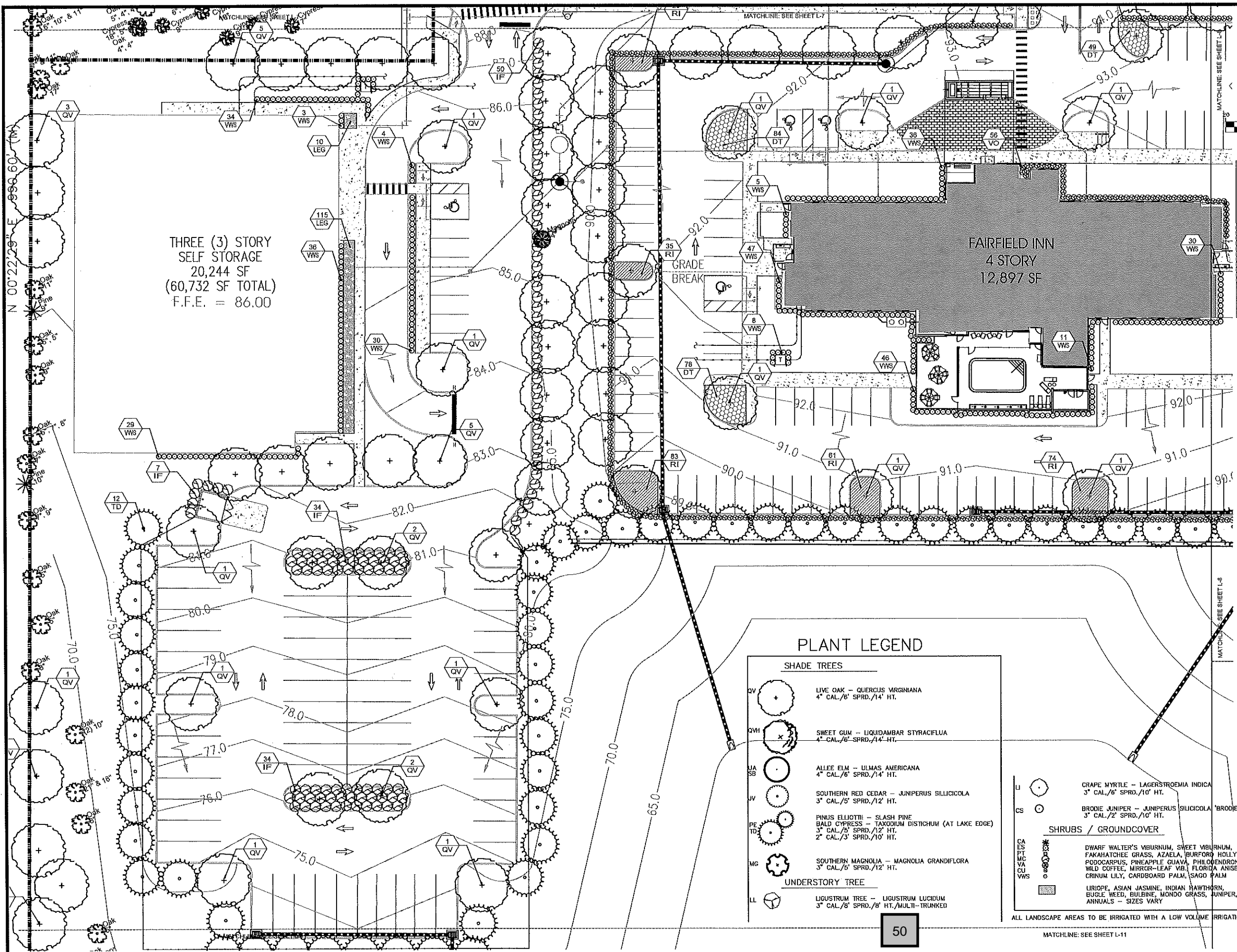
**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 04/11/17

**LANDSCAPE PLAN**

**L-8**  
SHEET 15 OF 19  
CHECKED: JB DRAWN: JB





**INTERPLAN**  
 ARCHITECTURE  
 ENGINEERING  
 INTERIOR DESIGN  
 PROJECT MANAGEMENT

AA 003420  
 CA 8660

604 COURTLAND STREET  
 SUITE 100  
 ORLANDO, FLORIDA 32804  
 PH 407.645.5008  
 FX 407.629.9124

DATE: 10/23/18  
 SEAL:

Jason P. Bridgewater  
 Registered Landscape Architect  
 FL Registration - LA 6667308

**PLANT LEGEND**

SHADE TREES	
QV	LIVE OAK - QUERCUS VIRGINIANA 4" CAL./6" SPRD./14' HT.
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LL	LIGUSTRUM TREE - LIGUSTRUM LUCIDUM 3" CAL./8" SPRD./8' HT./MULTI-TRUNKED
SHRUBS / GROUNDCOVER	
LI	GRAPE MYRTLE - LAGERSTROEMIA INDICA 3" CAL./6" SPRD./10' HT.
CS	BRODIE JUNIPER - JUNIPERUS SILICICOLA 'BRODIE' 3" CAL./2" SPRD./10' HT.
CA ES PT MC VA CU VWS	DWARF WALTER'S VIBURNUM, SWEET VIBURNUM, FAKAHATCHEE GRASS, AZAELA, BURFORD HOLLY, PODOPHYLLUM, PINEAPPLE GUAVA, PHLOENDRON WILD COFFEE, MIRROR-LEAF VIBI, FLORIDA ANISE, CRINUM LILY, CARDBOARD PALM, SAGO PALM
	URIPOE, ASIAN JASMINE, INDIAN HAWTHORN, BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER, ANNUALS - SIZES VARY

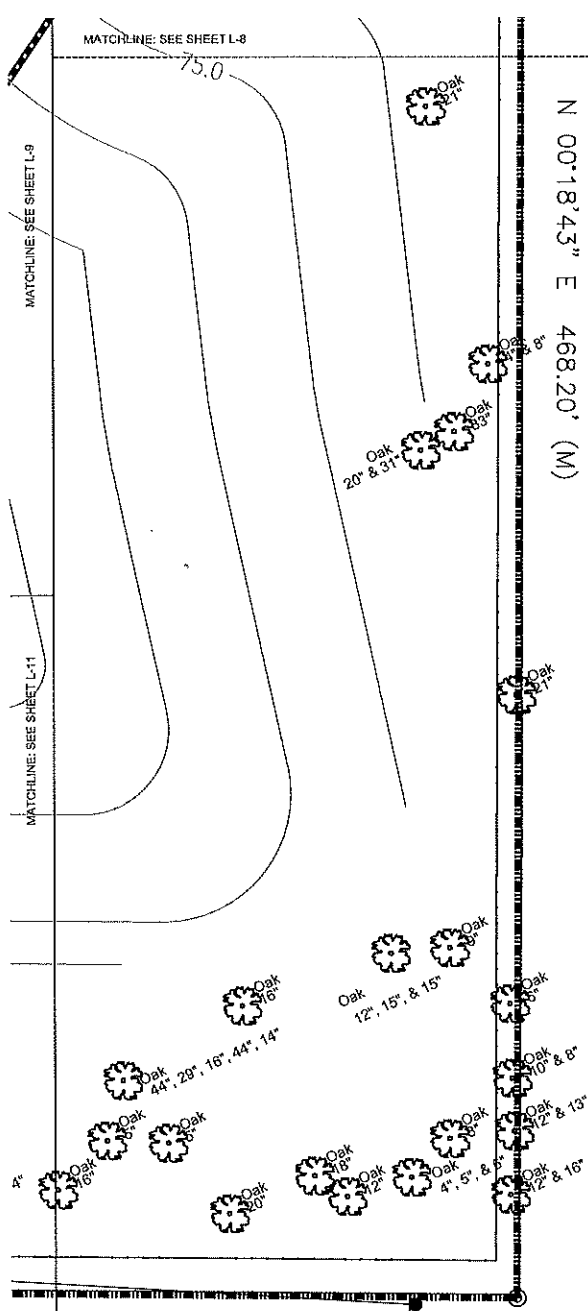
ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.

**CADSCAPES, INC.**  
 Florida Landscape Architecture Firm  
 714 Arlene Drive, FL 32725  
 Office: 407 310-5567  
 Jason Bridgewater, RLA  
 Florida Water Star AP  
 jasonbridgewater@gmail.com  
 LCA 26000550  
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**FARISH ENTERPRISES**  
 1616 EAST SEMORAN BOULEVARD  
 APOPKA  
 FLORIDA

PROJECT NO: 2016-0341  
 DATE: 04/11/17  
**LANDSCAPE PLAN**  
**L-9**  
 SHEET: 18 OF 19  
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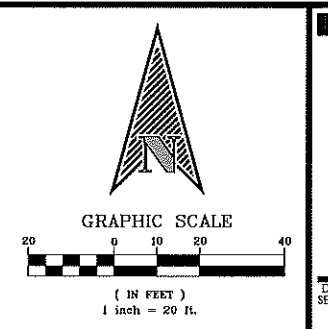


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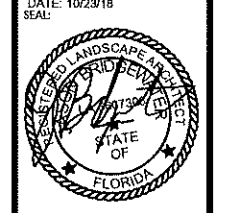
### PLANT LEGEND

SHADE TREES	
QV	LIVE OAK - QUERCUS VIRGINIANA 4" CAL./6' SPRD./14' HT.
QVH	SWEET GUM - LIQUIDAMBAR STYRACIFLUA 4" CAL./6' SPRD./14' HT.
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CS	BRODIE JUNIPER - JUNIPERUS SILICICOLA 'BRODIE' 3" CAL./2' SPRD./10' HT.
SHRUBS / GROUNDCOVER	
CA ES PT MC VA CU WVS	DWARF WALTER'S VIBURNUM, SWEET VIBURNUM, FAKAHATCHEE GRASS, AZAELA, BURFORD HOLLY PODOCARPUS, PINEAPPLE GUAVA, PHILODENDRON WLD COFFEE, MIRROR-LEAF VIB., FLORIDA ANISE, CRINUM LILY, CARDBOARD PALM, SAGO PALM
	LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN, BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER, ANNUALS - SIZES VARY

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.



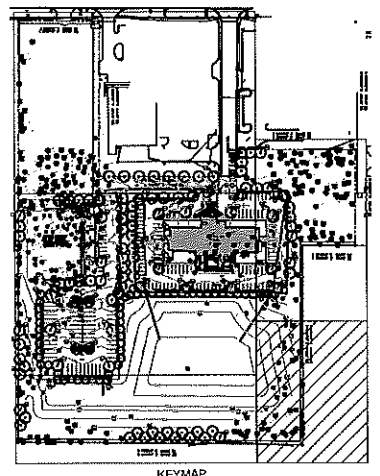
**INTERPLAN**  
 ARCHITECTURE  
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 INTERIOR DESIGN  
 PROJECT MANAGEMENT  
 AA 003420  
 CA 8660  
 604 COURTLAND STREET  
 SUITE 100  
 ORLANDO, FLORIDA 32804  
 PH 407.645.5008  
 FX 407.629.9124



Jason P. Bridgewater  
 Registered Landscape Architect  
 FL Registration -LA 6667308

NO	DATE	REMARKS
4	10/23/16	IRRIGATION PLAN ADDED
3	06/09/16	CITY COMMENTS
2	01/12/16	CITY COMMENTS
1	09/25/17	CITY COMMENTS
	NO DATE	REMARKS

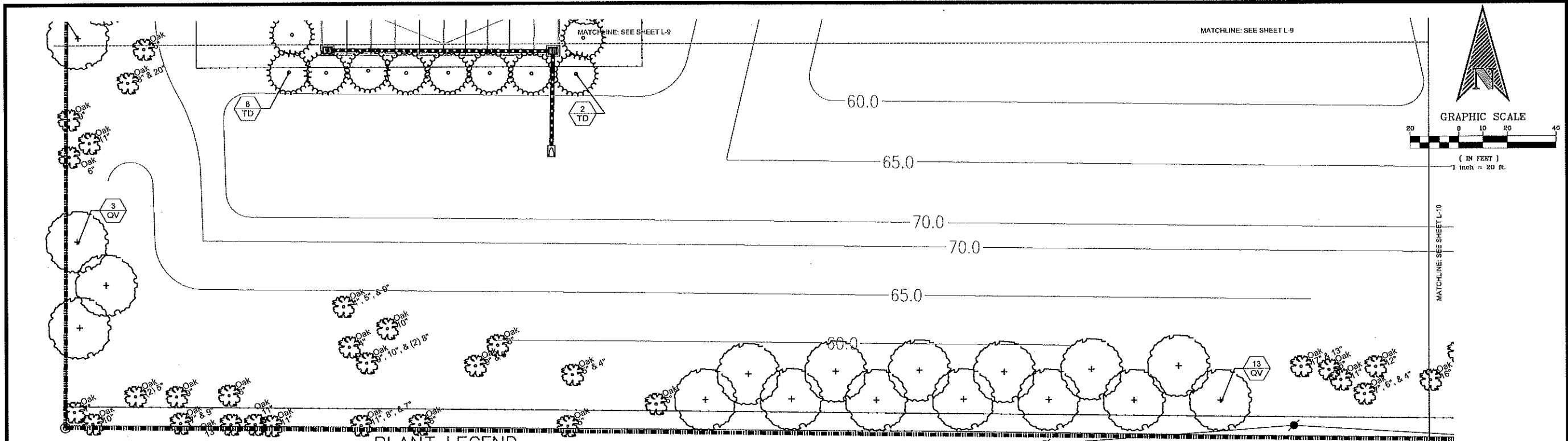
REVISIONS



**CADSCAPES, INC.**  
 Florida Landscape Architecture Firm  
 714 Ariene Drive, FL 32725 Landscape Architect  
 Office: 407 310-5567 Jason Bridgewater, RLA  
 Florida Water Star AP  
 LCW 26000560 jasonbridgewater@gmail.com  
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**FARISH ENTERPRISES**  
 1616 EAST SEMORAN BOULEVARD  
 APOPKA  
 FLORIDA

PROJECT NO: 2016.0341  
 DATE: 04/11/17  
**LANDSCAPE PLAN**  
**L-10**  
 SHEET: 17 OF 19  
 CHECKED: JB DRAWN: JB



**INTERPLAN**

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 8660

604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.6008  
FX 407.629.9124

DATE: 10/23/18  
SEAL:



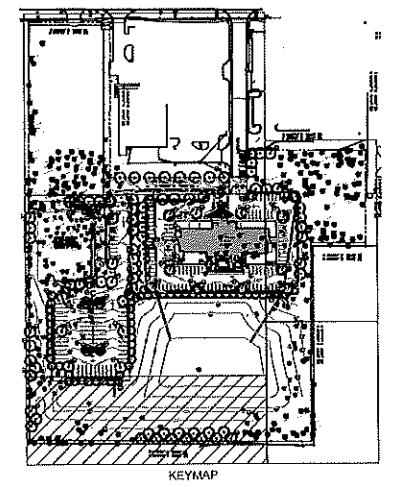
Jason P. Bridgewater  
Registered Landscape Architect  
FL Registration - LA 6687308

**PLANT LEGEND**

SHADE TREES	
QV	LIVE OAK - QUERCUS VIRGINIANA 4" CAL./6" SPRD./14' HT.
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SHRUBS / GROUND COVER	
CA ES PT MC YA CU VWS	DWARF WALTER'S YBURNUM, SWEET YBURNUM, FAKAHATCHEE GRASS, AZAELA, BURFORD HOLLY, PODOPHYLLUM, PINEAPPLE GUAVA, PHILODENDRON, WILD COFFEE, MIRROR-LEAF VIB., FLORIDA ANISE, CRINUM LILY, CARDBOARD PALM, SAGO PALM
	LIRIOPE, ASIAN JASMINE, INDIAN HAWTHORN, BUGLE WEED, BULBINE, MONDO GRASS, JUNIPER, ANNUALS - SIZES VARY

S 89°26'57" E 668.58' (P)  
N 89°22'09" W 669.00' (M)

ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A LOW VOLUME IRRIGATION SYSTEM.



REVISIONS

4	10/23/18	PERGOLA PLANTS ADDED
3	05/08/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
NO	DATE	REVISIONS

**CADDSCAPES, INC.**  
Florida Landscape Architecture Firm  
714 Arlene Drive, FL 32725 Landscape Architect:  
Office: 407-310-5587 Jason Bridgewater, RLA  
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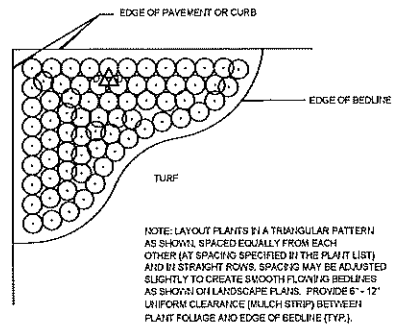
**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 04/11/17

LANDSCAPE PLAN

L-11  
SHEET: 18 OF 19  
CHECKED: JB DRAWN: JB





**SHRUB/GROUNDCOVER SPACING DETAIL**  
NOT TO SCALE

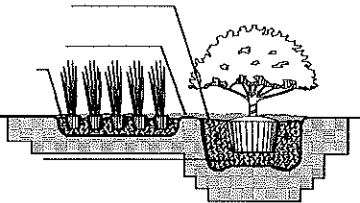
PROVIDE AGRIFORM (20-10-5) FERTILIZER TABLETS AT THE FOLLOWING RATES:  
3 GAL/2 TABLETS 1 GAL/1 TABLET.

PROVIDE 6" MINIMUM CLEARANCE AROUND ROOT BALL (SIDES AND BOTTOM).

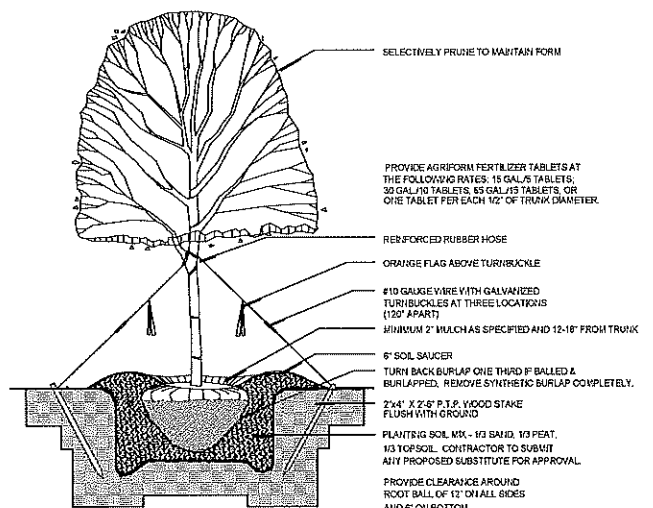
2" MULCH MINIMUM - DO NOT COVER MAIN STEM.

SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE.

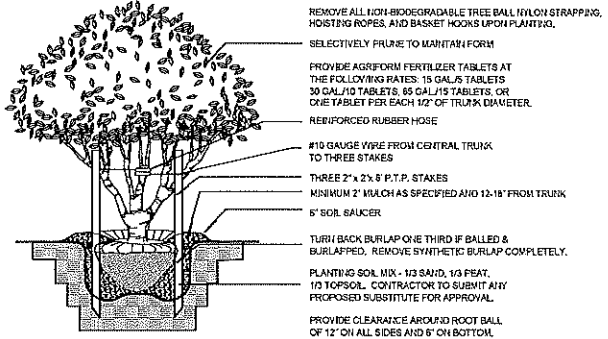
12" MINIMUM DEPTH OF PLANTING SOIL MIX IN SHRUBS/ROUND COVER PLANTED BEDS.



**SHRUB AND GROUNDCOVER PLANTING DETAIL**  
NOT TO SCALE



**TREE PLANTING DETAIL**  
NOT TO SCALE



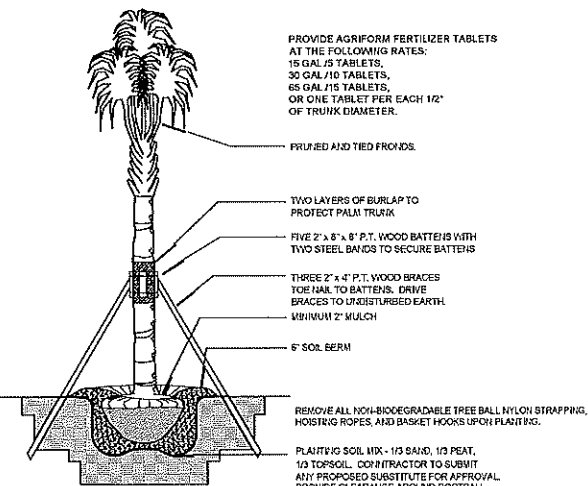
**MULTI-TRUNK TREE PLANTING DETAIL**  
NOT TO SCALE

**LANDSCAPE PLANTING NOTES:**

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASES.
2. ALL PLANTS SHALL BE FLORIDA FANCY, AS GRADED IN FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
3. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE, DURING, AND AFTER INSTALLATION.
4. ALL SINGLE-TRUNKED TREES SHALL BE STRAIGHT TRUNKED WITH ONE CENTRAL LEADER AND HAVE A FULL, DENSE CROWN.
5. ALL TREES SHALL BE STAKED AND GUYED AS SHOWN IN PLANTING DETAILS.
6. ALL MULCH PLANTING AREAS SHALL BE A MINIMUM OF 2" IN DEPTH.
7. ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 3" TOPSOIL.
8. ALL TREES SHALL BE FREE OF OPEN WOUNDS AND WOUND SCARS IN THE CLEAR TRUNK AREA.
9. ANY SYNTHETIC BURLAP AND/OR WIRE BASKETS MUST BE TOTALLY REMOVED PRIOR TO INSTALLATION OF PLANT MATERIAL. IF NATURAL BURLAP IS USED, IT MAY BE TURNED DOWN 1/3 OF THE ROOTBALL.
10. CALIPER TO BE MEASURED (6) SIX INCHES ABOVE ROOTBALL.

**LANDSCAPE CONTRACTOR NOTES:**

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING AREAS, UNTIL THE JOB IS ACCEPTED IN FULL BY THE OWNER. "IN FULL" MEANS WATERING, PEST CONTROL, MULCHING, MOWING, FERTILIZING AND RESETTING TREES THAT ARE OUT OF PLUMB.
2. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL INSTALLED PLANT MATERIAL FOR A PERIOD OF ONE CALENDAR YEAR BEGINNING ON THE DATE OF 100% COMPLETION. ANY AND ALL REQUIRED PLANT REPLACEMENTS SHALL BE MADE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED LINES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL WRITTEN PLANT QUANTITIES PRIOR TO INITIATION OF THE WORK. IN THE EVENT THAT THE PLANS CONTRADICT THE PLANT LIST, THE PLANS SHALL RULE.
5. THE LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH AND ACCEPT THE EXISTING SITE CONDITIONS PRIOR TO INITIATION OF THE WORK. ANY VARIATION FROM THE SPECIFIED WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CURBS, SIDEWALKS, AND ANY OTHER OBJECTS WHICH MIGHT BE DAMAGED DURING THE WORK.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY AND ALL NECESSARY REPAIRS TO DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOLLOWING ALL APPLICABLE LOCAL CODES PERTAINING TO THE PROJECT DURING THE COURSE OF HIS WORK.



**PALM PLANTING DETAIL**  
NOT TO SCALE

NOTE: LANDSCAPING AND IRRIGATION PLANS SHALL BE IN ACCORDANCE WITH LDC ARTICLE V, WATER-WISE ORDINANCE NO. 2069.

NOTE: IRRIGATION SYSTEMS ARE TO BE DESIGNED WITH POP-UP TYPE DEVICES ONLY. RISERS ARE NOT ALLOWED. NOTE ON THE IRRIGATION PLAN (LARGE FONT): "IRRIGATION RISERS ARE NOT ALLOWED."



Jason P. Bridgewater  
Registered Landscape Architect  
FL Registration - LA 6667308

NO	DATE	REVISIONS
4	10/23/18	ERRORS ON PLANS ADDED
3	06/28/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
	NO DATE	REMARKS

**REVISIONS**

**CADDSAPES, INC.**  
Florida Landscape Architecture Firm  
714 Arlene Drive, FL 32725 Landscape Architect  
Office: 407 310-5567 Jason Bridgewater, RLA  
Florida Water Star AP  
jasonbridgetwater@gmail.com

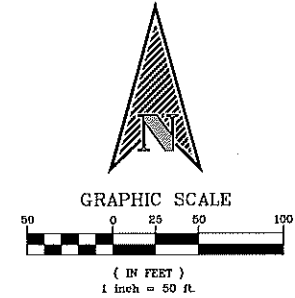
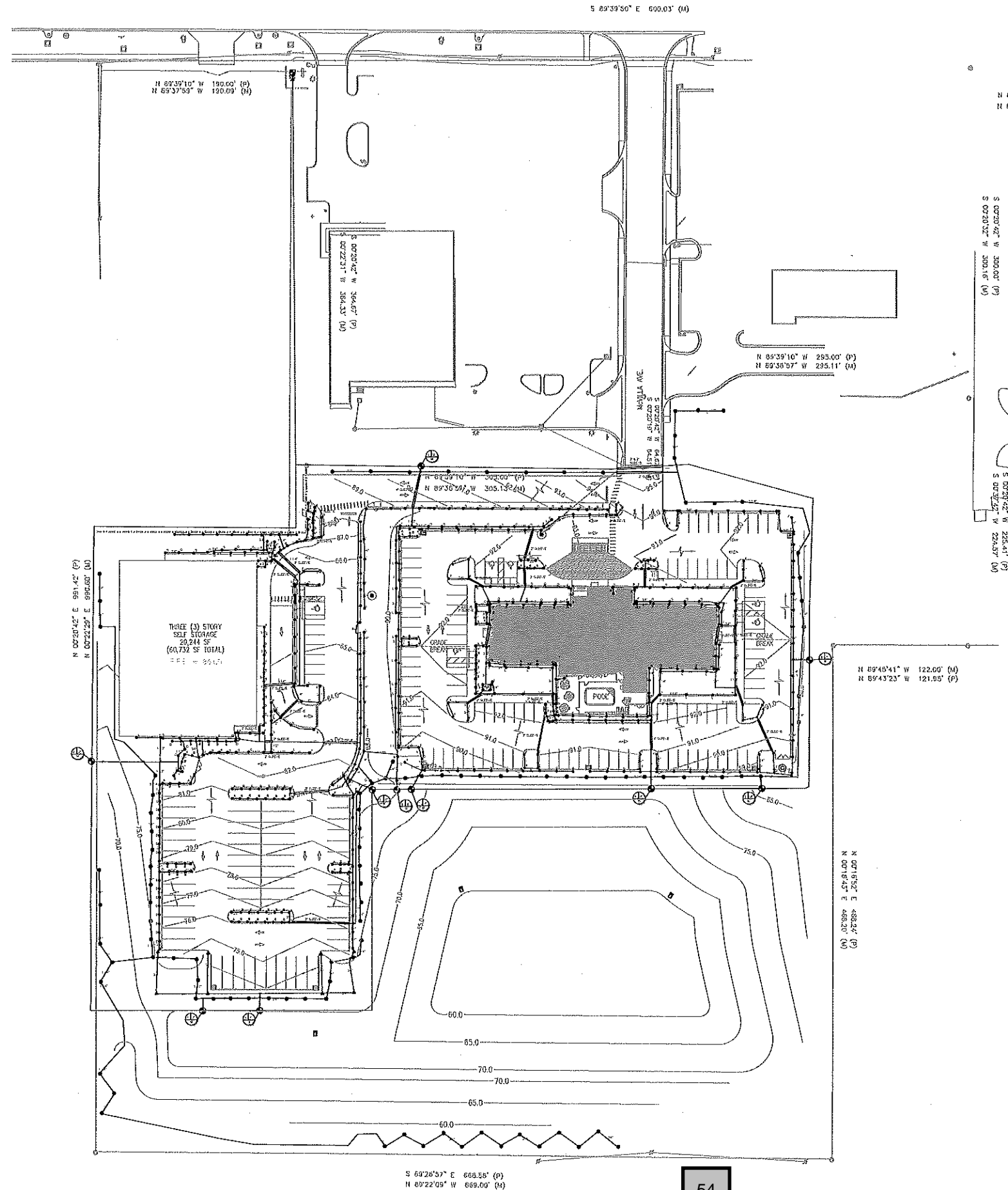
**FARISH ENTERPRISES**

1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 04/11/17

**LANDSCAPE PLAN**

**L-12**  
SHEET: 19 OF 19  
CHECKED: JB DRAWN: JB



**INTERPLAN**

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 8660

604 COURTLAND STREET SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124

DATE: 10/23/18  
SEAL:



Jason P. Bridgewater  
Registered Landscape Architect  
FL Registration - LA 6687308

NO	DATE	REVISIONS
4	10/23/18	IRRIGATION PLANS ADDED
3	06/08/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
NO	DATE	REVISIONS

NO	DATE	REVISIONS

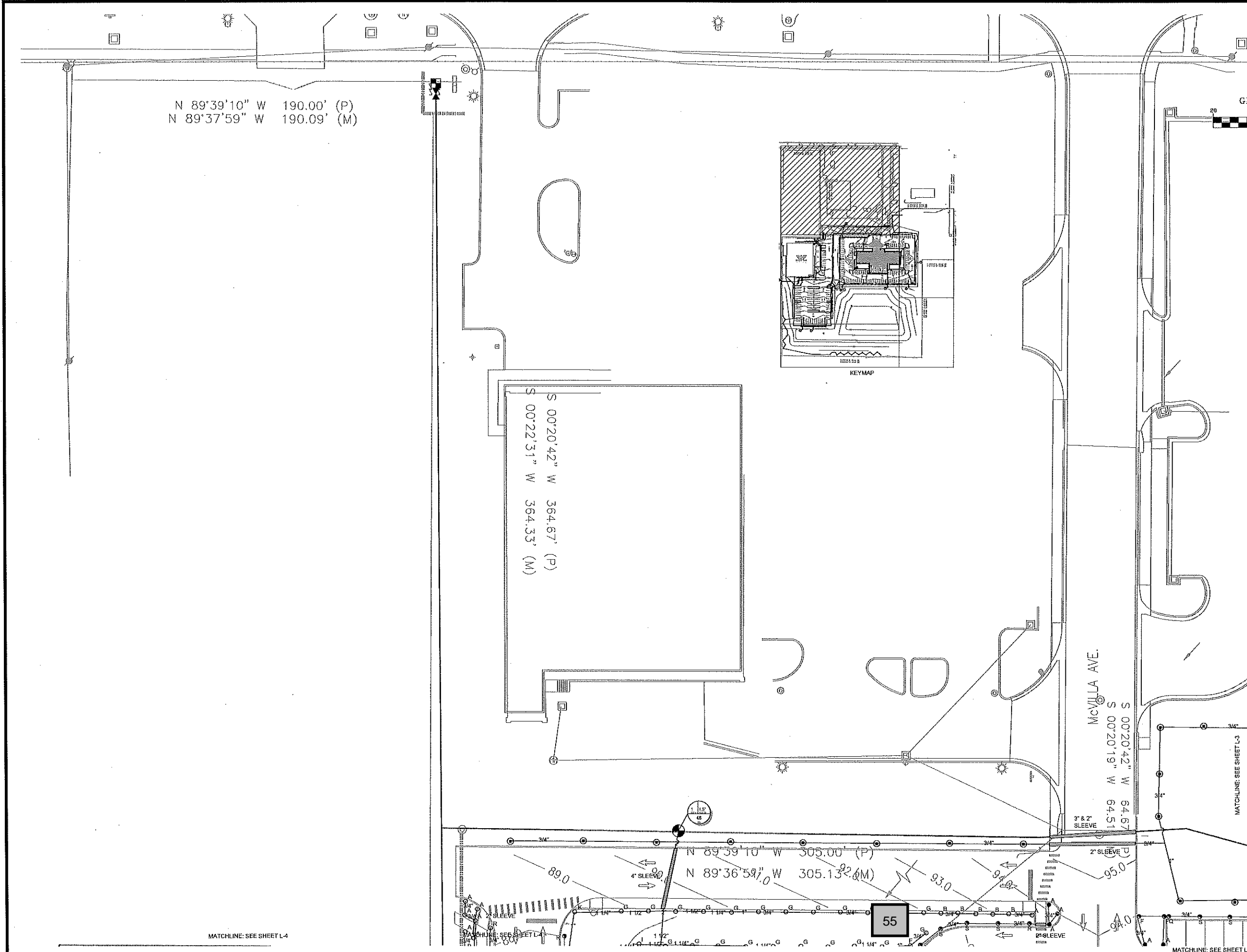
**CADDSCAPES, INC.**  
Florida Landscape Architecture Firm  
714 Alhena Drive, FL 32723  
Office: 407.310-5567  
LCA# 26000550  
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Jason Bridgewater, RLA  
Florida Water Star AP  
jasonbridgewater@gmail.com

**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 04/11/17

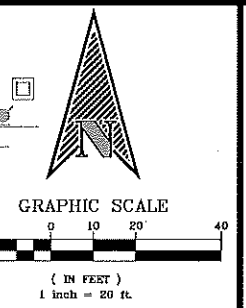
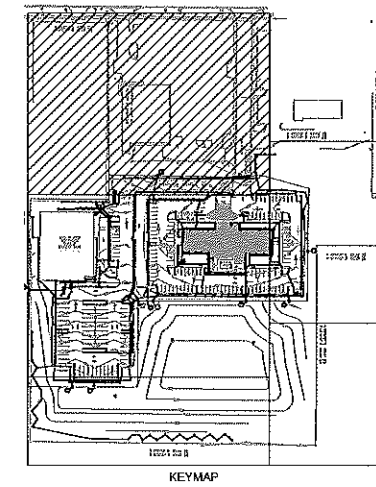
OVERALL IRRIGATION PLAN  
**L-13**  
SHEET 13 OF 19  
CHECKED: JB DRAWN: JB



N 89°39'10" W 190.00' (P)  
 N 89°37'59" W 190.09' (M)

S 00°20'42" W 364.67' (P)  
 S 00°22'31" W 364.33' (M)

N 89°39'10" W 305.00' (P)  
 N 89°36'59" W 305.13' (M)



**INTERPLAN**  
 ARCHITECTURE  
 ENGINEERING  
 INTERIOR DESIGN  
 PROJECT MANAGEMENT

AA 003420  
 CA 8660  
 604 COURTLAND STREET  
 SUITE 100  
 ORLANDO, FLORIDA 32804  
 PH 407.645.3208  
 FX 407.629.9124



Jason P. Bridgewater  
 Registered Landscape Architect  
 FL Registration - LA 6667308

NO	DATE	REVISIONS
4	10/23/18	IRRGATION PLANS ADDED
3	05/09/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
NO	DATE	REVISIONS

**CADSCAPES, INC.**  
 Florida Landscape Architecture Firm  
 714 Aliene Drive, FL 32725 Landscape Architect  
 Office: 407-310-5567 Jason Bridgewater, RLA  
 Florida Water Star AP  
 jascbridgewater@gmail.com  
 LC# 26000550  
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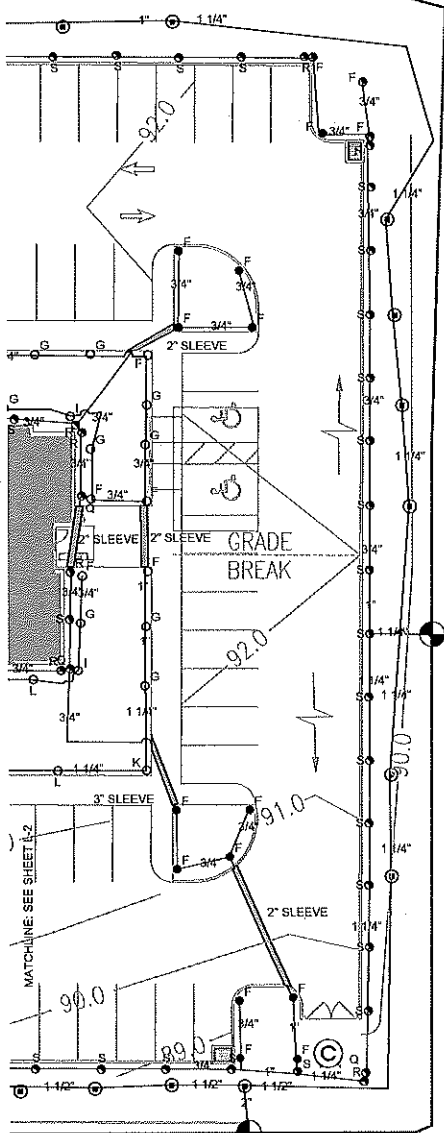
**FARISH ENTERPRISES**  
 1616 EAST SEMORAN BOULEVARD  
 APOPKA  
 FLORIDA

PROJECT NO: 2016.0341  
 DATE: 04/11/17  
**IRRIGATION PLAN**  
**L-14**  
 SHEET 14 OF 19  
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N 09°00'07" W 293.11 (M)

MATCHLINE: SEE SHEET L-2

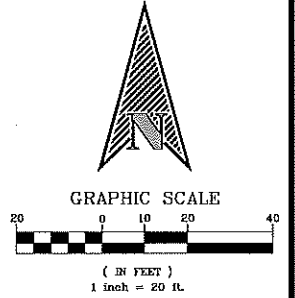
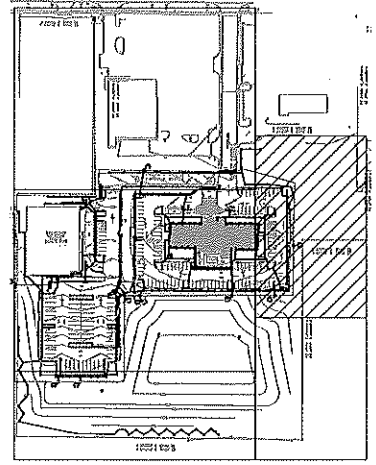


MATCHLINE: SEE SHEET L-4

MATCHLINE: SEE SHEET L-5

S 00°29'42" W 225.41' (P)  
S 00°37'42" W 224.57' (M)

N 89°45'41" W 122.00' (M)  
N 89°43'23" W 121.95' (P)



**INTERPLAN**

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AA 003420  
CA 8660

604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124

DATE: 10/23/18  
SEAL:



Jason P. Bridgewater  
Registered Landscape Architect  
FL Registration -LA 6667308

NO.	DATE	REMARKS
4	10/23/18	IRRIGATION PLANS ADDED
3	06/09/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	06/15/17	CITY COMMENTS
	NO DATE	REMARKS

REVISIONS

**CADDSCAPES, INC.**  
Florida Landscape Architecture Firm  
714 Arlene Drive, FL 32725 Landscape Architect  
Office: 407 310-5567 Jason Bridgewater, RLA  
Florida Water Star AP  
jasonbridgewater@gmail.com  
LC# 26000950  
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**FARISH ENTERPRISES**

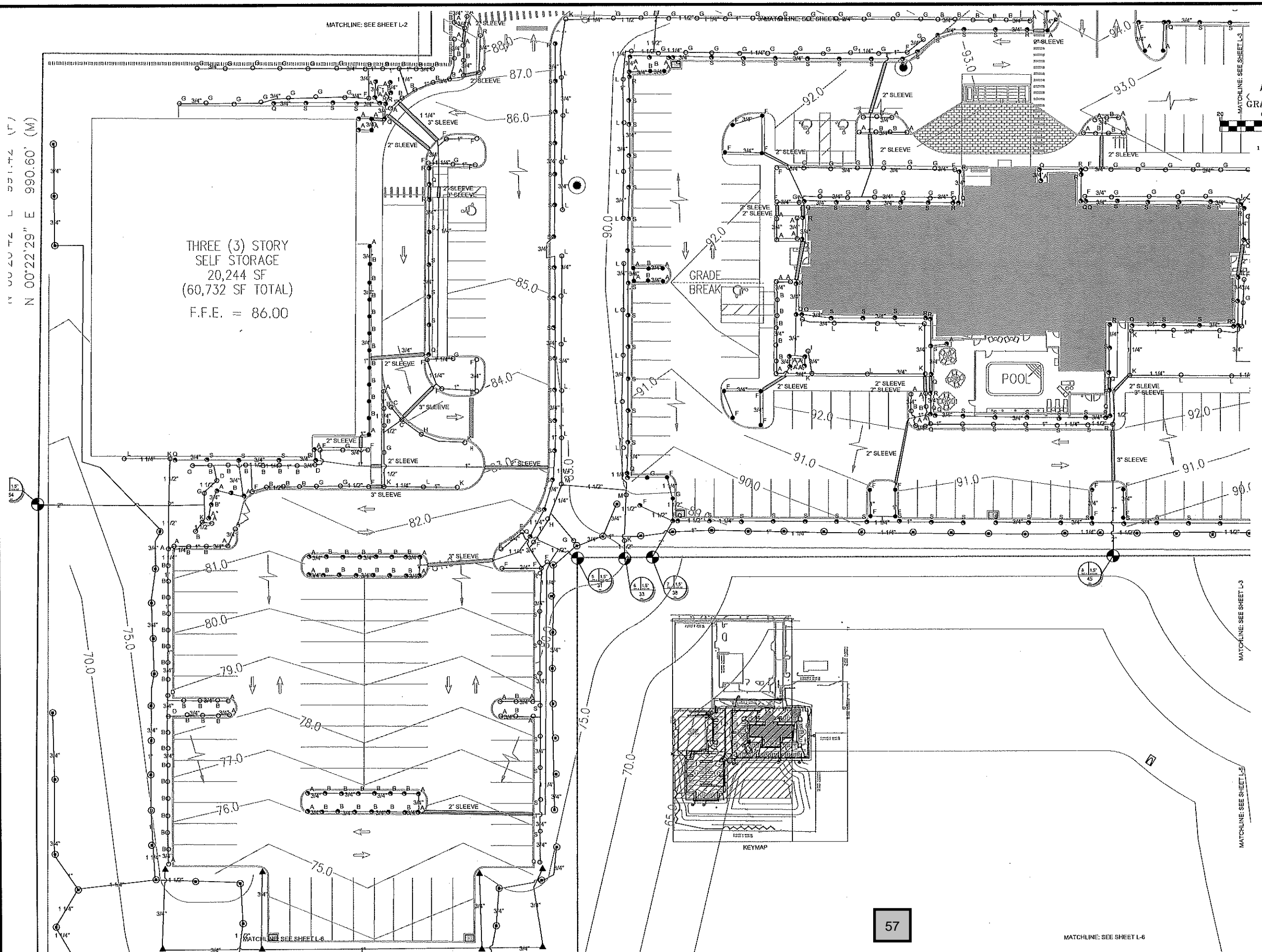
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 04/11/17

**IRRIGATION PLAN**

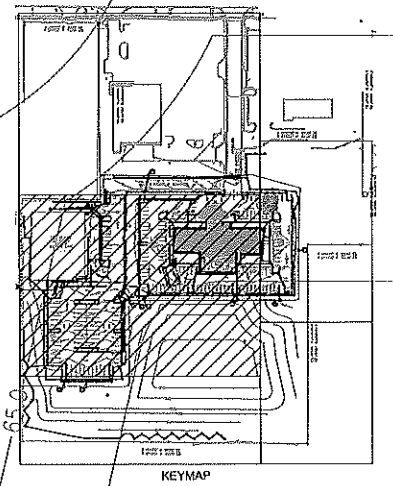
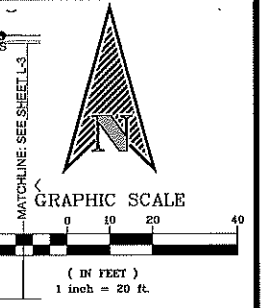
**L-15**

SHEET 15 OF 19  
CHECKED: JB DRAWN: JB



N 00°22'29" E 990.60' (M)  
 L 00°00'00" E 34' (F)  
 L 00°00'00" E 34' (F)

THREE (3) STORY  
 SELF STORAGE  
 20,244 SF  
 (60,732 SF TOTAL)  
 F.F.E. = 86.00



57

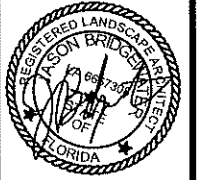
**INTERPLAN**

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604 COURTLAND STREET SUITE 100  
 ORLANDO, FLORIDA 32804  
 PH 407.645.5008  
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DATE: 10/23/18  
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Jason P. Bridgewater  
 Registered Landscape Architect  
 FL Registration -LA 6667308

NO.	DATE	REVISIONS
4	10/23/18	IRRIGATION PLANS ADDED
3	06/08/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
		NO DATE REMARKS

**CADDSCAPES, INC.**  
 Florida Landscape Architecture Firm  
 714 Arlene Drive, FL 32725 Landscape Architect.  
 Office: 407 310-5567 Jason Bridgewater, RLA  
 Florida Water Star AP  
 jasonbridgewater@gmail.com  
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**FARISH ENTERPRISES**

1616 EAST SEMORAN BOULEVARD  
 APOPKA  
 FLORIDA

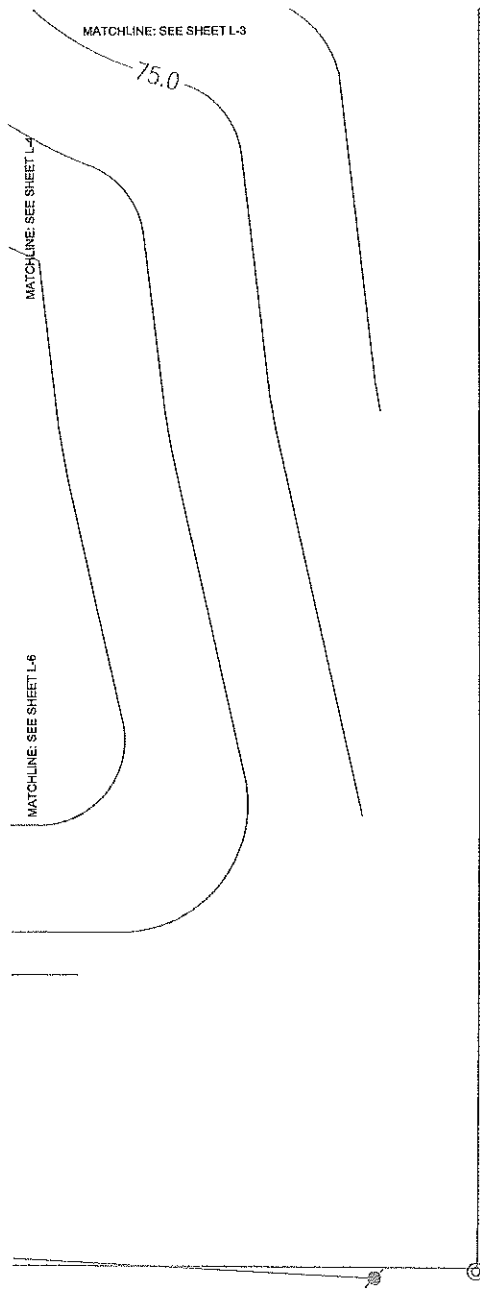
PROJECT NO: 2016.0341  
 DATE: 04/11/17

IRRIGATION PLAN

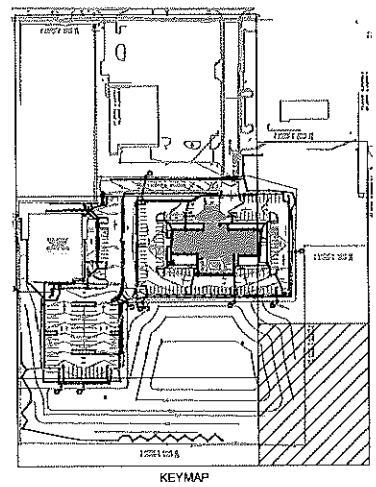
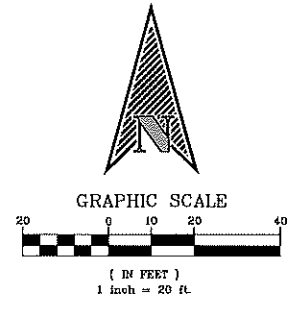
**L-16**

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N 00°16'52" E 468.24' (P)  
 N 00°18'43" E 468.20' (M)



**CADDSCAPES, INC.**  
 Florida Landscape Architecture Firm  
 714 Arlene Drive, FL 32725 Landscape Architect  
 Office: 407 310-5967 Jason Bridgewater, RLA  
 Florida Water Star AP  
 jasonbridgetwater@gmail.com  
 LCA# 26000950  
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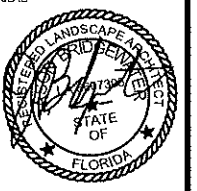
**FARISH ENTERPRISES**  
 1616 EAST SEMORAN BOULEVARD  
 APOPKA  
 FLORIDA

PROJECT NO: 2016.0341  
 DATE: 04/11/17

IRRIGATION PLAN  
**L-17**  
 SHEET 17 OF 19  
 CHECKED: **JB** DRAWN: **JB**

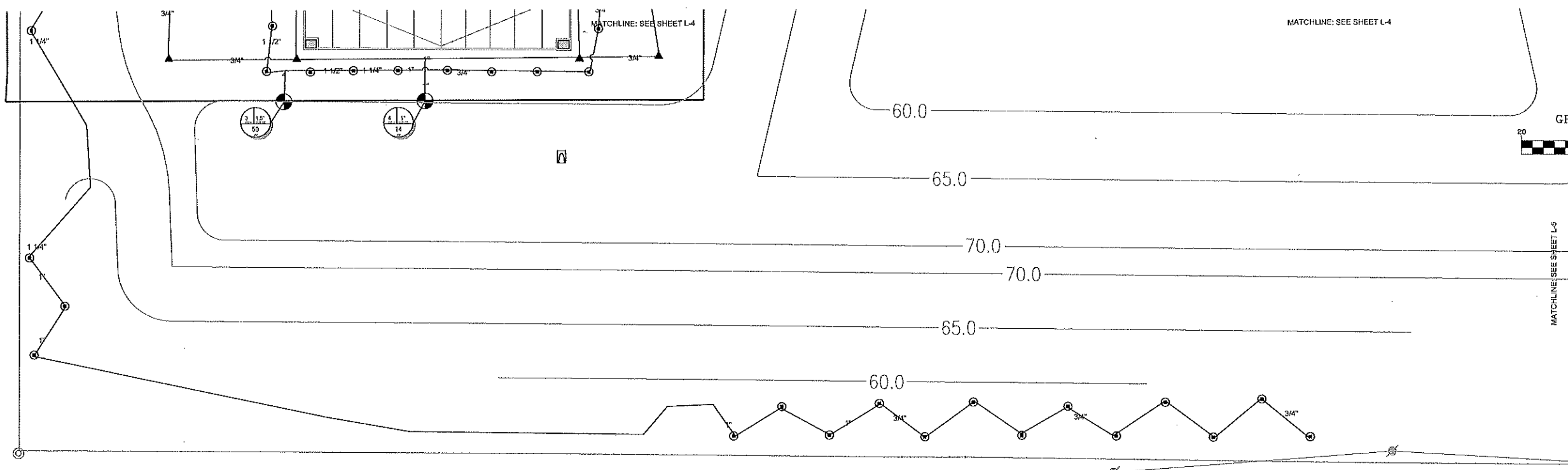
NO	DATE	REVISIONS
4	10/23/18	IRRIGATION PLAN IS ADDED
3	06/28/18	CITY COMMENTS
2	01/18/18	CITY COMMENTS
1	09/25/17	CITY COMMENTS
NO	DATE	REVISIONS

DATE: 10/23/18  
 SEAL:

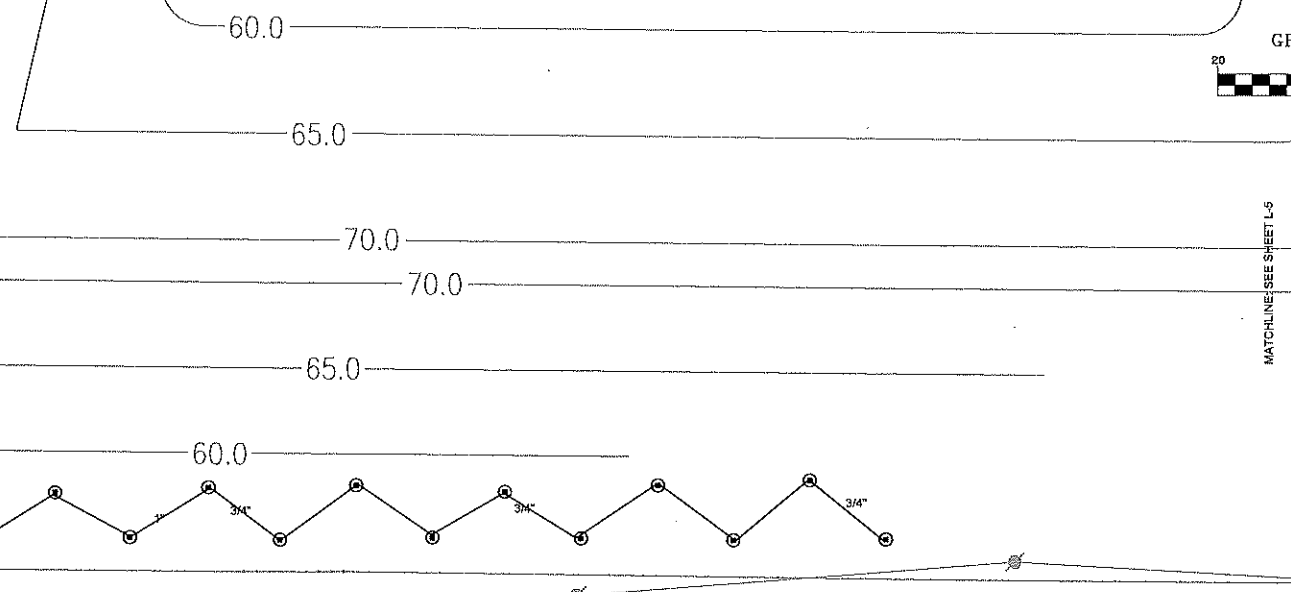
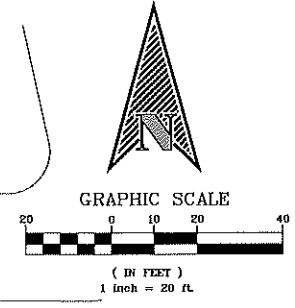


Jason P. Bridgewater  
 Registered Landscape Architect  
 FL Registration - LA 6667308

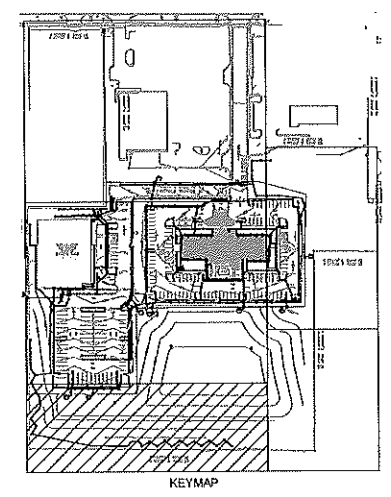
**INTERPLAN**  
 ARCHITECTURE  
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 PROJECT MANAGEMENT  
 AA 003420  
 CA 8650  
 604 COURTLAND STREET  
 SUITE 100  
 ORLANDO, FLORIDA 32804  
 PH 407.645.5008  
 FX 407.629.9124



MATCHLINE: SEE SHEET L-4



S 89°26'57" E 668.58' (P)  
N 89°22'09" W 669.00' (M)



KEYMAP

**INTERPLAN**

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 8650

604 COURTLAND STREET SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5008  
FX 407.629.9124

DATE: 10/23/18  
SEAL:



Jason P. Bridgewater  
Registered Landscape Architect  
FL Registration - LA 6667308

NO.	DATE	REVISIONS
4	10/23/18	PERGOLA PLANS ADDED
3	06/09/18	CITY COMMENTS
2	01/12/18	CITY COMMENTS
1	09/28/17	CITY COMMENTS

REVISIONS

**CADDSCAPES, INC.**

Florida Landscape Architecture Firm  
714 Alene Drive, FL 32725 Landscape Architect.  
Office: 407 310-5567 Jason Bridgewater, RLA  
Florida Water Star AP  
jasonbridgetwater@gmail.com

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**FARISH ENTERPRISES**

1616 EAST SEMORAN BOULEVARD  
APOKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 04/11/17

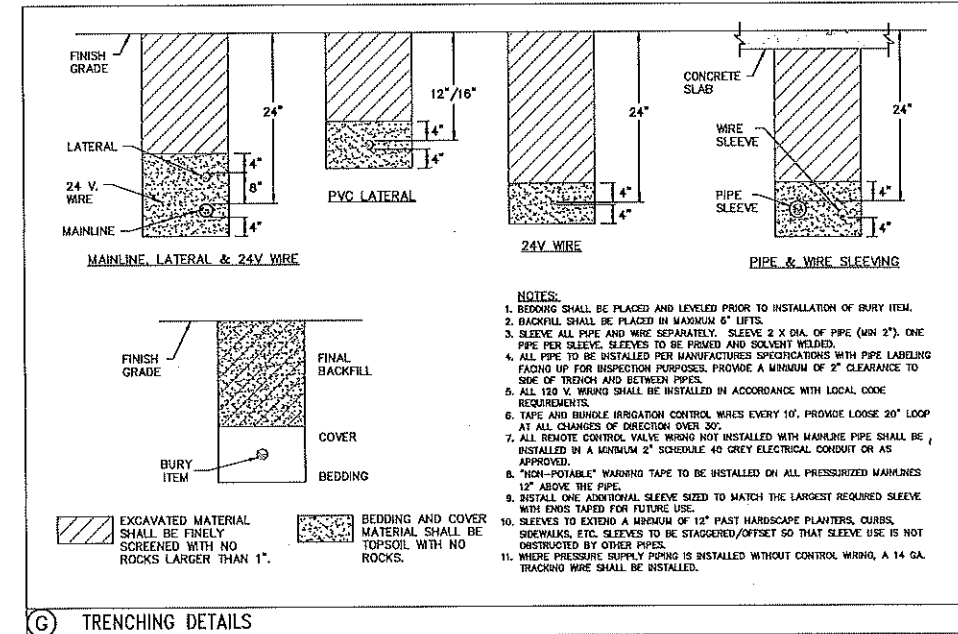
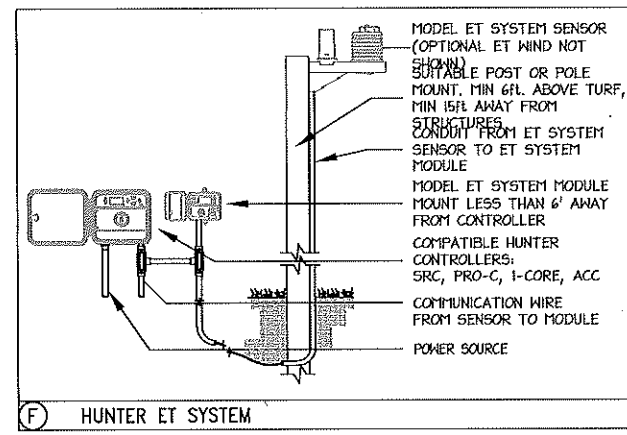
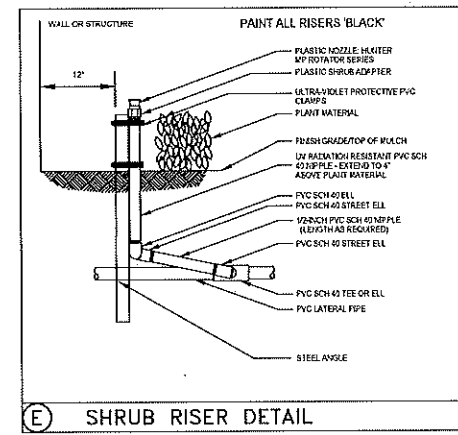
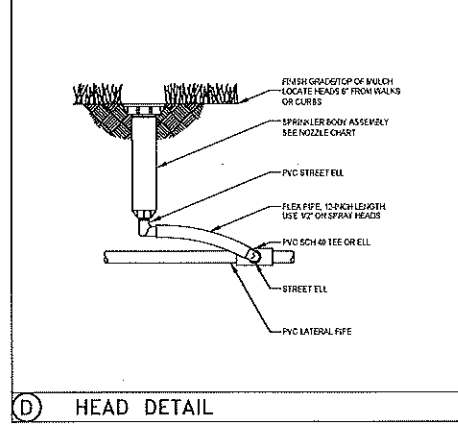
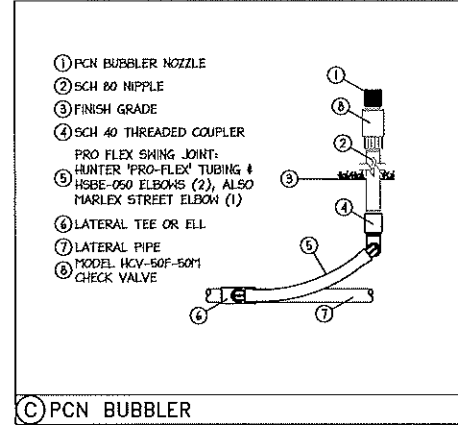
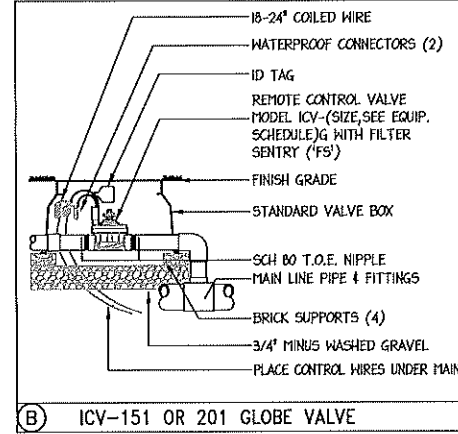
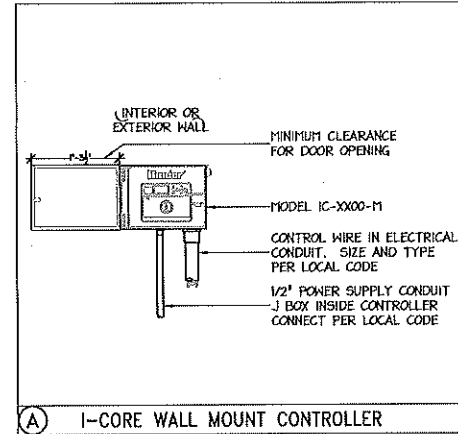
**IRRIGATION PLAN**

**L-18**

SHEET: 18 OF 19  
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**IRRIGATION DETAILS**



**SPRAY NOZZLE CHART**

SYM	NOZZLE	NOZZLE PATTERN	GPM
MP1000 8'-15' radius	A MAROON	90° ADJUSTABLE ARC	.19
	B MAROON	180° ADJUSTABLE ARC	.37
	C LT. BLUE	210° ADJUSTABLE ARC	.43
	D LT. BLUE	270° ADJUSTABLE ARC	.57
	E OLIVE	360° ARC	.75
	F BLACK	90° ADJUSTABLE ARC	.40
MP2000 13'-21' radius	G BLACK	180° ADJUSTABLE ARC	.74
	H GREEN	210° ADJUSTABLE ARC	.86
	I GREEN	270° ADJUSTABLE ARC	1.10
	J RED	360° ARC	1.47
	K BLUE	90° ADJUSTABLE ARC	.86
	L BLUE	180° ADJUSTABLE ARC	1.82
MP3000 22'-30' radius	M YELLOW	210° ADJUSTABLE ARC	2.12
	N YELLOW	270° ADJUSTABLE ARC	2.73
	O GRAY	360° ARC	3.64
	P TURQUOISE	45°-105° ADJUSTABLE ARC	.45
	Q IVORY	5x16' LEFT STRIP	.22
	R COPPER	5x15' RIGHT STRIP	.22
STRIPS & CORNERS	S BROWN	5x20' SIDE STRIP	.44
	T PCN10	1.00 GPM FLOOD BUBBLER	1.00
	U PCN50	.50 GPM FLOOD BUBBLER	.50
	BUBBLERS AND MICRO-SPRAYS	V SR-2Q	90° 2' RADIUS
W SR-2H		180° 2' RADIUS	.16
X MS-F		360° 5' RADIUS	.50

**IRRIGATION NOTES**

- 1) REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- 2) ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- 3) ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FURRY PIPE.
- 4) ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.
- 5) THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- 6) ALL RISERS SHALL BE PAINTED BLACK.
- 7) ALL RISERS SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH ULTRA-VIOLET LIGHT PROTECTED P.V.C. CLAMPS.
- 8) ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SHAP-TITE CONNECTORS AND SEALANT.
- 9) THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL INSTALLED IRRIGATION. A NYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- 10) ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- 11) ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- 12) ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATIO OR ROAD.
- 13) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- 14) THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- 15) ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- 16) CONTRACTOR TO USE MIN. OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.
- 17) CONCRETE THRUST BLOCKS ARE TO BE UTILIZED AT ALL MAINLINE DIRECTION CHANGES.
- 18) ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE INCLUDED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

**EQUIPMENT LIST**

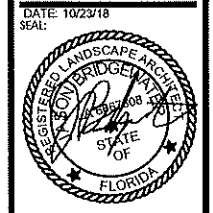
SYMBOL	DESCRIPTION	QUANTITY
⊙	0.50 GPM BUBBLER (2 PER TREE)	204
○	6" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WM2000 NOZZELS	265
●	12" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WM2000 NOZZELS	59
⊙	SPRAY ON RISER - HUNTER INDUSTRIES INST-00-CV-MP2000	225
▲	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS - PART RADIUS	8
▲	HUNTER INDUSTRIES - 4" POP-UP PGP ROTORS - FULL RADIUS	0
⊙	HUNTER 'ICV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR 1"	2
⊙	HUNTER 'ICV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR 1 1/2"	8
⊙	HUNTER ICC 12 STATION CONTROLLER, 120VOLT INSTALL WITH A ET SENSOR AND BY-PASS BOX. GROUND WITH AN 8' COPPER CLAD ROD.	1
⊙	1.5" POTABLE IRRIGATION METER TO PROVIDE 55 GPM AT 50 PSI	1
⊙	1.5" DOUBLE CHECK VALVE BACKFLOW PREVENTOR	1
—	LATERAL LINE SIZE PER PLAN	SEE PLAN
—	1-1/2" MAINLINE CLASS 200 P.V.C. SIZE PER PLAN	SEE PLAN
—	SLEEVING - SCH. 40 P.V.C. MIN. DEPTH OF 24" (ALL 3" SLEEVES TO HAVE ACCOMPANYING 2" SLEEVE FOR WIRES)	SEE PLAN

IRRIGATION TO CONNECT TO RE-USE. ALL PIPING AND COMPONENTS TO USE PURPLE

ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 8660

604 COURTLAND STREET  
SUITE 100  
ORLANDO, FLORIDA 32804  
PH 407.645.5006  
FX 407.629.9124



Jason P. Bridgewater  
Registered Landscape Architect  
FL Registration - LA 6997308

REVISIONS

NO	DATE	REMARKS
1	10/23/18	IRRIGATION PLANS ADDED
2	05/08/18	CITY COMMENTS
3	01/12/18	CITY COMMENTS
4	09/21/17	CITY COMMENTS

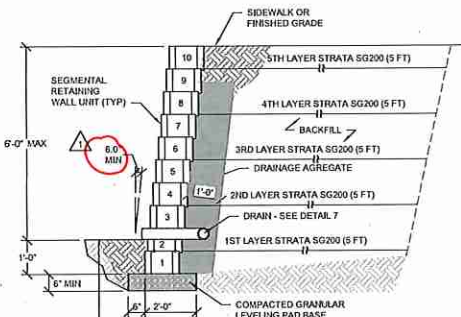
**CADDSCAPES, INC.**  
Florida Landscape Architecture Firm  
714 Arlene Drive, FL 32725 Landscape Architect  
Office: 407-310-5567  
Florida Water Star AP  
jasonbridgewater@gmail.com  
LCA# 26000450  
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**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 04/11/17

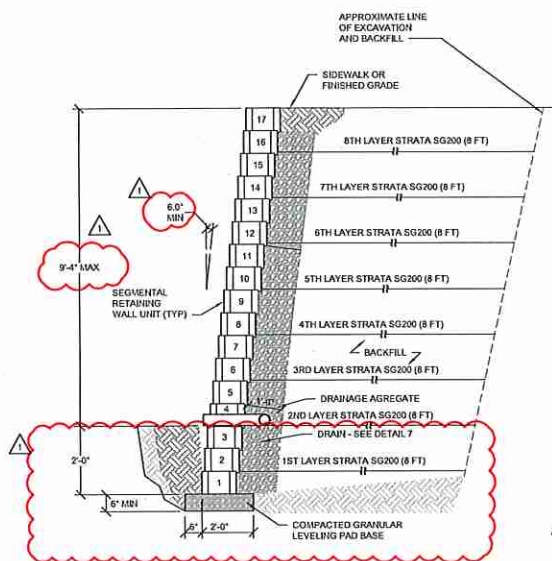
**IRRIGATION DETAILS**  
L-19  
SHEET 18 OF 19  
CHECKED: JB DRAWN: JB





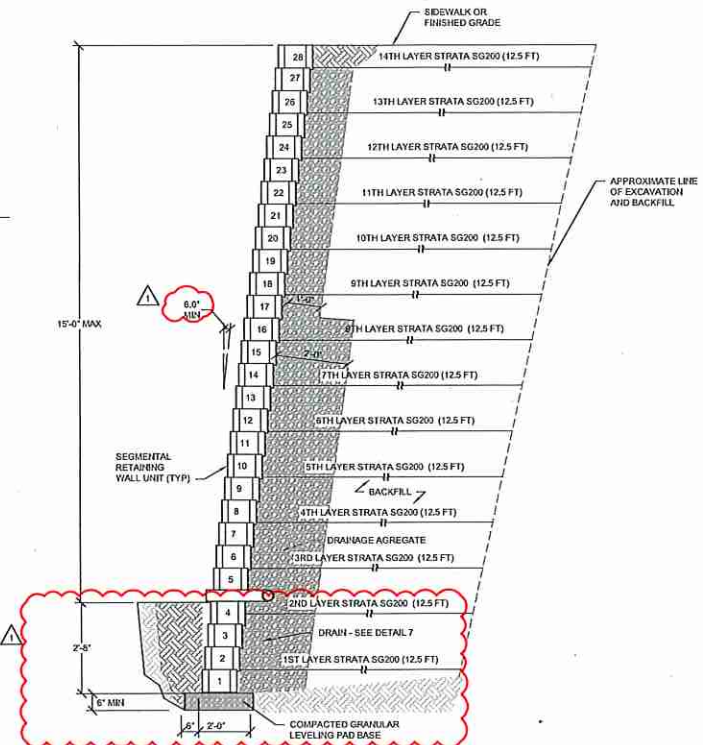
SEGMENTAL RETAINING WALL SECTION TO 6'-0" HEIGHT MAX

1 SW-1.0 1/2" = 1'-0"



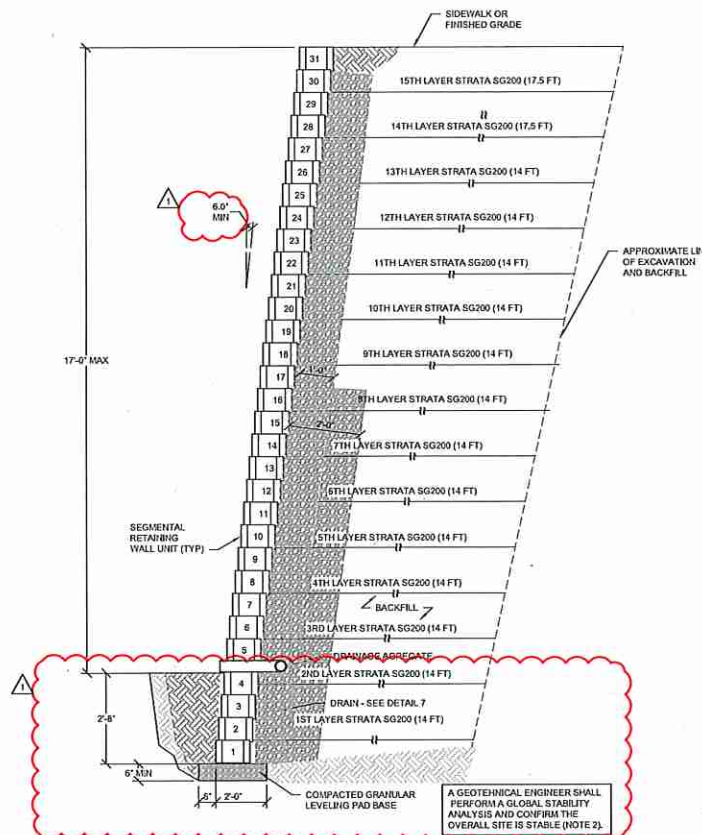
SEGMENTAL RETAINING WALL SECTION TO 9'-4" HEIGHT MAX

2 SW-1.0 1/2" = 1'-0"



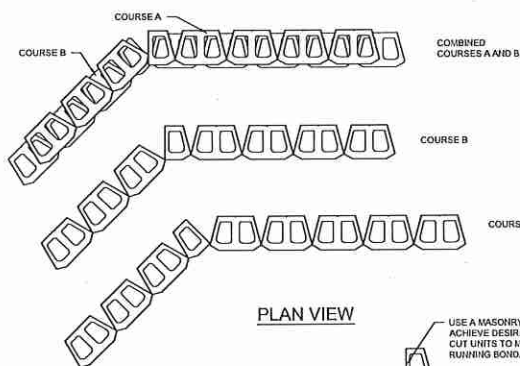
SEGMENTAL RETAINING WALL SECTION TO 15'-0" HEIGHT MAX

3 SW-1.0 1/2" = 1'-0"



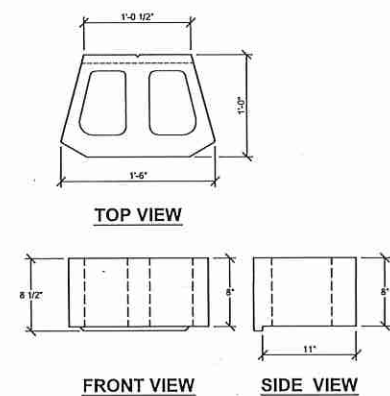
SEGMENTAL RETAINING WALL SECTION TO 17'-0" HEIGHT MAX

4 SW-1.0 1/2" = 1'-0"



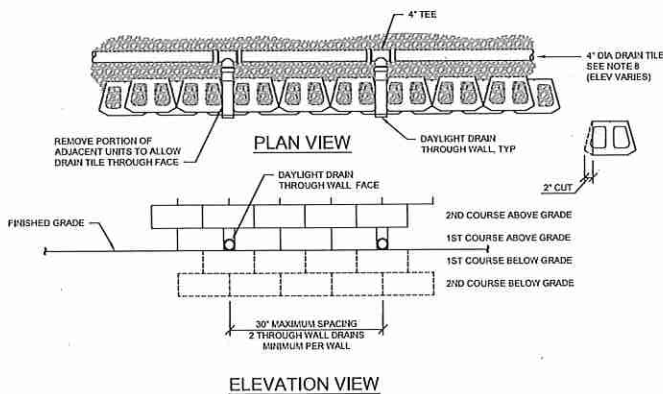
PLAN VIEW AT WALL SKEW

5 SW-1.0 NOT TO SCALE



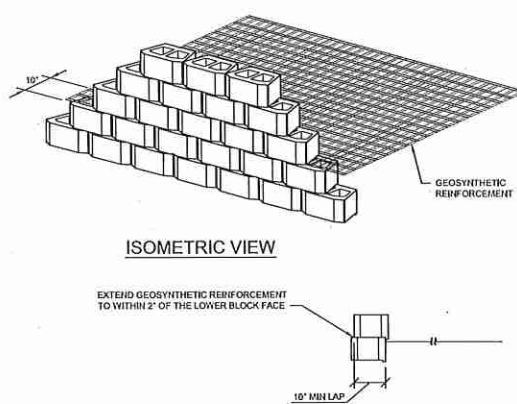
TYPICAL UNIT DIMENSIONS

6 SW-1.0 1 1/2" = 1'-0"



TYP DRAINS THROUGH WALL DETAIL

7 SW-1.0 NOT TO SCALE



TYP GEOSYNTHETIC LAP DETAIL

8 SW-1.0 NOT TO SCALE

GENERAL NOTES:

- WALL DESIGN IS IN ACCORDANCE WITH THE 2017 IBC, REF. CIVIL DWGS FOR WALL LOCATION, WALL EXTENTS, GRADE ELEVATIONS AND OTHER DETAILS.
- WALL DESIGN IS BASED UPON GEOTECHNICAL STUDY BY MIKE TANNOUS ENGINEERING INCORPORATED (DATE PROJECT #17-115) DATED APRIL 28, 2017. VALUES LISTED BELOW SHALL BE FIELD VERIFIED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. A GEOTECHNICAL ENGINEER SHALL PERFORM A GLOBAL STABILITY ANALYSIS FOR THIS SITE WALL AND CONFIRM THE OVERALL SITE IS STABLE.
  - ALLOWABLE BEARING PRESSURE = 3000 PSF
  - SOIL ANGLE OF INTERNAL FRICTION = 30°
- WALL DESIGN INCLUDES A 250 PSF SURCHARGE ON THE SOIL 16'-0" FROM THE WALL.
- SEGMENTAL WALL DESIGN ASSUMES ALL CLASSIC UNITS BY ALLEN BLOCK. ANY CHANGE TO UNITS OR SUPPLIER WILL REQUIRE REDESIGN OF THE WALL.
- PROVIDE GEOSYNTHETIC REINFORCEMENT AS NOTED ON THE DRAWINGS.
- LEVELING PAD BASE SHALL BE COMPACTED CRUSHED STONE OF GRANULAR FILL MEETING ASTM D448 AND PER GEOTECHNICAL RECOMMENDATIONS.
- ALL FILL SHALL BE PROVIDED PER GEOTECHNICAL AND SEGMENTAL UNIT MANUFACTURER RECOMMENDATIONS. FILL SOIL SHALL HAVE FRICTION ANGLE OF 30 DEGREES AND UNIT WEIGHT OF 110 PCF.
- DRAINAGE PIPE SHALL BE PROVIDED BEHIND WALL AS SHOWN. PIPE SHALL BE PERFORATED OR SLOTTED PVC. COVER THE PIPE WITH GEOTEXTILE FABRIC.
- INSTALLATION SHALL COMPLY WITH NCA SEGMENTAL RETAINING WALL INSTALLATION GUIDE AND MANUFACTURER'S REQUIREMENTS. CONTRACTOR SHALL BE A CERTIFIED INSTALLER (BY UNIT MANUFACTURER OR NCA).

SOIL FRICTION ANGLE:	30/38 DEGREES
SOIL UNIT WEIGHT:	110 PCF
COHESION:	NONE
SEISMIC DESIGN:	NONE
BLOCK TYPE:	ALL CLASSIC
GRID TYPE:	STRATA SG 200

SEAL:



CONSULTANT:



11/07/18	REVISION 1	
NO	DATE	REMARKS
REVISIONS		

**LEGEND**

- WINDOW TAG
- FRONT TAG
- KEY NOTE

**GENERAL NOTES**

1. G.C. TO CONTINUE FROM INSIDE CORNER VERSUS TRANSITION AT OUTSIDE CORNER.

**KEY NOTES**

1. TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
2. TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
3. CHANNEL LETTER SIGNAGE ON SIDES OF BUILDING
4. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS.
5. CONTRIVE REVEALS ALONG EXTENDED EDGE OF BUILDING
6. SIDE ENTRY CANOPY. SEE ENLARGED ELEVATIONS FOR DETAILS
7. ROOF SHADE CANOPY. SEE SHEET A221 FOR DETAILS
8. WINDOW TO BE "PROTECTED" TO CREATE VISUAL SCREEN TO LAUNDRY ROOM. SEE WINDOW SCHEDULE
9. CHANNEL LETTER SIGNAGE AT FRONT OF BUILDING. SEE SIGNAGE MANUAL - EXTERIOR SIGNAGE PACKAGE FOR REQUIREMENTS
10. PITCH LANTERN INTEGRAL WITH WINDOW FRAME. FINISH TO MATCH WINDOW FRAME
11. RAILLEADER OVERFLOW LOCATION.

**EXTERIOR FINISH KEY**

- EF1 PEARLESCENT ACCENT EPS FINISH
- EF2 DARK EPS FINISH COLOR
- EF3a ACCENT EPS COLOR
- EF3b DARK EPS FINISH COLOR - TEXTURED
- EF3c STAIR TOWER EPS COLOR
- EF4 MAIN BUILDING EPS COLOR
- EF4a ACCENT EPS COLOR
- ST1 CULTURED STONE
- COPAS
- SP1 EXTERIOR ACCENT FINISH AT RAINSCREEN  
- SOLID PNEUMATIC BOARD & BRIDG  
- CONCRETE BOARD FINISH (OUTDOOR)
- PT1 PAINT COLOR - ALUM. ROOF SHADE  
CANOPY & GROUND METAL COPINGS,  
FASCIA, ETC.

NO DATE REVISIONS

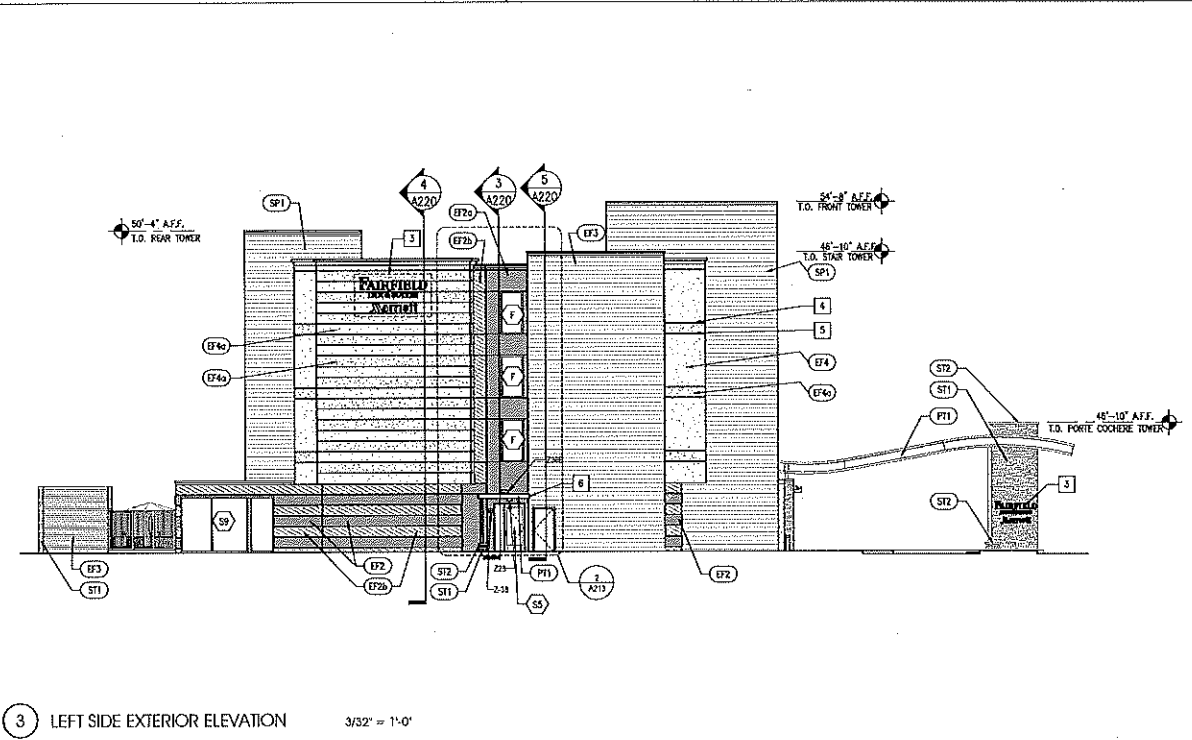
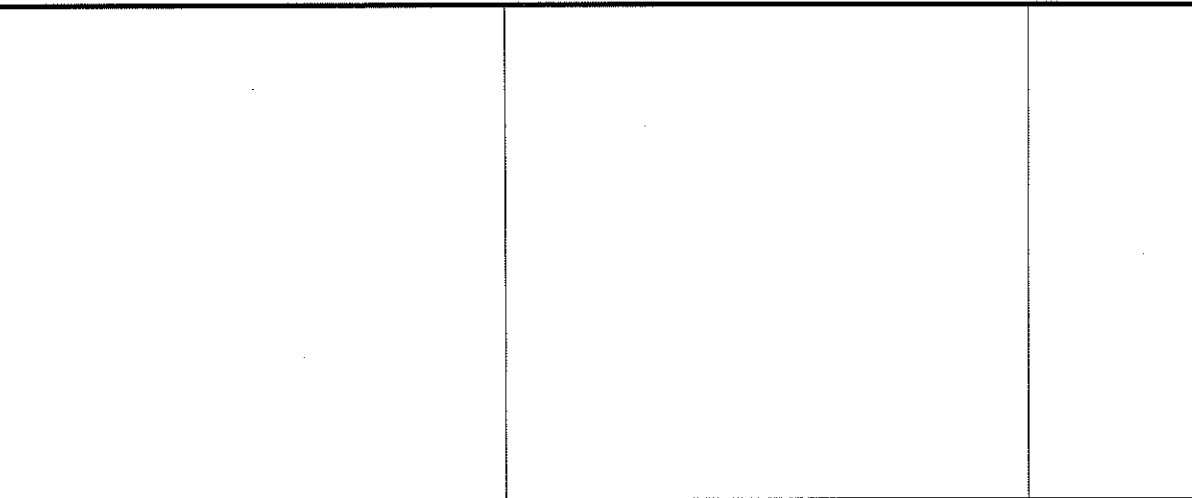
**FAIRFIELD**  
**INN & SUITES**  
**Marriott**

SR 436 & McMillan Ave  
Apopka, FL

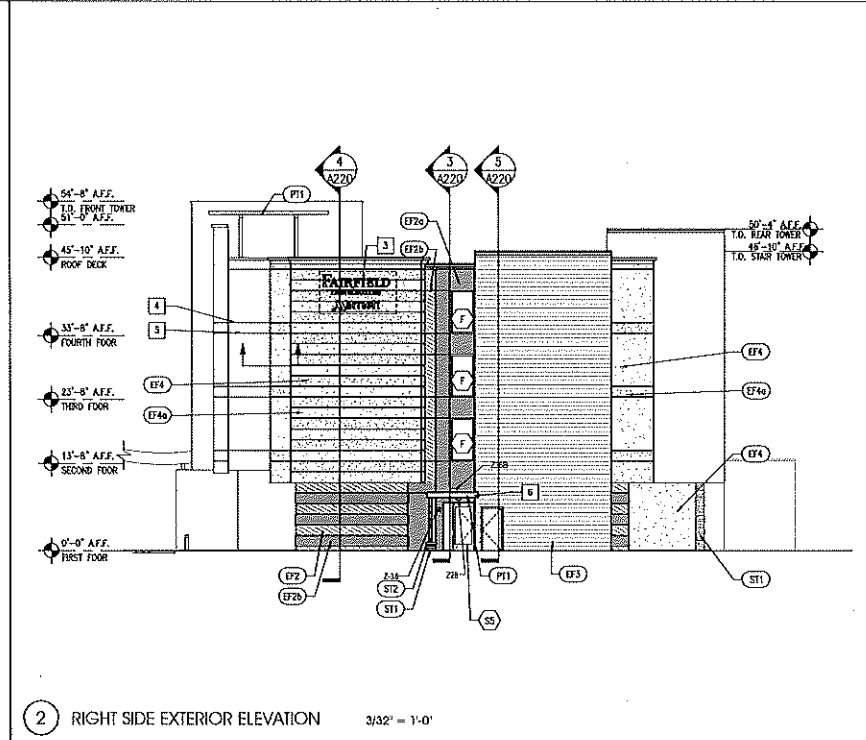
PROJECT NO. 2017.0023  
DATE: 07/10/2017

**A211**  
EXTERIOR ELEVATIONS

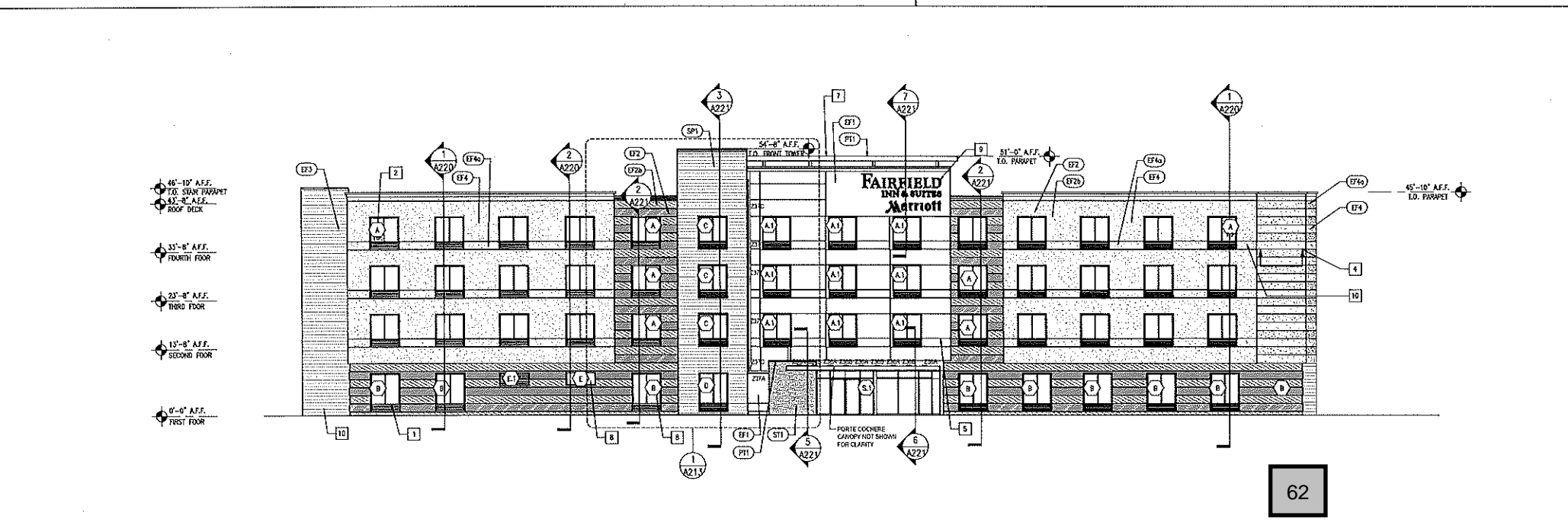
CHECKED: JAM EDWARDS HS



3 LEFT SIDE EXTERIOR ELEVATION 3/32" = 1'-0"



2 RIGHT SIDE EXTERIOR ELEVATION 3/32" = 1'-0"

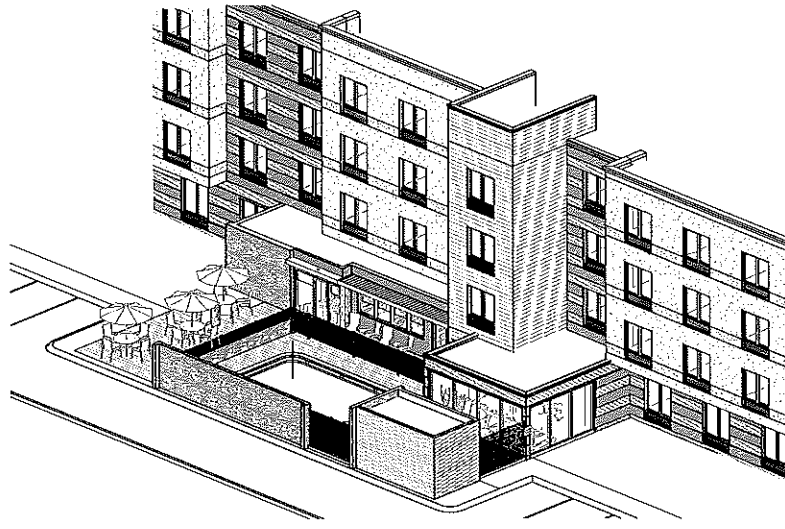


1 FRONT EXTERIOR ELEVATION 3/32" = 1'-0"

FAIRFIELD INN & SUITES - Exterior Finish Index  
Gen 4 - Slate Gray Scheme  
Issue: December 31, 2016

Note: All substitutions for colors where allowed, are to be approved by Marriot.

Item	Description	Code	Material	Finish	Notes	Area
04 71 00 (04730)	Manufactured Stone Masonry	S31	Exterior Wall	Etched Stone	Pattern: Carrara Color: Carrara	
04 72 00	Cast Stone Masonry	S32	Interior Lobby Fireplace Surround	Custom Cast Stone	Color: To match adjacent wall color, as approved by Marriot Representative	
06 80 00 (06900)	Aluminum	P11	Roof Shade Canopy	3000 Light Fluoropolymer Finish	Color: 2045: To Match Bone White (PVDF) - PPG #0C43189 (Overcoat)	
03 73 00 (03720)	Aluminum Railings		Fence		Color: Black Powder Coat	
07 24 10 (07241)	Exterior Insulation & Finish System	EF1	Entry Bay	Control Color	Color: Dryvit #0274 "Bright Gray"	
		EF2	Base	Control Color	Color: MAFA 31 1336 "Bright Gray" Texture: "Finema" Hydrophobic Water Repellent System Durabond Plus MD	
		EF2a	Side of Entry Bay, Side Entrances	Control Color	Color: MAFA 31021 Texture: Sandpale System: Durabond Plus MD	
		EF2b	Accent Texture on Entry Bay Side	Control Color	Color: Benjamin Moore "Deep Space 2125-20" Texture: Sandpale Fine System: Durabond Plus MD	3423.4
		EF3	Stair Tower	Control Color	Color: Benjamin Moore "New Chateau AC6" Texture: Sandpale System: Durabond Plus MD	
		EF4	Main Body	Control Color	Color: Benjamin Moore "Power Buff HC-31" Texture: Sandpale Fine System: Durabond Plus MD	
		EF4a	Accent Texture	Control Color	Color: Benjamin Moore "Wilmington Tan HC-24" Texture: Sandpale System: Durabond Plus MD	
07 42 53 01 (07420)	Solid Phenolic Exterior Vinyl Panels	SP1	Furthest	Style: Refer to Drawings Size: Refer to Project Manual Master Color: 2043 X17 "Soft Pine"		19705.1
07 46 46 (07460)	Few Cement Siding	SP1 (ALT)	8th Alternative for SP1	Panel: Arden Lap Size: 8-1/4" (7" exposure) Color: Parred - Benjamin Moore "Log Cabin 2163-10"		10477.1
07 62 00 (07620)	Metal Fascia		PAC Clad Copings	Color: Match Aluminum Window Color, as approved by Marriot Representative		N/A: 13-6008.18
07 72 33 (07720)	Roof Hatch		Roof Hatch	Color: Match adjacent roof surface color		15110.1
07 80 00 (07800)	Joint Sealants		Doors and Windows	Color: Match adjacent wall surface color		
08 11 13 (08110)	Steel Doors		Control Joints	Color: Match adjacent wall surface color		
08 41 13 (08410)	Aluminum-Framed Entrances and Storefronts		Aluminum Thru Glass 451T	Color: AAMA 2604: Custom Color to match Aluminum Window Color, as approved by Marriot Representative (PVDF Similar to Corecoat) (Note: Clear or Color Anodized Finish NOT permitted)		14381.1
			Control Color	Color: AAMA 2604: Custom Color to match Aluminum Window Color, as approved by Marriot Representative (PVDF Similar to Corecoat) (Note: Clear or Color Anodized Finish NOT permitted)		
			Liquid Fluoropolymer Coat	Color: AAMA 2604: Custom Color to match Aluminum Window Color, as approved by Marriot Representative (PVDF Similar to Corecoat) (Note: Clear or Color Anodized Finish NOT permitted)		
08 42 25 (08420)	Automatic Entrance Doors		Stanley Access Technologies, LLC Sure-Gate Series 2000	Color: AAMA 2604: Custom Color to match Aluminum Window Color, as approved by Marriot Representative (Polyester Similar to Corecoat) (Note: Clear or Color Anodized Finish NOT permitted)		
			Control Color	Color: AAMA 2604: Custom Color to match Aluminum Window Color, as approved by Marriot Representative (PVDF Similar to Corecoat) (Note: Clear or Color Anodized Finish NOT permitted)		
			Liquid Fluoropolymer Coat	Color: AAMA 2604: Custom Color to match Aluminum Window Color, as approved by Marriot Representative (PVDF Similar to Corecoat) (Note: Clear or Color Anodized Finish NOT permitted)		
08 81 13 (08810)	Aluminum Windows		BRACO TR6000 (PAWNEER)	Color: AAMA 2604: To Match Manufacturer's Standard Color that matches Clear Anodized, as approved by Marriot Representative (Polyester Similar to Corecoat) (Note: Clear or Color Anodized Finish NOT permitted)		16201.1
			Control Color	Color: AAMA 2604: To Match Manufacturer's Standard Color that matches Clear Anodized, as approved by Marriot Representative (Polyester Similar to Corecoat) (Note: Clear or Color Anodized Finish NOT permitted)		
			Liquid Fluoropolymer Coat	Color: AAMA 2604: To Match Manufacturer's Standard Color that matches Clear Anodized, as approved by Marriot Representative (Polyester Similar to Corecoat) (Note: Clear or Color Anodized Finish NOT permitted)		
08 80 00 (08800)	Glass Color			Color: Clear		
09 14 25 (09140)	Linear Metal Ceiling		Pella Coaches	Color: White		
09 36 00 (09360)	Special Coatings		Edge Bolts Exterior Steel Fastings (Stair & Ramp)	Color: White Color: White		
09 37 00 (09370)	Exterior Louvers & Grilles		PAC Trim Fastings around PTAC Louvers	Color: Match Window Frames		
			18 Down Louvers & Grilles Trim Fastings around Louvers & Grilles	Color: Match Window Frames Color: Match adjacent surface as approved by Owner's Representative		
22 13 15 (22131)	Impressed Concrete	SC1	Outdoor Pool Deck and Patio	Texture: Classic Color: To match lobby tile as approved by Marriot Pattern: 9/2" Ashlar to match Lobby tile See Drawings		
		SC2	Accent Fining at Pella Coaches	Texture: Classic Color: To match color of Lobby Tile, as approved by Owner's Representative		
23 38 36 (23380)	Exterior Concrete Pool Deck	SC1 (OPT)	Outdoor Pool Deck and Patio	Texture: Classic Color: Bone White (Field) & Pewter Gray (Accents)		
23 31 29 (23310)	Wood Fences & Gates		Wood Trash Enclosure	Color: Natural Cedar Finish		



2 REAR EXTERIOR 3D VIEW 3/32" = 1'-0"

LEGEND

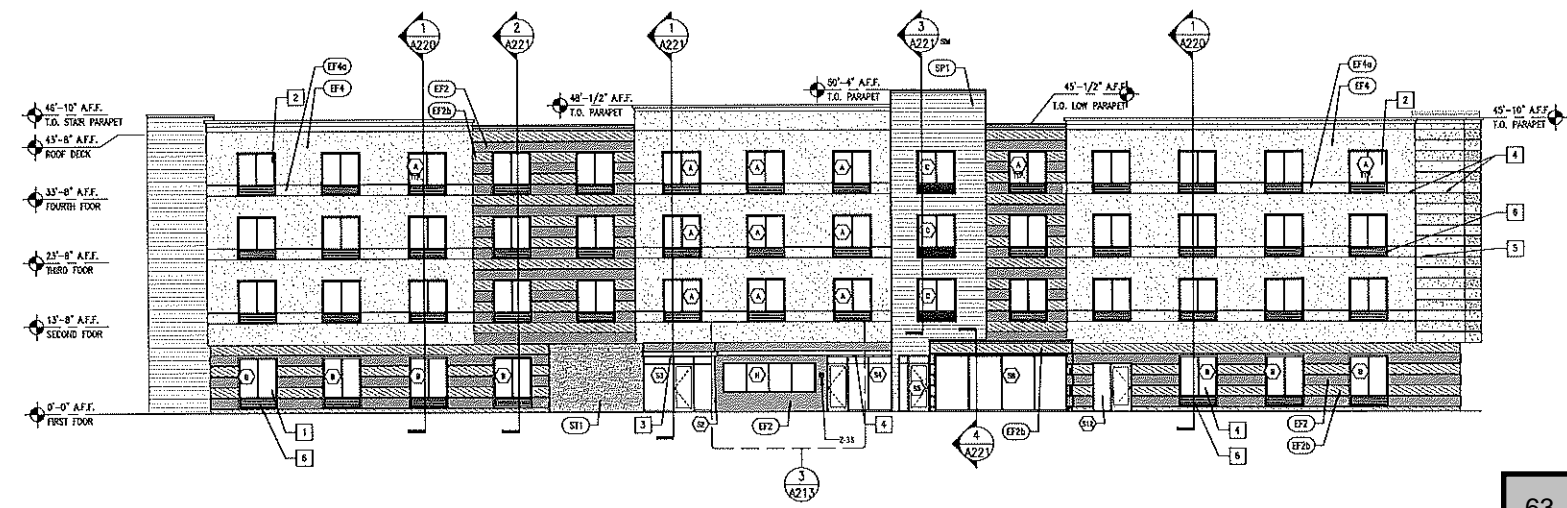
- WINDOW TAG
- FINISH TAG
- KEY NOTE

GENERAL NOTES

1. O.C. TO CONTINUE FINISH TO INSIDE CORNER VERSUS FRESH TRANSITIONS AT OUTSIDE CORNER

KEY NOTES

1. TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
2. TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
3. LOUVERED SHINGLED MAPES CANTILEVERED LOUVERAGE
4. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING - SEE ENLARGED DETAILS FOR DIMENSIONS
5. CONTINUE REVEALS & ALONG EXTENDED EDGE OF BUILDING
6. PTAC LOUVER INTEGRAL WITH WINDOW FRAME FINISH TO MATCH WINDOW FRAME



1 REAR EXTERIOR ELEVATION 3/32" = 1'-0"

EXTERIOR FINISH KEY

- EF1 PEARLESCENT ACCENT EIFS FINISH
- EF2 DARK EIFS FINISH COLOR
- EF2a ACCENT EIFS COLOR
- EF2b DARK EIFS FINISH COLOR - TEXTURED
- EF3 STAR TOWER EIFS COLOR
- EF4 MAIN BUILDING EIFS COLOR
- EF4a ACCENT EIFS COLOR
- S11 CULTURED STONE
- S12 COPING
- SP1 EXTERIOR ACCENT FINISH AT RAINSCREEN - SOLID PREVIOUS BOARD & FINISH - CEMENT BOARD SIDING (OPTION)
- P11 PAINT COLOR - ALUM. ROOF SHADE CANOPY & OTHER METAL CORNICES, FASCIAS, ETC.

**INTERPLAN**  
ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT  
AA 003420  
CA 8500  
604 COURTAINE DRIVE  
SUITE 100  
ORLANDO, FLORIDA 32814  
PH 407.645.0008  
FX 407.629.9124

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NO DATE REVISED  
REVISIONS

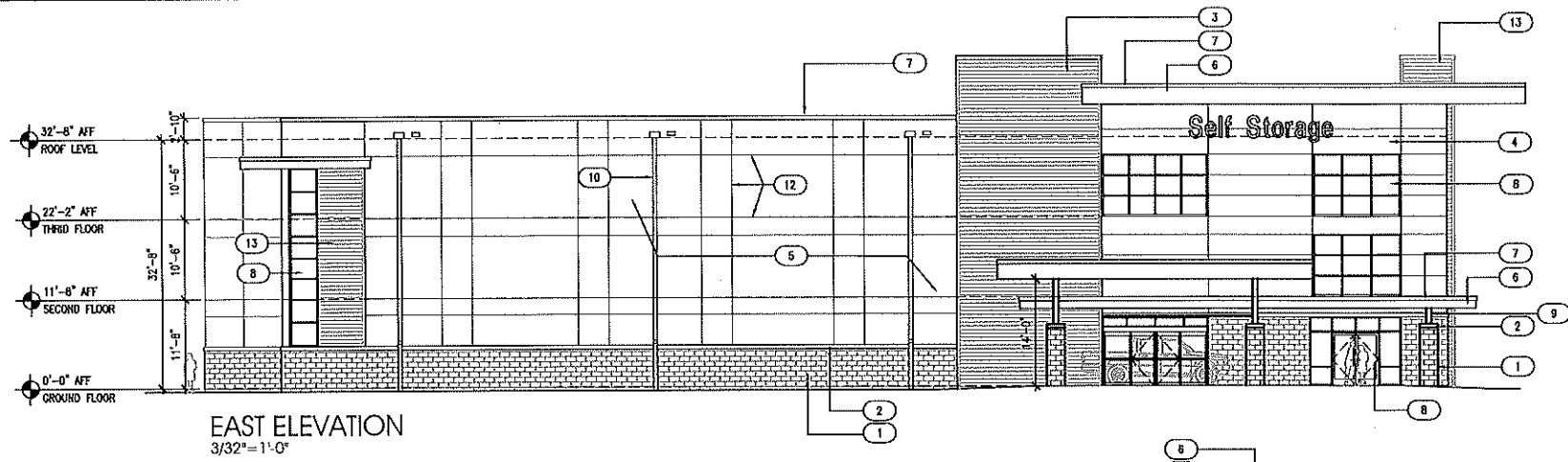
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**Marriott**  
SR 436 & McVie Ave  
Apopka, FL

PROJECT NO: 2017-0023  
DATE: 07/10/2017

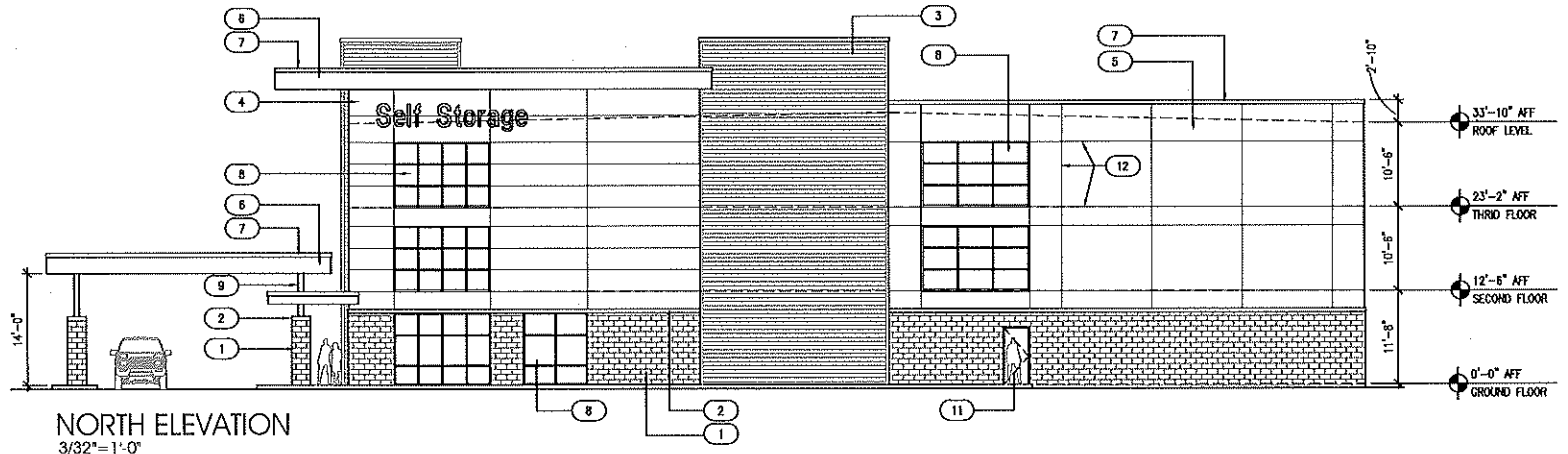
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EXTERIOR ELEVATIONS  
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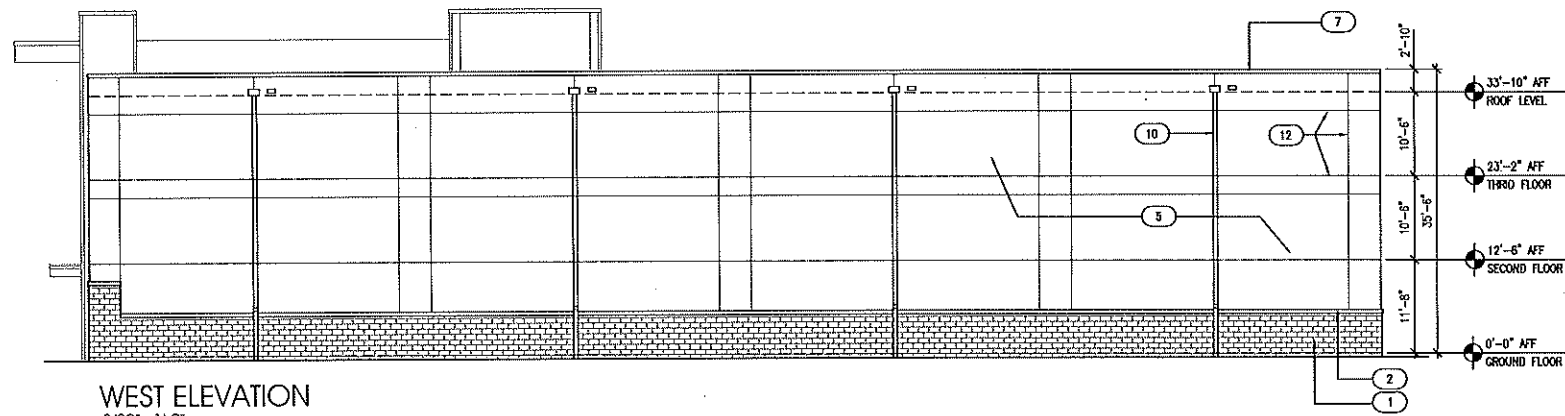
SEAL:  
THIS DOCUMENT IS NOT FOR CONSTRUCTION  
UNLESS THE ARCHITECT OR ENGINEER'S  
SIGNATURE AND SEAL APPEAR BELOW.



**EAST ELEVATION**  
3/32" = 1'-0"



**NORTH ELEVATION**  
3/32" = 1'-0"

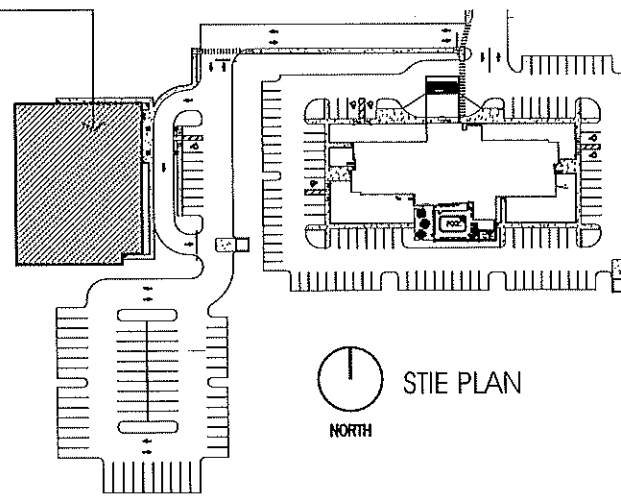


**WEST ELEVATION**  
3/32" = 1'-0"

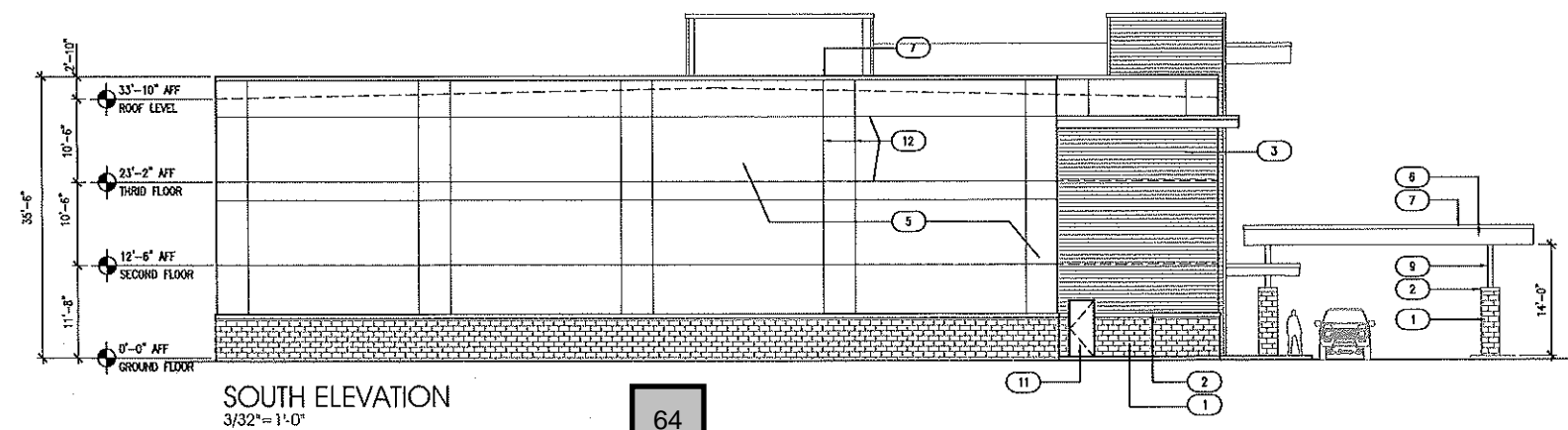
FINISH MATERIAL SCHEDULE (X)			
KEY	MATERIAL	FINISH/COLORS	COMMENTS
1	CONCRETE BLOCK WITH PAINT FINISH	SHERWIN WILLIAMS: BLACK FOX 7028	BLACKISH
2	EIFS BAND	SHERWIN WILLIAMS: EIDER WHITE 7014	OFF-WHITE
3	METAL SIDING	SHERWIN WILLIAMS: FLYWAY 6794	BLUE
4	EIFS WALL FINISH	SHERWIN WILLIAMS: ESSENTIAL GRAY 6982	GRAY
5	EIFS WALL FINISH	SHERWIN WILLIAMS: EIDER WHITE 7014	OFF-WHITE
6	EIFS ACCENT BANDING AND CANOPY FINISH	SHERWIN WILLIAMS: DARK ROOM 7083	BLACK
7	METAL COPING	SHERWIN WILLIAMS: GAUNTLET GRAY 7019	GRAY
8	ALUMINUM STOREFRONT	DARK BRONZE	DARK BRONZE
9	STEEL COLUMN	DARK BRONZE	GRAY
10	METAL DOWN SPOUTS	SHERWIN WILLIAMS: GAUNTLET GRAY 7019	GRAY
11	HOLLOW METAL EGRESS DOOR	SHERWIN WILLIAMS: EIDER WHITE 7014	OFF-WHITE
12	EIFS SCORE LINE	NA	NA

1 4-23-18 PLANNING COMMENTS  
NO DATE REMARKS  
REVISIONS

**SELF STORAGE BUILDING**  
THREE STORIES  
20,244 SF PER FLOOR  
60,732 GSF



**SITE PLAN**  
NORTH



**SOUTH ELEVATION**  
3/32" = 1'-0"

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BOUNDARY & TOPOGRAPHIC SURVEY

STATE ROAD 436 (200.0' R/W)  
 (SEMORAN BOULEVARD)  
 (ASPHALT ROAD)

NORTH LINE OF THE SE 1/4 OF THE SE 1/4 OF SEC 11-21-28

NORTH LINE OF THE SE 1/4 OF THE SE 1/4 OF SEC 11-21-28

SECTION 11-21-28  
 EAST LINE OF THE SE 1/4 SEC 11-21-28  
 BASIS OF BEARING  
 S 0°13'03" W 2726.40' (M)

N 0°13'03" E 135.26' (C + P)  
 N 89°39'10" W 544.93' (P)  
 N 89°39'22" W 545.00' (C)

PARCEL NO. : 11-21-28-0000-02-000  
 RAGETRAC PETROLEUM INC.

PARCEL NO. : 11-21-28-5600-01-000  
 ALDI (FLORIDA) LLC

ONE STORY  
 C.B.S  
 #1936  
 F.F.E.L=99.95

PARCEL NO. : 11-21-28-0000-00-086  
 CZT1 PROPERTIES LLC

PARCEL NO. : 11-21-28-0000-00-082  
 DONALD M. THOMAS  
 LAUREN E. TIMBERLAKE

PARCEL NO. : 11-21-28-0000-00-190  
 SHIRLEY K. & DAVID C.  
 CRENSHAW

PARCEL NO. : 11-21-28-0000-00-189  
 BRIAN M. GILBERT  
 JENNA M. WALLS

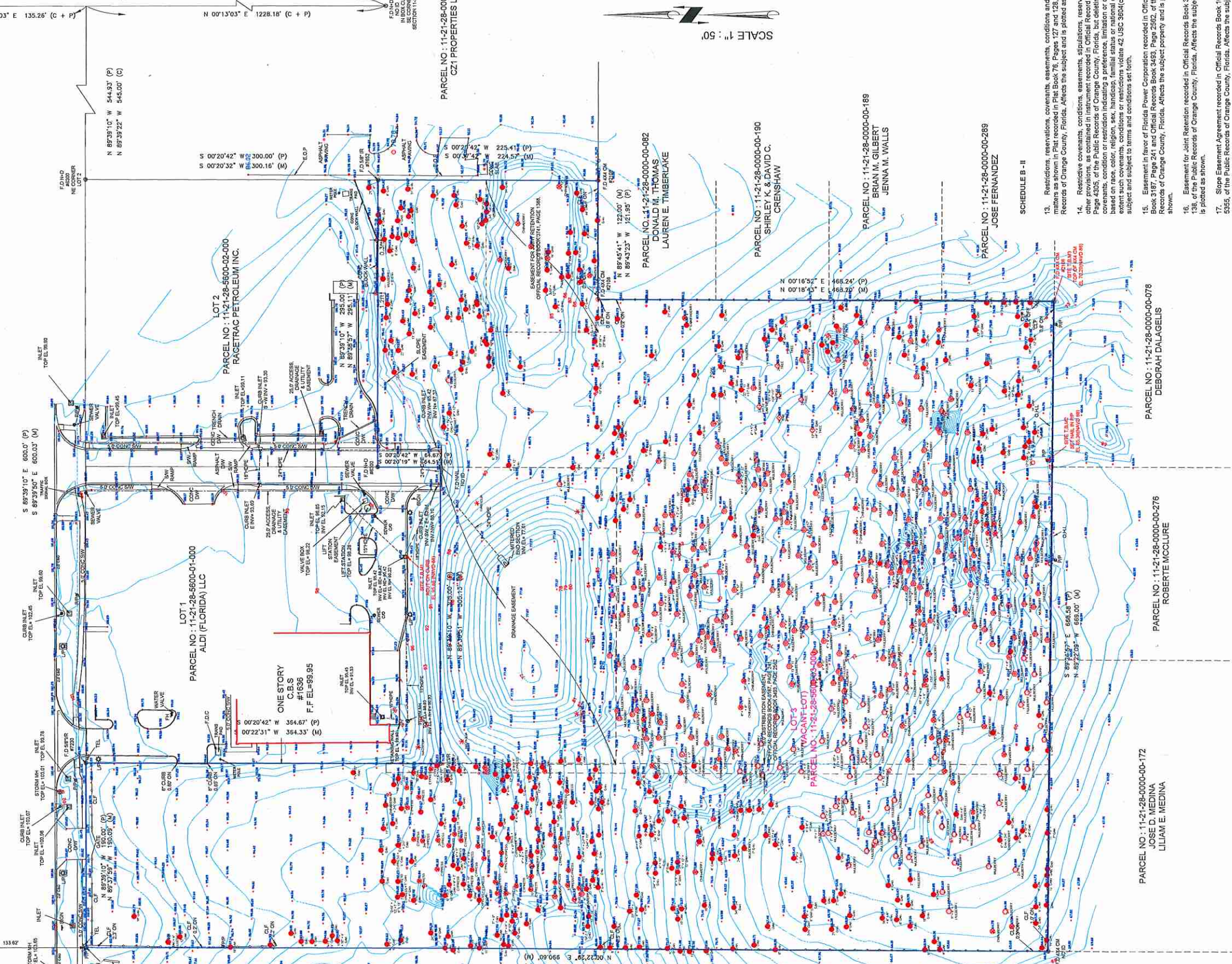
PARCEL NO. : 11-21-28-0000-00-289  
 JOSE FERNANDEZ

PARCEL NO. : 11-21-28-0000-00-172  
 JOSE D. MEDINA  
 LILIANE E. MEDINA

PARCEL NO. : 11-21-28-0000-00-278  
 ROBERTE MCCLURE

PARCEL NO. : 11-21-28-0000-00-078  
 DEBORAH DALAGELIS

SCALE 1" = 50'



LEGAL DESCRIPTION

LOT 3, MCVILLA COMMERCE PARK, according to the plat thereof as recorded in Plat Book 76, Page 128 and 129, Public Records of Orange County, Florida.

PROJECT INFORMATION

Bearings shown herein are based on the East line of the SE 1/4 of Section 11-21-28 as being S 0° 13'03" W per Plat.

Field Date : 06/30/16  
 Date Completed : 07/05/16  
 Revised Date : 03/09/17 Topographic Survey

Property Address :  
 1616 E. SEMORAN BLVD  
 APOPKA, FL 32703.

SURVEY NO. : VS 1956

FLOOD ZONE INFORMATION:  
 Community : 120180 Parcel: 0140  
 Surfix : F. F.L.R.M. Date: 09/25/2009  
 Flood Zone : X

BENCHMARK

POINT : 5992018  
 NORTHING : 1578302  
 EASTING : 5090661  
 DESCRIBED BY : JAMES HANCOCK (1988)  
 ON THE WEST SIDE OF WEKIVA SPRINGS RD. 100 FT  
 N. S OF C/L OF NORTHERN MOST ENTRANCE TO  
 WEKIVA RIVER WALK PLAZA.  
 SITE BENCHMARK AS SHOWN ON PLAT

LEGEND

CONTC	TRANS	TRANSFORM	A	AS L	PROSP	BEARING	SURVEYOR'S CERTIFICATION
CONTC	CONTC	CONTC	CONTC	CONTC	CONTC	CONTC	CONTC
C.P.	E.C.P.	Edge of Pavement	N	Dist	D.F.	Oil Hole	This survey is made for the benefit of Florida Enterprises, L.L.C., First Green Bank, LLC, and National Title Insurance Company, Inc. Old Republic National Title Insurance Company, Inc.
C.F.	U.E.	Utility Easement	N/D	Nail and Dec	G.H.L.	Limit Access Easement	This is to certify that this map or plat and the survey on which it is based were made by the Surveyor and the Surveyor is duly Licensed in the State of FLORIDA. ALVARO GONZALEZ
CONTC	C.E.	Curbs	R	Iron Rod	C.P.	Original Record Book	Date of Plat or Map : 07/05/16 Revised Date : 03/09/17 Topographic Survey
CONTC	C.S.	Curbs	R	Found	P	Original Record Book	This survey is not valid without the signature and the original current embossed seal of a Florida Licensed Surveyor and Mapper
CONTC	L.P.	Light Pole	F.D.	Found	C	Original Record Book	I hereby certify that the survey on which this plat is based is in accordance with the provisions of Chapter 551, Florida Statutes, and the Surveyor is duly Licensed in the State of FLORIDA. ALVARO GONZALEZ
CONTC	P.P.	Power Pole	R.W.	Right of Way	G	Original Record Book	Administrative Code, Chapter 60-25, Florida Statutes
CONTC	S.W.	Survey Wire	Pg	Page	N.R.	Original Record Book	
CONTC	SW	Survey Wire	EL	Elevation	N.A.D.	Original Record Book	
CONTC	W.M.	West Marker	M	Measured	B.S.	Original Record Book	
CONTC	W.C.	West Corner	M	Measured	B.S.	Original Record Book	
CONTC	A.C.	Ar Condition	M	Measured	B.S.	Original Record Book	
CONTC	TYP	Typical	D.W.	Driveway	C.L.N.	Original Record Book	

SURVEYOR'S NOTES

- This survey is based on the legal description as provided by the Client, and is not intended to be a search for encumbrances or restrictions.
- No underground encumbrances or restrictions have been located unless noted. Only visible utility lines are shown.
- Dimensions shown for the locations of improvements are based on the locations of improvements.
- Dimensions shown for the locations of improvements may have altered in size by reproduction.
- The record description of the subject property forms a mathematical closed figure.

BEARING REFERENCE

- |                 |     |
|-----------------|-----|
| DKW TREE        | DKW |
| MALBERRY TREE   | MB  |
| ORNAMENTAL TREE | OT  |
| OPPLES TREE     | OP  |
| PEAR TREE       | PE  |
| MANGROVE TREE   | MT  |
| PINE TREE       | PT  |

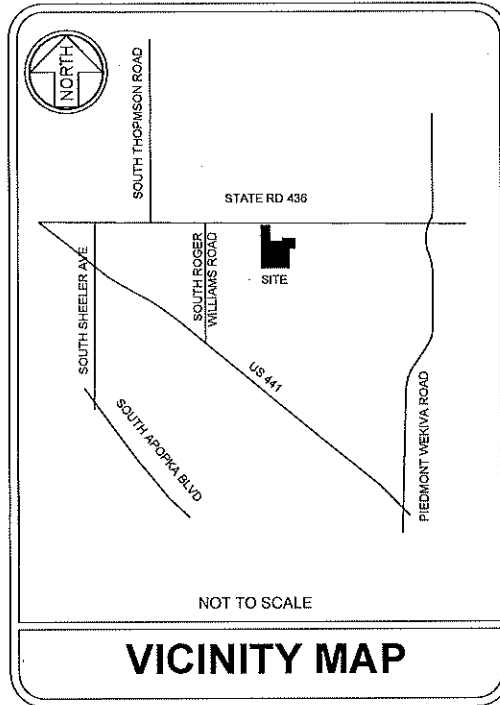
SCHEDULE B - II

- Restrictions, reservations, covenants, easements, conditions and all other items as are shown on the Plat recorded in Plat Book 76, Pages 127 and 128, of the Public Records of Orange County, Florida. Affects the subject and is plotted as shown.
- Restrictive covenants, conditions, easements, stipulations, reservations and other provisions, as contained in instrument recorded in Official Record Book 10332, Page 4305, of the Public Records of Orange County, Florida, but deleting any provision based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). Affects the subject and is subject to terms and conditions set forth.
- Easement in favor of Florida Power Corporation recorded in Official Records Book 3187, Page 241 and Official Records Book 3493, Page 2582, of the Public Records of Orange County, Florida. Affects the subject property and is plotted as shown.
- Easement for Joint Retention recorded in Official Records Book 3741, Page 138, of the Public Records of Orange County, Florida. Affects the subject property and is plotted as shown.
- Share Easement Agreement recorded in Official Records Book 10331, Page 5355, of the Public Records of Orange County, Florida. Affects the subject property and is plotted as shown.
- Development and Reciprocal Easement Agreement and Declaration of Restrictive Covenants recorded in Official Records Book 10332, Page 4305, of the Public Records of Orange County, Florida. Affects the subject property and is subject to terms and conditions set forth.
- Terms and conditions of any existing unrecorded leases(s), and all rights of lease(s) and any parties claiming through the lease(s) under the lease(s). Affects the subject property and subject to terms and conditions set forth.



# Replat of McVILLA Commerce Park

A REPLAT OF LOT 3, McVILLA COMMERCE PARK RECORDED IN PLAT BOOK 76, PAGE 127 LOCATED IN SECTION 11, TOWNSHIP 21 SOUTH, RANGE 28 EAST CITY OF APOPKA, ORANGE COUNTY, FLORIDA



## DESCRIPTION:

A Portion of Section 11, Township 21 South, Range 28 East, City of Apopka, Orange County, Florida, being more particularly described as follows:

COMMENCE at the Northeast corner of the Southeast 1/4 of the Southeast 1/4 of Section 11, Township 21 South, Range 28 East; thence South 00°13'03" West a distance of 135.26 feet along the East line of the Southeast 1/4 of the Southeast 1/4 of said Section 11 to the South right of way line of State Road 436, as shown on Florida Department of Transportation Right of Way Map, Section 75120-2506; thence North 89°39'10" West, a distance of 1144.93 feet along the said South right of way line of State Road No. 436 to the Northeast corner of Lot 3 as recorded in McVILLA Commerce Park, Plat Book 76, Page 127, said point also being the POINT OF BEGINNING; thence South 00°20'42" West, a distance of 364.67 feet, thence South 89°39'10" East, a distance 305.00 feet; thence North 00°20'42" East, a distance of 64.67 feet, thence South 89°39'10" East, a distance of 295.00 feet; thence South 00°20'42" West, a distance of 225.41 feet, thence North 89°43'23" West, a distance of 121.95 feet, thence South 00°16'52" West, a distance of 468.24 feet; thence North 89°26'57" West, a distance of 668.58 feet, to the West line of the Southeast 1/4 of the Southeast 1/4 of said Section 11, thence North 00°20'42" East, a distance of 991.42 feet along the said West line to the aforesaid South right of way line of State Road No. 436; thence South 89°39'10" East, a distance of 190.00 feet along said South right of way to the POINT OF BEGINNING.

Containing : 12.11 acres more or less.

## REPLAT OF McVILLA COMMERCE PARK

### DEDICATION

KNOWALL BY THESE PRESENTS, Farish Enterprises, LLC being the owner in fee simple of the lands described in the foregoing caption to this plat, hereby dedicates said lands and plat for the uses and purposes therein expressed.

IN WITNESS WHEREOF, Farish Enterprises LLC has caused these presents to be signed and acknowledged by the officers named below on this \_\_\_\_ day of \_\_\_\_\_, 2018

Farish Enterprises LLC  
4680 S. Orange Blossom Tr,  
Orlando, Florida 32839.

Signed By: \_\_\_\_\_ Title: \_\_\_\_\_ Print Name \_\_\_\_\_

Signed and sealed in the presence of:

Signed By: \_\_\_\_\_ Print Name \_\_\_\_\_

Signed By: \_\_\_\_\_ Print Name \_\_\_\_\_

STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_  
The foregoing instrument was acknowledged before me on \_\_\_\_\_, 2018  
by \_\_\_\_\_ as Managing Member of Farish Enterprises LLC on behalf of said limited liability company. He is personally known to me or has produced as identification \_\_\_\_\_.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the above date.

NOTARY PUBLIC \_\_\_\_\_  
My Commission Expires \_\_\_\_\_

### QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER

KNOWALL MEN BY THESE PRESENTS, That the undersigned, being a Licensed and Registered Land Surveyor, does hereby certify that this plat was prepared under my direction and supervision and that this plat complies with all the survey requirements of Chapter 177, Florida Statutes; and that said land is located in the City of Apopka, Orange County, Florida.

By: \_\_\_\_\_ Date: \_\_\_\_\_  
Harry H. Sobhraj  
Florida Registered Surveyor and Mapper  
Certificate No: 5342

V & S SURVEYING INC.  
Certificate of Authorization No: LB 7772  
2412 Orsota Cir, Ocoee FL 34761

### CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION

THIS IS TO CERTIFY, That on \_\_\_\_\_ the foregoing plat was approved by the Apopka Planning Commission of the City of Apopka

Chairman: \_\_\_\_\_ Date: \_\_\_\_\_

### CERTIFICATE OF APPROVAL BY MUNICIPALITY

THIS IS TO CERTIFY, That on the \_\_\_\_\_, the City Council of the City of Apopka approved the foregoing plat.

ATTEST:

Bryan Nelson, Mayor \_\_\_\_\_ City Clerk \_\_\_\_\_

### CERTIFICATE OF APPROVAL BY CITY ENGINEER

Examined and Approved: \_\_\_\_\_ Date: \_\_\_\_\_

City Engineer: Richard Eap

### CERTIFICATE OF REVIEW BY CITY SURVEYOR

Pursuant to Section 177.081, Florida State Statutes, I have reviewed this plat for conformity to chapter 177 Part 1 of the Florida Statutes and that said plat complies with the technical requirements of that chapter, provided however that my review does not include field verification of any coordinates, points or measurements shown on this plat.

City Surveyor: \_\_\_\_\_ Date: \_\_\_\_\_

### CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records on \_\_\_\_\_ as File No. \_\_\_\_\_

County Comptroller in and for Orange County, Florida

By: \_\_\_\_\_

ABBREVIATIONS	SYMBOLS
CM = CONCRETE MONUMENT	SYMBOLS SHOWN ARE NOT TO SCALE
FD = FOUND	⊙ IRON ROD AND CAP FOUND (NUMBER AS INDICATED)
IR = IRON ROD	⊙ SET 4"X4" CONCRETE MONUMENT (NUMBER AS INDICATED)
LB = LICENSED BUSINESS	LB 7772
N&D = NAIL AND DISC	⊙ FOUND NAIL AND DISC (NUMBER AS INDICATED)
NO ID = NO IDENTIFICATION	
PL = PLAT BOOK	
R/W = RIGHT OF WAY	
SEC 11-21-28 = SECTION 11 TOWNSHIP 21 SOUTH RANGE 28 EAST	

Harry H. Sobhraj, P.S.M No. 5342  
V&S SURVEYING INC.  
2412 ORSOTA CIRCLE, OCOEE, FL. 34761  
PH: (407) 342-1510 FAX: (407) 656-8365  
LB NO. 7772  
Drawing No : VS 1956

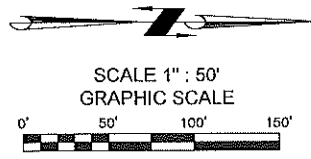
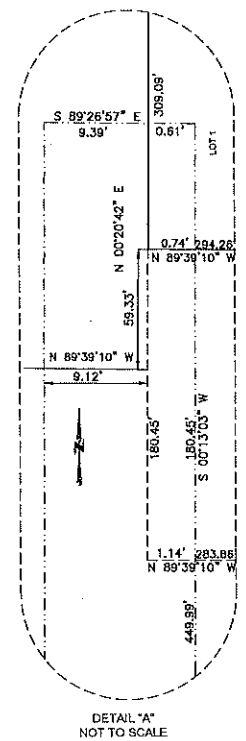
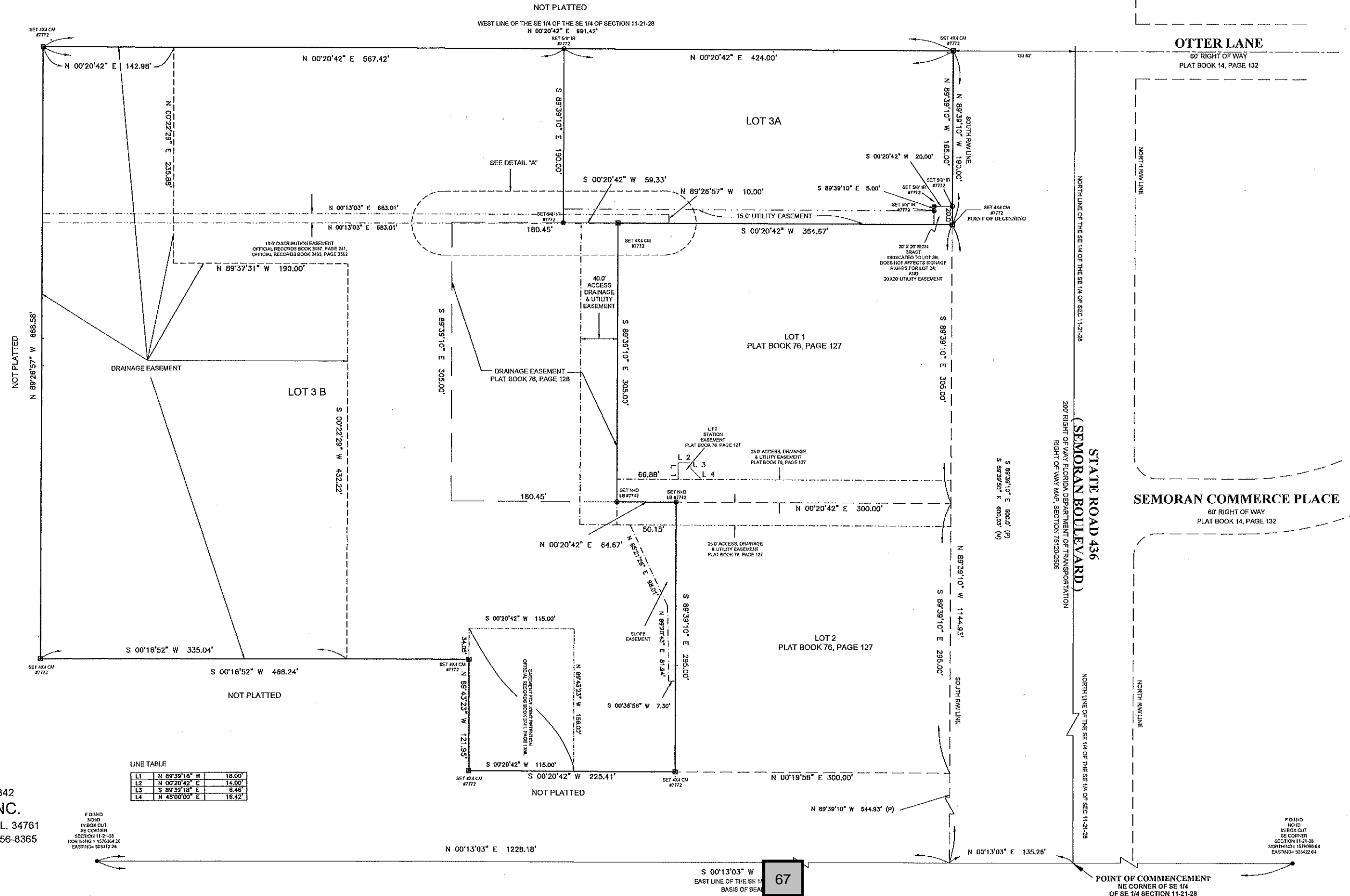
## NOTES:

- Bearings shown hereon are based on the East line of the Southeast 1/4 of the Southeast 1/4 of Section 11, Township 21 South, Range 28 East, being South 00°13'03" West.
- All platted Utility Easements shall also be easements for the construction, installation, maintenance and operation of cable television services; provided, however, no such construction, installation, maintenance and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages.
- The Drainage, Access, Liftstation and Slope Easements shown hereon will be owned and maintained by the owners.

NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED IN THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE COUNTY.

# Replat of McVila Commerce Park

A REPLAT OF LOT 3, McVILLA COMMERCE PARK RECORDED IN PLAT BOOK 76, PAGE 127 LOCATED IN SECTION 11, TOWNSHIP 21 SOUTH, RANGE 28 EAST CITY OF APOPKA, ORANGE COUNTY, FLORIDA



LINE TABLE

L1	N 89°39'18" W	18.00'
L2	N 00°20'42" E	14.00'
L3	S 89°39'18" E	6.46'
L4	N 45°00'00" E	16.42'

Harry H. Sobhraj, P.S.M No. 5342  
**V&S SURVEYING INC.**  
 2412 ORSOTA CIRCLE, OCOEE, FL. 34761  
 PH: (407) 342-1510 FAX: (407) 656-8365  
 LB NO. 7772  
 Drawing No : VS 1956

FOIHD  
 NOID  
 IN BOOK CUT  
 SE CORNER  
 SECTION 11-21-28  
 NORTHING = 157554.26  
 EASTING = 503117.26

FOIHD  
 NOID  
 IN BOOK CUT  
 SE CORNER  
 SECTION 11-21-28  
 NORTHING = 157554.26  
 EASTING = 503422.64



RECEIVED  
OCT 13 2017  
By



**FAIRFIELD**  
**INN & SUITES**  
**Marriott**

FAIRFIELD  
INN & SUITES  
Marriott



LEGEND

- WINDOW TAG
- FINISH TAG
- KEYNOTE

GENERAL NOTES

1. D.C. TO CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITIONS AT OUTSIDE CORNER

KEY NOTES

1. TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
2. TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
3. CHANNEL LETTER SIGNAGE ON SIDES OF BUILDING
4. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS
5. CONTINUE REVEALS ALONG EXTENDED EDGE OF BUILDING
6. SIDE ENTRY CANOPY. SEE ENLARGED ELEVATIONS FOR DETAILS
7. ROOF SHADE CANOPY. SEE SHEET A212 FOR DETAILS
8. WINDOW TO BE "PROTECTED" TO CREATED VISUAL SCREEN TO LAUNDRY ROOM. SEE WINDOW SCHEDULE
9. CHANNEL LETTER SIGNAGE AT FRONT OF BUILDING. SEE SIGNAGE MANUAL - EXTERIOR SIGNAGE PACKAGE FOR REQUIREMENTS
10. PFAC LOUVER INTEGRAL WITH WINDOW FRAME. FINISH TO MATCH WINDOW FRAME
11. RAINLEADER OVERFLOW LOCATION

EXTERIOR FINISH KEY

- EF1 PEARLESCENT ACCENT EIFS FINISH
- EF2 DARK EIFS FINISH COLOR
- EF2a ACCENT EIFS COLOR
- EF2b DARK EIFS FINISH COLOR - TEXTURED
- EF3 STAIR TOWER EIFS COLOR
- EF4 MAIN BUILDING EIFS COLOR
- EF4a ACCENT EIFS COLOR
- ST1 CULTURED STONE
- ST2 COPPER
- SP1 EXTERIOR ACCENT FINISH AT RAINSCREEN  
- SOLID PLYWOOD BOARD SING  
- CEMENT BOARD SING (OPTION)
- PT1 PAINT ON OR - ALUM. ROOF SHADE  
CANOPY & OTHER METAL COPINGS,  
FASCIAS, ETC

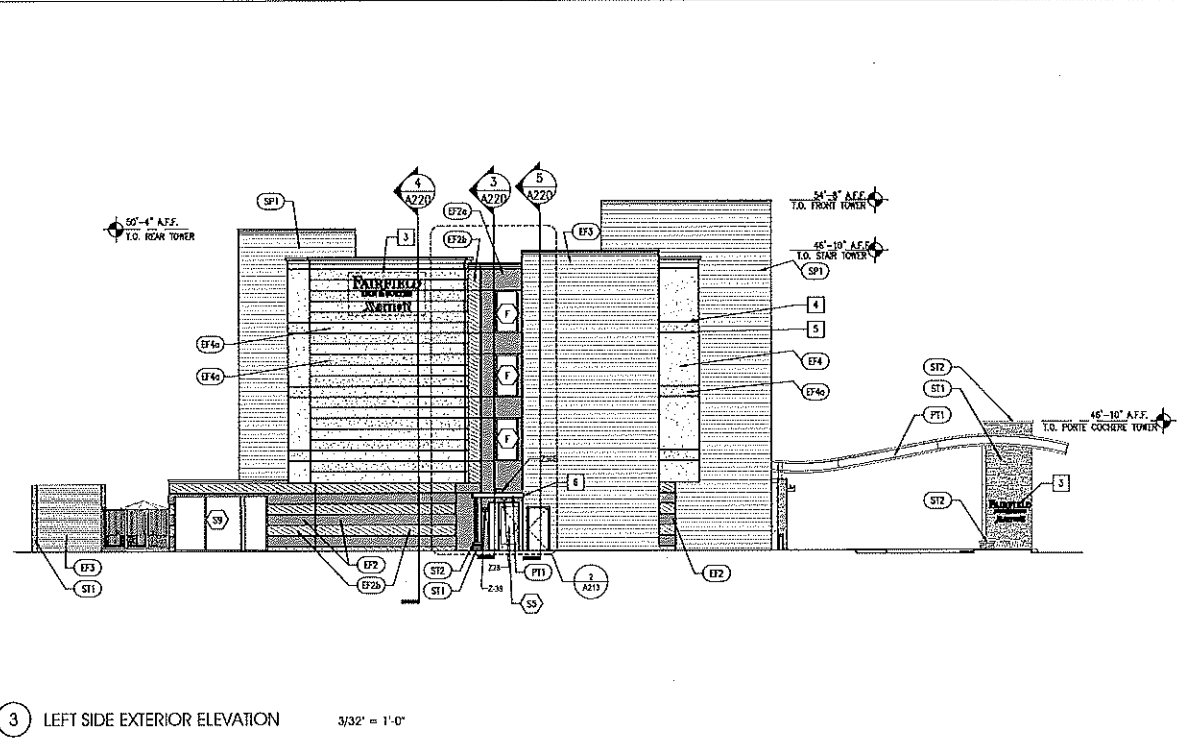
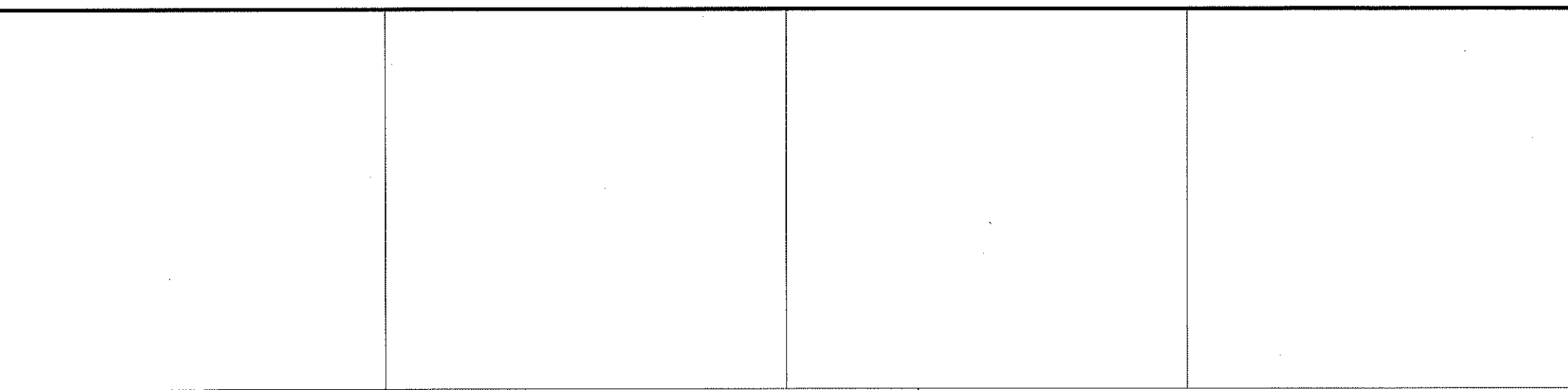
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REVISED

**FAIRFIELD  
INN & SUITES  
Marriott**  
SR 436 & McYau Ave  
Apopka, FL

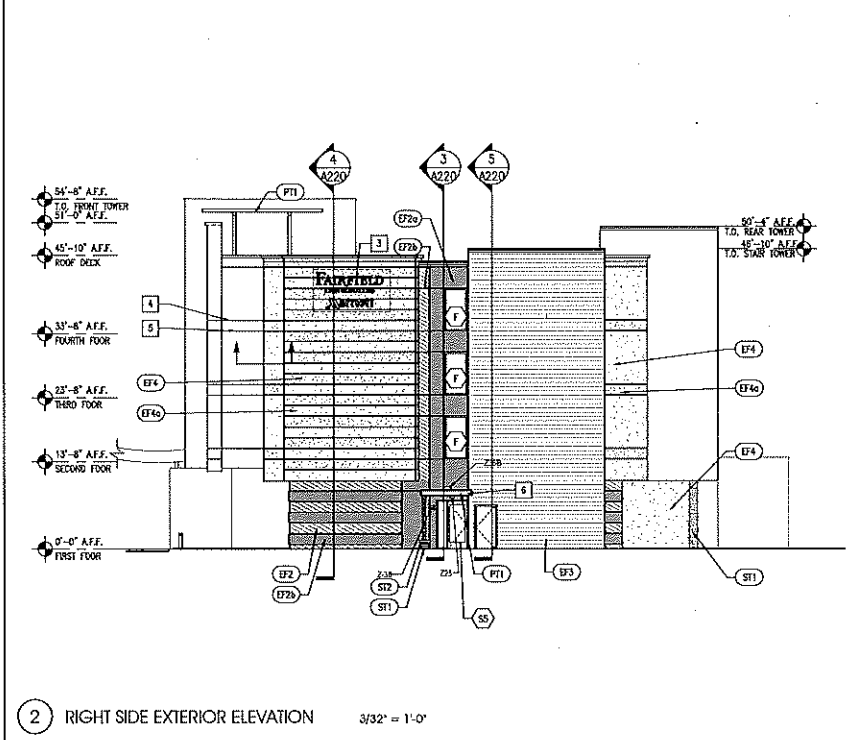
PROJECT NO: 2017.0023  
DATE: 07/10/2017

**A211**  
EXTERIOR ELEVATIONS

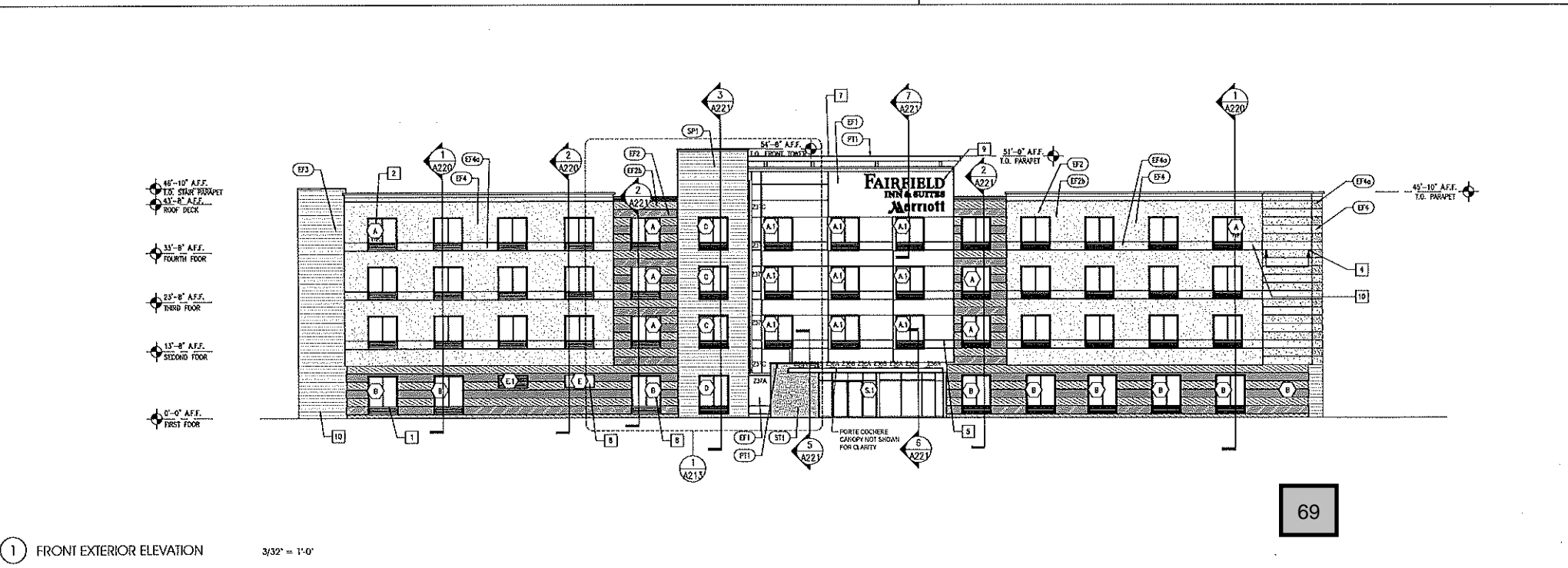
CHECKED: JAN DRAHNS, RS



3 LEFT SIDE EXTERIOR ELEVATION 3/32" = 1'-0"



2 RIGHT SIDE EXTERIOR ELEVATION 3/32" = 1'-0"



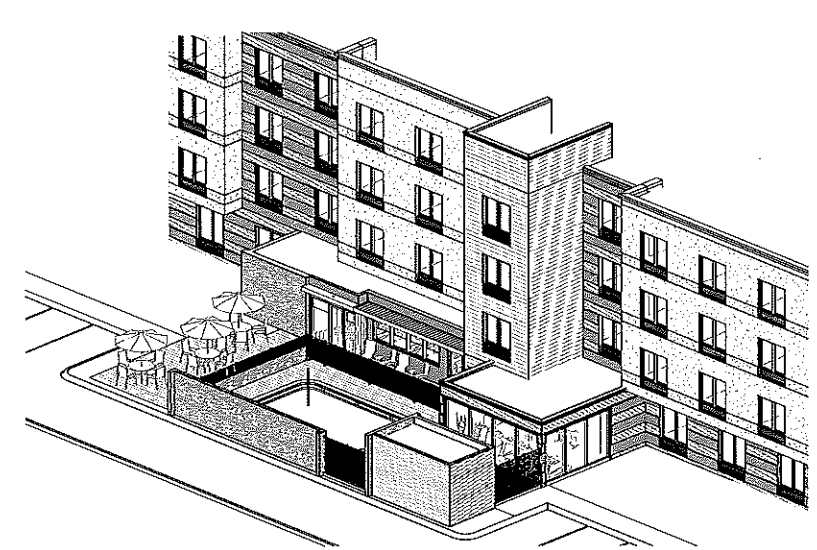
1 FRONT EXTERIOR ELEVATION 3/32" = 1'-0"

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**FAIRFIELD INN & SUITES - Exterior Finish Index**  
**Gen 4 - Slate Gray Scheme**  
 Issue: December 31, 2016

Note: All substitutions for colors, when allowed, are to be approved by Marriott.

Item	Description	System	Material	Color	Notes	Quantity
04 17 00 (04170)	Manufactured Stone Masonry	EIFS	Exterior Walls	Exterior Stone	Pattern: Carrara Color: Carrara	
04 22 00 (04220)	Cast Stone Masonry	EIFS	Interior Lobby Fireplace Surround	Custom Cast Stone	Color: To match adjacent wall color, as approved by Marriott Representative	
05 60 00 (05600)	Aluminum	PT1	Roof/Shaft Canopy	Isolast Liquid Polyurethane	Color: 8005: To Match Bone White (PVDF) - PPG RUC4340 (Duranar)	
05 73 00 (05730)	Aluminum Finishes		Pool	Paint	Color: Black Powder Coat	
07 24 10 (07241)	Interior Insulation & Finish System	EIFS	Entry Bay	Control Color	Color: DYN 9074 "Twilight Gray"	
			Entry	Color: MAFA 31 "1009 Twilight Gray"	Texture: "Finesse" Hydrophobic Water Repellent System	
		EIFS	Basin	Control Color	Color: Benjamin Moore "Deep Space 2125-20"	
			Entry	Color: MAFA 31021	Texture: Sandpaper	
		EIFS	Side of Entry Bay, Side Entrance	Control Color	Color: Benjamin Moore "Deep Space 2125-20"	
			Entry	Color: MAFA 31021	Texture: Sandpaper	
		EIFS	Accent Texture on Entry Bay Side	Control Color	Color: Benjamin Moore "Deep Space 2125-20"	3428.4
			Entry	Color: MAFA 31021	Texture: Sandpaper	
		EIFS	Star Tower	Control Color	Color: Benjamin Moore "True Cream AC 6"	
			Entry	Color: MAFA 31021	Texture: Sandpaper	
		EIFS	Main Body	Control Color	Color: Benjamin Moore "Paved Buff HC35"	
			Entry	Color: MAFA 31021	Texture: Sandpaper	
		EIFS	Accent Texture	Control Color	Color: Benjamin Moore "Wilmington Tan HC34"	
			Entry	Color: MAFA 31021	Texture: Sandpaper	
07 42 33.0 (07423)	Solid Phenolic Exterior Vinyl Panels	SPI	FurdenMAX	Style: Refer to Drawing	Refer to Project Manual Master	19765.1
07 45 45 (07450)	Fiber Concrete Siding	SPI	SG Alternative for SPI (ALT)	James Hardie	Style: Ashlap Lap	10477.1
07 62 00 (07620)	Metal Finishes		PAC Clad Coatings		Color: Match Aluminum Window Color, as approved by Marriott Representative	N/A: 13-0000.18
07 72 33 (07723)	Roof Hatches		Roof Hatches		Color: Match adjacent roof surface color	15118.1
07 82 30 (07823)	Joint Sealants		Doors and Windows		Color: Match adjacent wall surface color	
08 11 13 (08113)	Steel Doors		Steel Frames		Color: Painted, to match adjacent surface, to be approved by Owner's Representative	
08 11 13 (08113)	Aluminum Finish Entrances and Storefronts		Revenue Trim Vanox-Glass 4517		Control Color: AAMA 3905: Custom Color to match Aluminum Window Color, as approved by Marriott Representative (Polyester Similar to Endurocon 4) Notes: Clear or Color Anodized Finish NOT permitted	14971
			Control Color	Color: AAMA 3905: Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranar) Notes: Clear or Color Anodized Finish NOT permitted		
			Liquid Polyurethane	Color: AAMA 3905: Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranar) Notes: Clear or Color Anodized Finish NOT permitted		
			Coat	Color: AAMA 3905: Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranar) Notes: Clear or Color Anodized Finish NOT permitted		
08 42 29 (08420)	Automatic Entrance Doors		Stanley Access Technologies, LLC Sure-Glide Series 2000		Control Color: AAMA 3905: Custom Color to match Aluminum Window Color, as approved by Marriott Representative (Polyester Similar to Endurocon 4) Notes: Clear or Color Anodized Finish NOT permitted Paint: AAMA 3905: Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranar) Notes: Clear or Color Anodized Finish NOT permitted	
			Control Color	Color: AAMA 3905: Custom Color to match Aluminum Window Color, as approved by Marriott Representative (Polyester Similar to Endurocon 4) Notes: Clear or Color Anodized Finish NOT permitted		
			Liquid Polyurethane	Color: AAMA 3905: Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranar) Notes: Clear or Color Anodized Finish NOT permitted		
			Coat	Color: AAMA 3905: Custom Color to match Aluminum Window Color, as approved by Marriott Representative (PVDF Similar to Duranar) Notes: Clear or Color Anodized Finish NOT permitted		
08 51 13 (08513)	Aluminum Windows		TRACO TR600 (KAWNEER)		Control color: AAMA 3905: To Match Manufacturer's Standard Color that matches Clear Anodized, as approved by Marriott Representative (Polyester Similar to Endurocon 4) Notes: Clear or Color Anodized Finish NOT permitted Color: AAMA 3905: To Match Manufacturer's Standard Color that matches Clear Anodized, as approved by Marriott Representative (PVDF Similar to Duranar) Notes: Clear or Color Anodized Finish NOT permitted	16021.1
			Color	Color: Clear		
09 80 00 (09800)	Glass Color		Plate Coaters		Color: White	
09 84 23 (09842)	Linear Metal Ceiling		Pipe Bulbade		Color: Ectly Yellow	
09 86 00 (09860)	Special Coatings		Exterior Steel Rebar (Stair & Ramp)		Color: White	
09 86 00 (09860)	Exterior Louvers & Grilles		PTAC		Color: MATCH Window Frames	
			Non-Finishings around PTAC Louvers		Color: Match Window Frames	
			All Other Louvers & Grilles		Color: Match Window Frames	
			Non-Finishings around Louvers & Grilles		Color: Match adjacent surface as approved by Owner's Representative	
32 13 13 (32131)	Impregiated Concrete		SC1	Outdoor Pool Deck and Patio	Texture: Classic Texture Color: To match lobby tile as approved by Marriott	
			SC2	Accented Paving in Pore Coache	Texture: Classic Texture, Antiqued Shading Color: To match color of lobby tile, as approved by Owner's Representative	
03 35 36 (03353)	Exterior Concrete Pool Deck and Patio		SC1	Outdoor Pool Deck and Patio	Texture: Classic Texture Color: Stone White (Paint) & Peacor Gray (Accent)	
32 31 29 (32312)	Wood Fences & Gates		Wood Trash Enclosure		Color: Natural Cedar Finish	



2 REAR EXTERIOR 3D VIEW 3/32" = 1'-0"

**LEGEND**

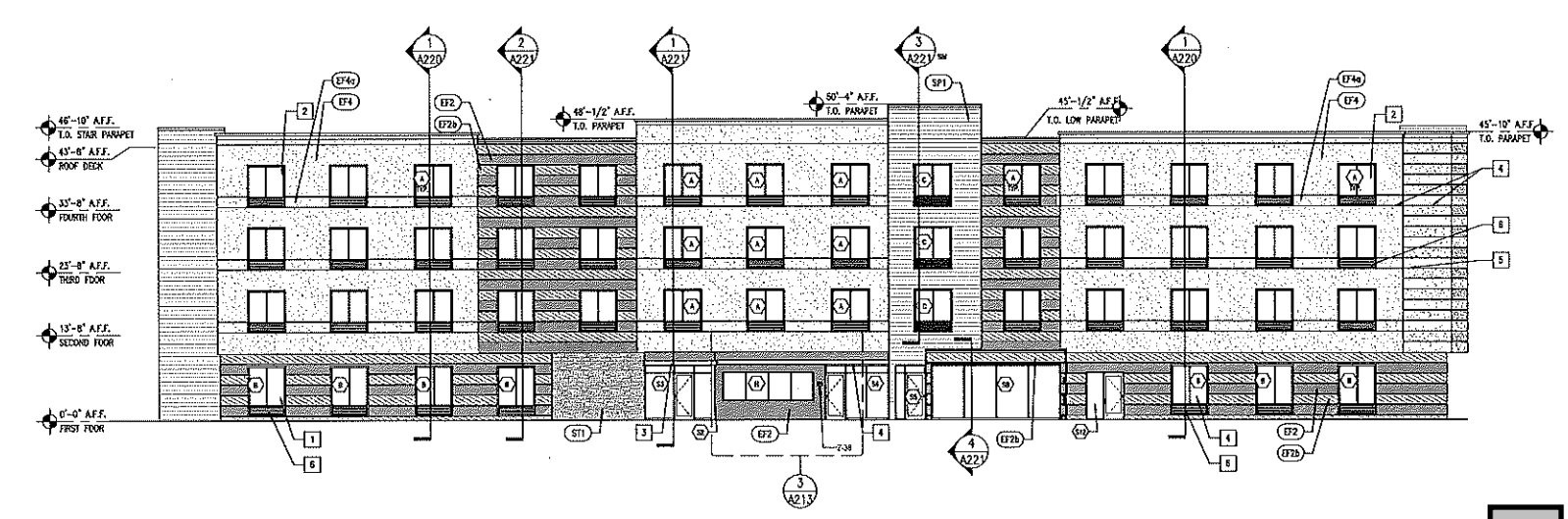
- WINDOW TAG
- FINISH TAG
- KEY NOTE

**GENERAL NOTES**

1. C.G. TO CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSITION AT OUTSIDE CORNER.

**KEY NOTES**

1. TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
2. TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
3. LOWERED SUNSHADE, WAFFS CANTILEVERED LAMPHADE
4. ALIGN AND COORDINATE REVEALS ALONG FACADE OF BUILDING. SEE ENLARGED DETAIL & FOR DIMENSIONS
5. CONTINUE REVEALS ALONG EXTENDED EDGE OF BUILDING
6. PTAC OVERS INTEGRAL WITH WINDOW FRAME FINISH TO MATCH WINDOW FRAME



**EXTERIOR FINISH KEY**

- E71 PEARLESCENT ACCENT EIFS FINISH
- E72 DARK EIFS FINISH COLOR
- E73 ACCENT EIFS COLOR
- E74 DARK EIFS FINISH COLOR - TEXTURED
- E75 STAR TOWER EIFS COLOR
- E76 MAIN BUILDING EIFS COLOR
- E77 ACCENT EIFS COLOR
- E78 CULTURED STONE
- E79 COPING
- E80 EXTERIOR ACCENT FINISH AT RAINSCREEN - GLASS FINISHERS BOARD/SOUS - CEMENT BOARD/SOUS (OPTION)
- E81 PAINT COLOR - ALUM ROOF SHADE CANOPY & OTHER METAL COPINGS, FASCIAS, ETC
- PT1

**INTERPLAN**

ARCHITECTURE  
 ENGINEERING  
 INTERIOR DESIGN  
 PROJECT MANAGEMENT

AA 003420  
 CA 8560

604 COUNTRAND STREET  
 SUITE 100  
 OLAHADO, FLORIDA 32804  
 PH 407.645.5008  
 FX 407.629.9124

SEAL:  
 INTERPLAN ARCHITECTURE & ENGINEERING  
 500 W. PALM BLVD. SUITE 100  
 OLAHADO, FLORIDA 32804

NO DATE PER: JWS  
 REVISIONS

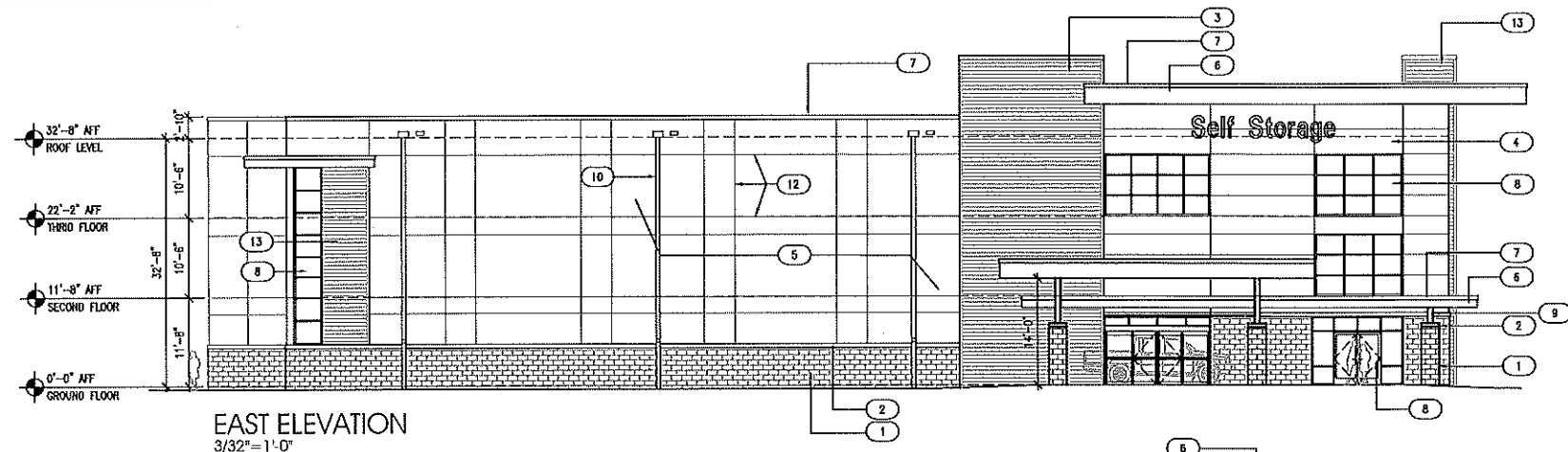
**FAIRFIELD INN & SUITES®**  
**Marriott.**

SR 416 & McVie Ave  
 Apopka, FL

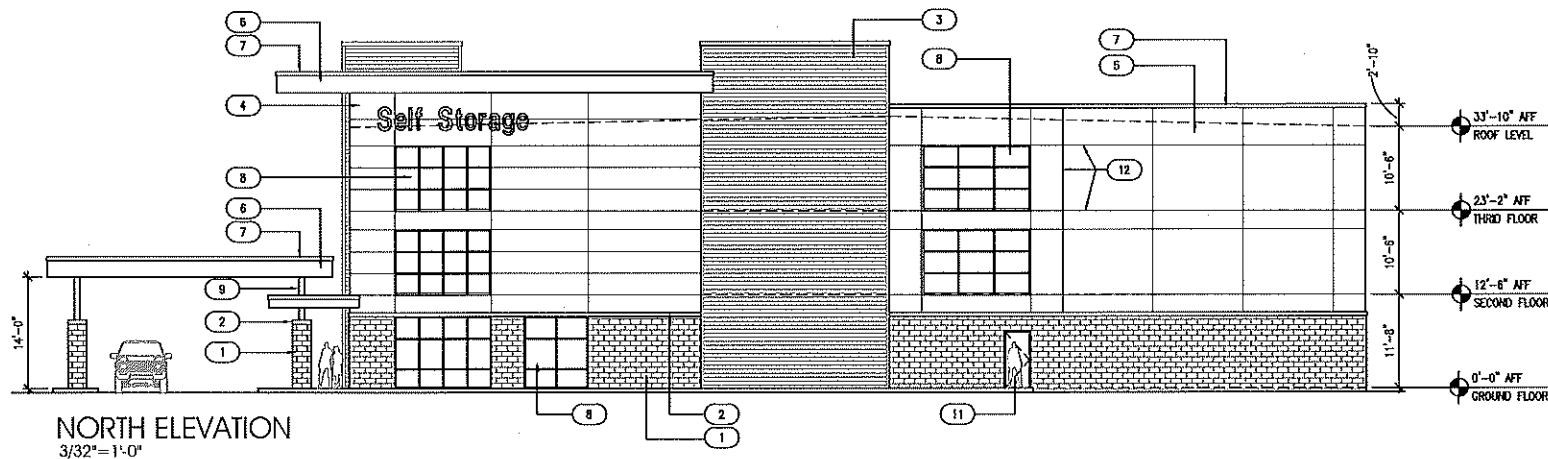
PROJECT NO: 2017.0023  
 DATE: 07/10/2017

**A212**  
 EXTERIOR ELEVATIONS

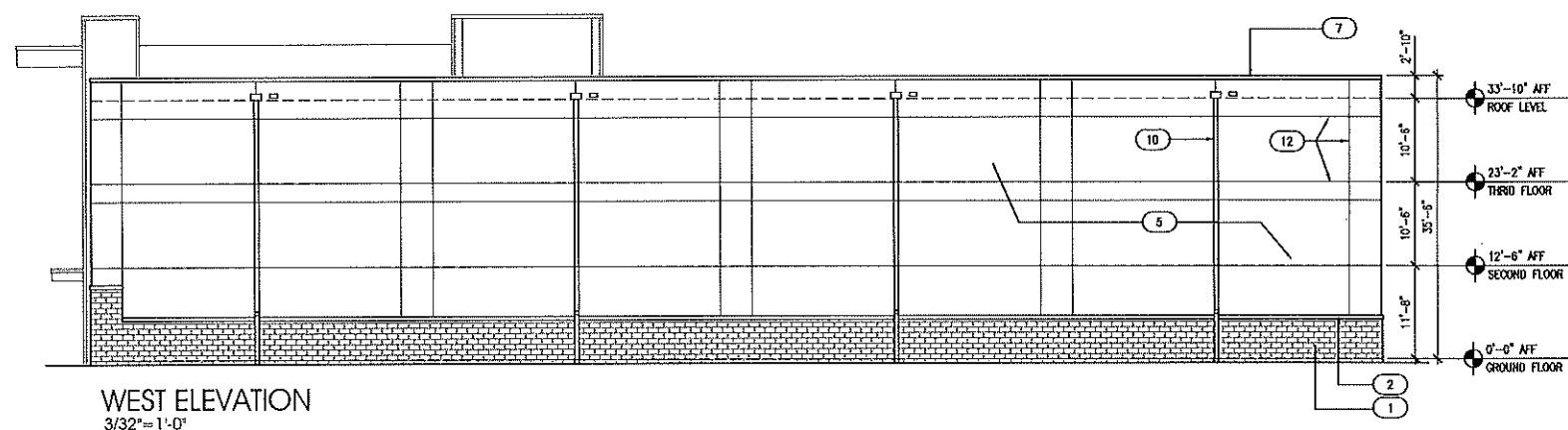
CHECKED: JANI DOWNEY, HS



**EAST ELEVATION**  
3/32" = 1'-0"



**NORTH ELEVATION**  
3/32" = 1'-0"

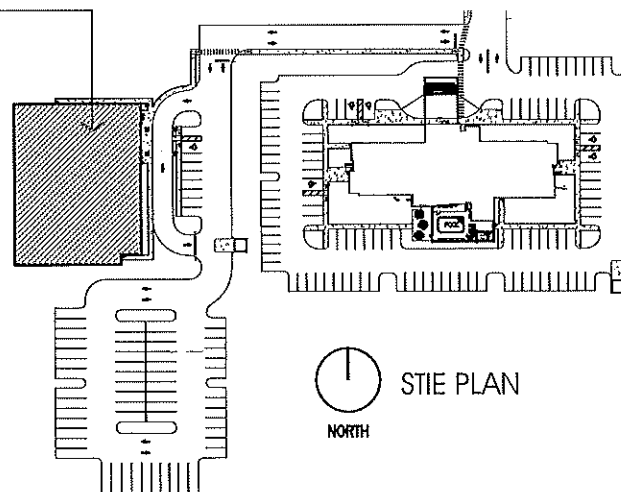


**WEST ELEVATION**  
3/32" = 1'-0"

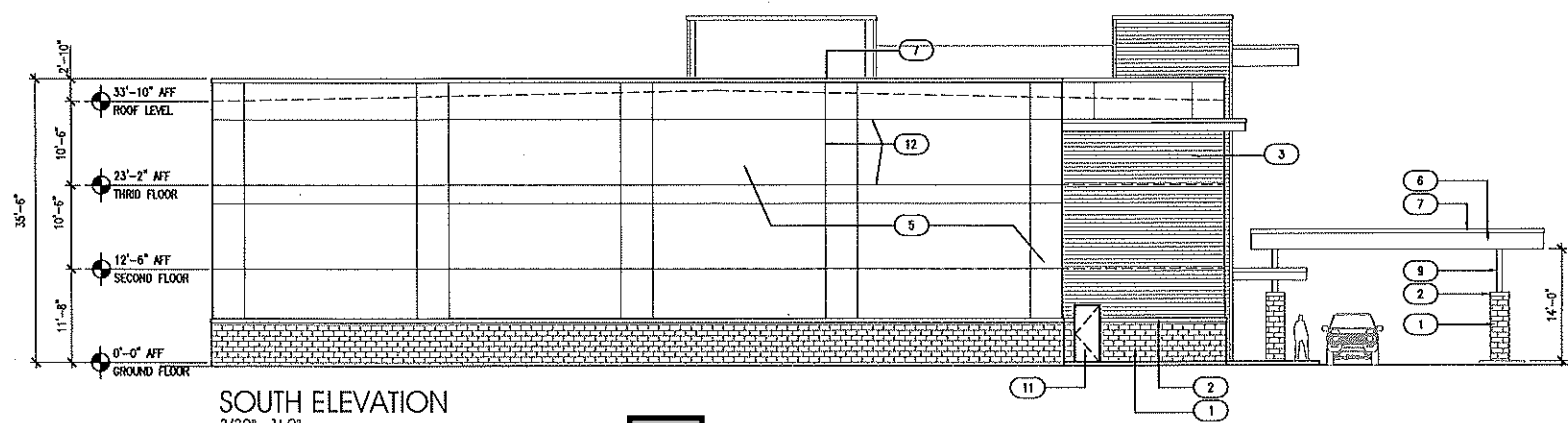
FINISH MATERIAL SCHEDULE (X)			
KEY	MATERIAL	FINISH/COLORS	COMMENTS
1	CONCRETE BLOCK WITH PAINT FINISH	SHERWIN WILLIAMS: BLACK FOX 7020	BLACKISH
2	EIPS BAND	SHERWIN WILLIAMS: EIDER WHITE 7014	OFF-WHITE
3	METAL SIDING	SHERWIN WILLIAMS: FLYWAY 6794	BLUE
4	EIPS WALL FINISH	SHERWIN WILLIAMS: ESSENTIAL GRAY 6002	GRAY
5	EIPS WALL FINISH	SHERWIN WILLIAMS: EIDER WHITE 7014	OFF-WHITE
6	EIPS ACCENT BANDING AND CANOPY FINISH	SHERWIN WILLIAMS: DARK ROOM 7003	BLACK
7	METAL COPING	SHERWIN WILLIAMS: GAUNTLET GRAY 7019	GRAY
8	ALUMINUM STOREFRONT	DARK BRONZE	DARK BRONZE
9	STEEL COLUMN	DARK BRONZE	GRAY
10	METAL DOWN SPOUTS	SHERWIN WILLIAMS: GAUNTLET GRAY 7019	GRAY
11	HOLLOW METAL EDRESS DOOR	SHERWIN WILLIAMS: EIDER WHITE 7014	OFF-WHITE
12	EIPS SCORE LINE	NA	NA

1 4-23-18 PLANNING COMMENTS  
NO DATE  
REVISIONS

**SELF STORAGE BUILDING**  
THREE STORIES  
20,244 SF PER FLOOR  
60,732 GSF



**SITE PLAN**  
NORTH

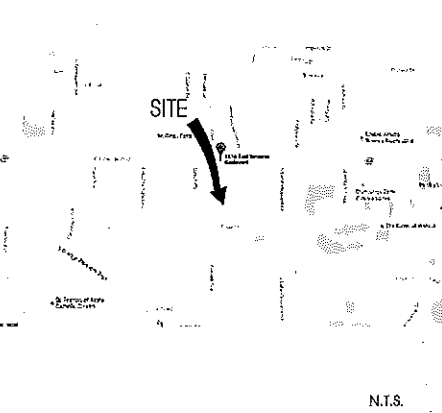


**SOUTH ELEVATION**  
3/32" = 1'-0"

SEAL:

# SPECIAL EXCEPTION FOR 55' HEIGHT REQUEST FOR FARISH ENTERPRISES 1616 EAST SEMORAN BOULEVARD APOPKA, FLORIDA

**VICINITY MAP**



**LEGAL DESCRIPTION**

LOT 3, MCVILLA COMMERCE PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 76, PAGE 127 AND 128, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

**REVISION ISSUE LOG**

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	REMARKS	BY
1	12-5-16	CITY COMMENTS	ALL		CDB

**SHEET INDEX**

SHEET NO.	DESCRIPTION
SP-CS	COVER SHEET
CIVIL DRAWINGS	
SP-EX	SPECIAL EXCEPTION SITE PLAN
EX1	BUILDING ELEVATIONS
EX2	BUILDING ELEVATIONS
SURVEY	

**LOCATION MAP**



**OWNER & CONSULTANTS**

**OWNER**  
FARISH ENTERPRISES LLC  
4698 S ORANGE BLOSSOM TRL  
ORLANDO, FL 32839  
CONTACT: AMIN GULAMALI  
PH: 321-231-4588

**ARCHITECT**  
INTERPLAN LLC  
604 COURTLAND ST, SUITE 100  
ORLANDO, FL 32804  
CONTACT: GREG NEUBLOCK

**CIVIL ENGINEER**  
INTERPLAN LLC  
604 COURTLAND ST, SUITE 100  
ORLANDO, FL 32804  
CONTACT: CHRIS BURTON

**SURVEY**  
V&S SURVEYING, INC  
2412 ORSOFFA CIRCLE  
DODEE, FLORIDA 34761

NO	DATE	CITY COMMENTS	REMARKS

**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 11-30-16

**SP-CS**  
COVER SHEET

CHECKED: CDB DRAWN: FM

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**SPECIAL EXCEPTION PLAN**  
FOR HEIGHT REQUEST

**GENERAL NOTES**

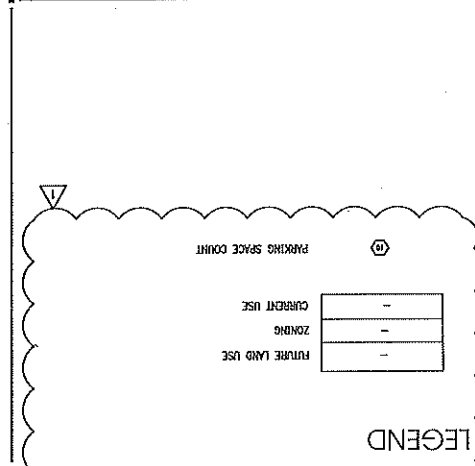
1. ALL DIMENSIONS AND IMPROVEMENTS SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND ORDINANCES OF THE CITY OF APOPKA AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
2. SITE LOCATION: 1818 EAST SEMORAN BOULEVARD, APOPKA, FLORIDA SEPTEMBER 25, 2009
3. THIS SITE LIES IN FLOOD ZONE X, F.I.M.A. PANEL 120931408, DATED SEPTEMBER 25, 2009
4. BOUNDARY TOPOGRAPHY AND TREE SURVEY BY VAS SURVEYING, INC., 2412 Oriole Circle, Ocoee, Florida 34761.
5. LEGAL DESCRIPTION SHOWN HEREIN IS FURNISHED BY SURVEYOR AND IS INCLUDED FOR REFERENCE AND APPROVAL PURPOSES, AND AS A CORRECTIVE FOR THE CONTRACTOR. HEREMAN LLC ASSUMES NO LIABILITY FOR ITS ACCURACY OR COMPLETENESS.

**SPECIAL EXCEPTION NOTES**

35 FOOT ZONING HEIGHT RESTRICTION.  
 USE: PROPOSED USE WILL BE SHORT TERM (LESS THAN 30 DAYS) HOTEL GUEST HOUSING.  
 ILLUMINATION: INTERIOR ILLUMINATION SHALL BE TYPICAL LOW INTENSITY HOTEL ROOM AND CORRIDOR LIGHTING AND WINDOWS SHALL BE EQUIPPED WITH SHIMMER/BLINDS. EXTERIOR LIGHTING SHALL NOT BE INSTALLED MORE THAN 25 FEET ABOVE GRADE ON FACIES THAT FACE RESIDENTIAL PROPERTY.  
 NOISE AND EQUIPMENT: ROOMS SHALL BE SOUNDPROOFED TO ELIMINATE ANY IMPACT TO ADJACENT PROPERTIES AND THERE WILL BE NO EXTERIOR BALCONIES.  
 ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM VIEW AND HEARING.  
 SHADOWS: DURING THE WINTER SOLSTICE, THE PROPOSED BUILDING WILL THROW SHADOWS APPROXIMATELY 65 FEET FROM ITS BASE (ON THE NORTH SIDE). THEREFORE, THERE WILL BE NO IMPACT ON ADJACENT PROPERTIES AS THE BUILDING IS LOCATED A MINIMUM OF 95'± FROM THE NEAREST PROPERTY LINE.  
 PRESERVATION OF OPEN SPACE: A 2-STORY, 35 FOOT HEIGHT HOTEL WITH THE SAME NUMBER OF ROOMS WOULD REQUIRE ROUGHLY TWICE THE DEVELOPABLE AREA (1/3 OF AN ACRE ±) AND PER CODE COULD BE LOCATED WITHIN 30 FEET OF RESIDENTIAL PROPERTY LINES, THE ADDITIONAL TWO STORIES ALLOW FOR A GENEROUS BUFFERED BUFFER FROM ADJACENT RESIDENTIAL PROPERTIES AND A LOWER IMPROVISED SURFACE RATIO.

**LEGEND**

○	PARKING SPACE COUNT
□	CURRENT USE
□	FUTURE LAND USE



○	COMMERCIAL
○	C-2
○	VACANT

○	RESIDENTIAL
○	R-2
○	LDR

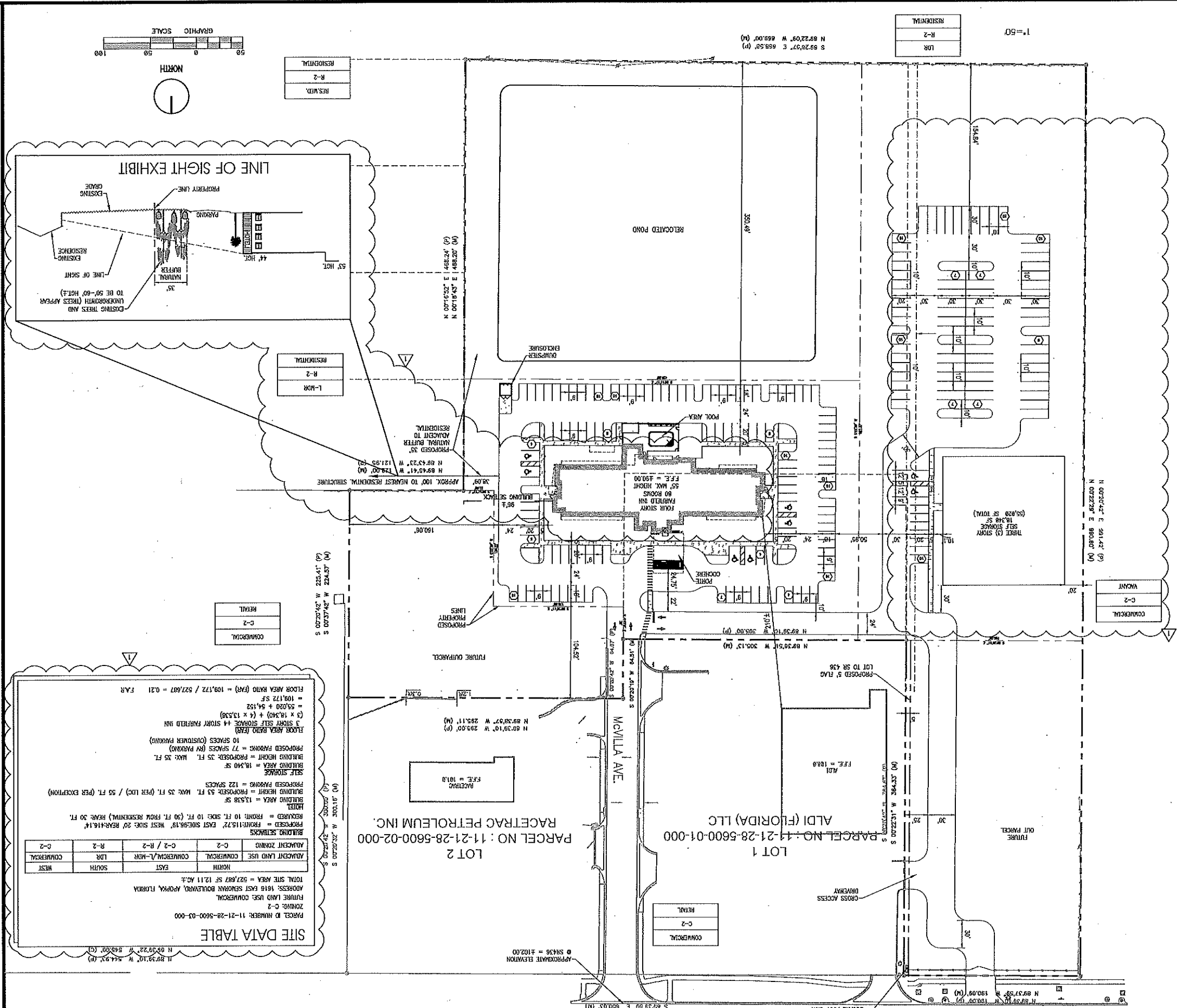
1"=50'

○	RESIDENTIAL
○	R-2
○	LDR

S 89°28'37" E 658.50' (P)  
N 89°28'09" W 659.00' (M)

**STATE ROAD 436 (200.0' R/W)**  
**(SEMORAN BOULEVARD)**

37



**SITE DATA TABLE**

PARCEL ID NUMBER: 11-21-28-5600-01-000  
 ZONING: C-2  
 ADDRESS: 1818 EAST SEMORAN BOULEVARD, APOPKA, FLORIDA  
 TOTAL SITE AREA = 527,887 SF 12.11 AC.±

ADJACENT LAND USE	COMMERCIAL	COMMERCIAL/LDR	R-2	C-2
NORTH				
EAST				
SOUTH				
WEST				

REQUIRED = FRONT: 10 FT. SIDE: 10 FT. (30 FT. FROM RESIDENTIAL) REAR: 30 FT.  
 PROPOSED = FRONT: 11.72' EAST SIDE: 20' REAR: 116.11'  
 BUILDING SETBACKS

HOTEL  
 BUILDING AREA = 12,528 SF  
 BUILDING HEIGHT = PROPOSED: 53 FT. MAX: 35 FT. (PER EXCEPTION)  
 PROPOSED PARKING = 122 SPACES  
 SETBACK STORAGE

3 STORY SELF STORAGE 44 STORY FARMFIELD INN  
 FLOOR AREA RATIO (FAR) = 18,340 SF  
 BUILDING HEIGHT = PROPOSED: 35 FT. MAX: 35 FT.  
 PROPOSED PARKING = 77 SPACES (RV PARKING)  
 PROPOSED STORAGE = 10 SPACES (CUSTOMER PARKING)

FLOOR AREA RATIO (FAR) = 109.172 / 527,887 = 0.21 FAR  
 FLOOR AREA RATIO (FAR) = 109.172 / 527,887 = 0.21 FAR

**INTERPLANS**  
 ARCHITECTURE  
 ENGINEERING  
 INTERIOR DESIGN  
 PROJECT MANAGEMENT  
 604 COURTLAND STREET  
 SUITE 100  
 ORLANDO, FLORIDA 32804  
 PH 407.645.5508  
 FX 407.629.9124

MA 003420  
 CA 8660

SEAL:

PROJECT NO: 2016.0341  
 APOPKA  
 FLORIDA  
 DATE: 11-11-16

**SP-EX**  
 SPECIAL EXCEPTION  
 FOR HEIGHT REQUEST  
 CHECKED: CDB DRAWN: HVA

REVISIONS  
 NO DATE REVISIONS  
 1 12-5-16 CITY COMMENTS

SEAL:

**REFERENCE NOTES**

- A. REFER TO DESIGN STANDARDS "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PRODUCTS IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.
- B. REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS, AND ALSO FOR TYPICAL FINISHES FOR EXTERIOR ELEMENTS SUCH AS TYPICAL DOOR COLOR, DOOR FINISH, PORTE COCHERE AND CANOPY STRUCTURE FINISHES, ETC.
- C. REFER TO THE SIGNAGE MANUAL - EXTERIOR GRAPHICS PACKAGE FOR REQUIREMENTS RELATED TO SIGNAGE SHOWN ON THIS SHEET.

**GENERAL NOTES**

1. BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED ON STRUCTURAL SYSTEM.
2. PROVIDE CONTRACTOR WITH COLOR PRINTS OF ELEVATIONS FOR ADDITIONAL CLARITY.
3. CONTINUE FINISH TO INSIDE CORNER VERSUS FINISH TRANSFERRING AT OUTSIDE CORNER.
4. ALL DOWNSPUTS MUST HAVE CLEANOUTS.

**CRITERIA NOTES**

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

**ARCHITECTURE**

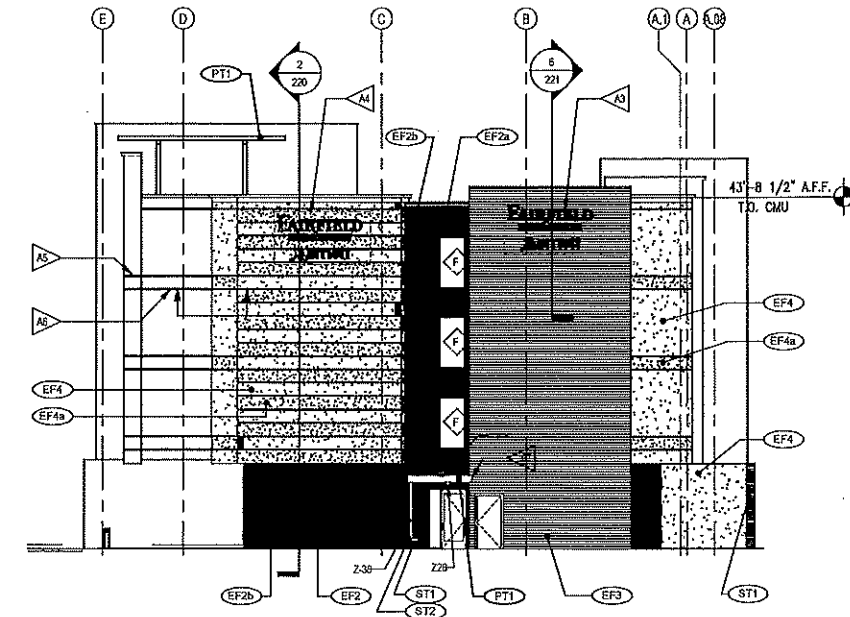
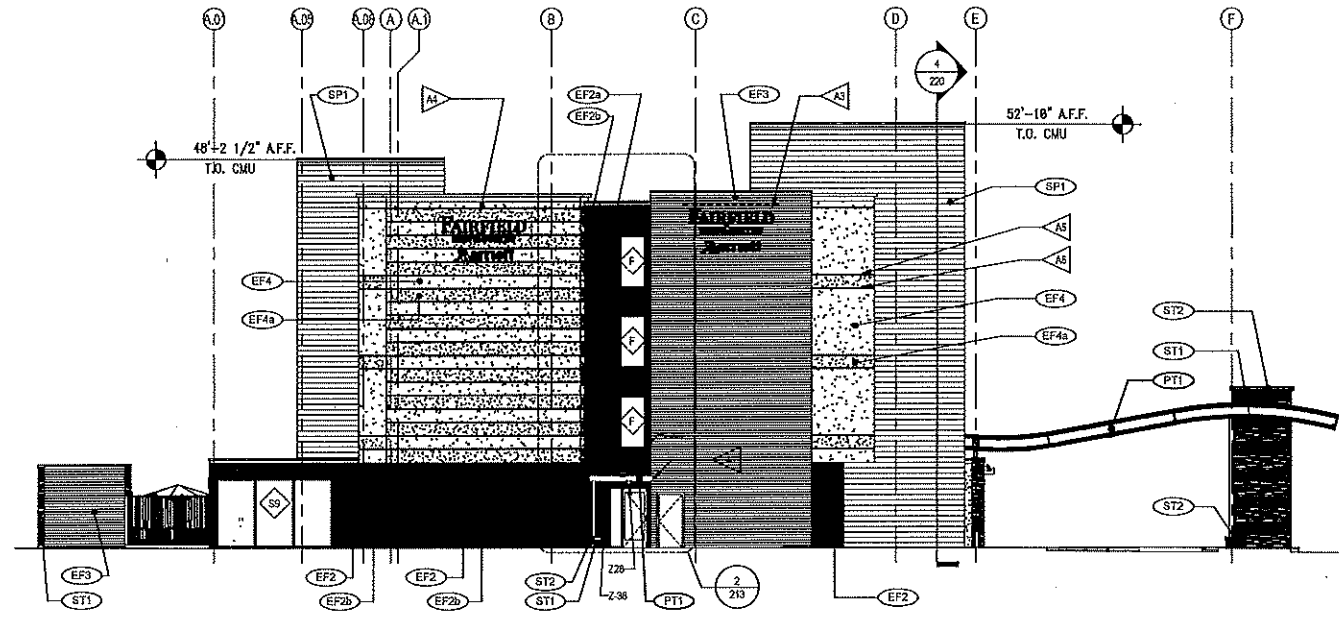
- TYPICAL GUESTROOM WINDOW @ GROUND FLOOR
- TYPICAL GUESTROOM WINDOW FOR UPPER FLOOR
- OPT 1 - PREFERRED LOCATION FOR OPTIONAL CHANNEL LETTER SIGNAGE ON SIDES OR ENDS OF BUILDING. LOCATE AND APPROXIMATE BASED ON BUILDING ORIENTATION. VERIFY PARAPET HEIGHT OR WALL CONSTRUCTION IN THE AREA DOES TO BE INSTALLED WILL ALLOW FOR REAR ACCESS REQUIRED FOR CHANNEL LETTER INSTALLATION AND OPERATION.
- OPT 2 - SECONDARY LOCATION FOR OPTIONAL SIGNAGE ON SIDES OR ENDS OF BUILDING. LOCATE AS APPROPRIATE AND SEE NOTE A3 ABOVE FOR FULL REQUIREMENTS FOR CHANNEL LETTER INSTALLATION.
- ALIGN AND COORDINATE REVEALS IN CORNER FACADE OF BUILDING. SEE ENLARGED DETAILS FOR DIMENSIONS.
- CONTINUE REVEALS ALONG EXTENDED EDGE OF BUILDING.
- SIDE ENTRY CANOPY. SEE ENLARGED ELEVATIONS FOR DETAILS.
- ROOF SHADE CANOPY. SEE SHEET 200 FOR DETAILS.
- WINDOW TO BE "FROSTED" TO CREATED VISUAL SCREEN TO LAUNDRY ROOM.
- CHANNEL LETTER SIGNAGE AT FRONT OF BUILDING. SEE SIGNAGE MANUAL - EXTERIOR SIGNAGE PACKAGE FOR REQUIREMENTS.

**ENGINEERING**

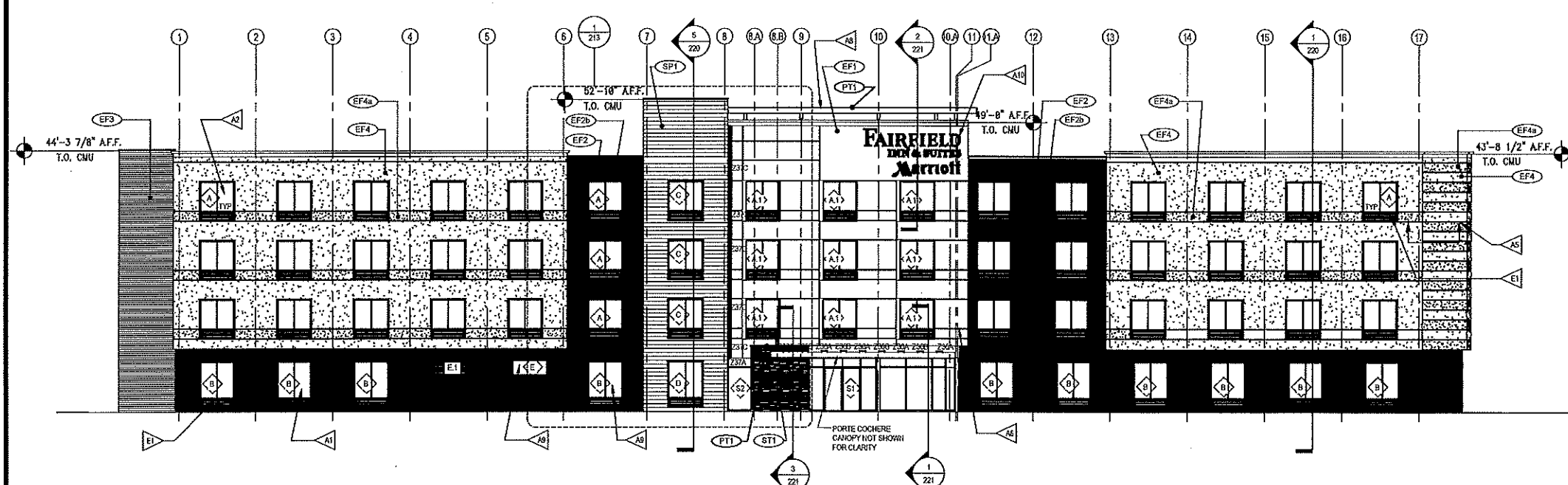
- PIA LUMEN INTEGRAL WITH WINDOW FRAME. FINISH TO MATCH WINDOW FRAME.

**EXTERIOR FINISH KEY**

- PEARLESCENT ACCENT EPS FINISH
- DARK EPS FINISH COLOR
- ACCENT EPS COLOR
- DARK EPS FINISH COLOR - TEXTURED
- STAIR TOWER EPS COLOR
- MAIN BUILDING EPS COLOR
- ACCENT EPS COLOR
- CULTURED STONE
- COPING
- EXTERIOR ACCENT FINISH AT PARASCREEN - SOLID HIGH GLOSS BOLD STONE - CEMENT BOARD BOARD JOINT FINISH
- PAINT COLOR - ALUM. ROOF SHADE CANOPY & OTHER METAL COPINGS, FASCIA, ETC.



NOTE: ALL ROOF MOUNTED EQUIPMENT SHALL BE SCREENED.



1 FRONT ELEVATION  
SCALE 1/8\"/>

NO	DATE	CITY COMMENTS	REMARKS
1	12-5-18		

**FARISH ENTERPRISES**  
1616 EAST SEMORAN BOULEVARD  
APOPKA  
FLORIDA

PROJECT NO: 2016.0341  
DATE: 10-31-16

**EX1**  
EXTERIOR ELEVATIONS

CHECKED: CDB DRAWN: MRS

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**INTERPLANS**  
ARCHITECTURE  
ENGINEERING  
INTERIOR DESIGN  
PROJECT MANAGEMENT

AA 003420  
CA 86600

604 CORRIAND STREET  
SUIE 100  
ORLANDO, FLORIDA 32804  
PH: 407.429.9124  
FX: 407.429.9124

SEAL:

1. BUILDING EXISTING ARE APPROXIMATE AND NOT VARY  
2. PROVIDE COORDINATION WITH CONCRETE RESULTS OF  
3. CONTRACTOR SHALL TO BE RESPONSIBLE FOR  
4. ALL DIMENSIONS MUST HAVE DIMENSIONS

**REFERENCE NOTES**

A. REFER TO EXISTING ARCHITECTURE, INTERIOR DESIGN AND CONSTRUCTION DOCUMENTS FOR ALL DETAILS AND FINISHES. THIS SHEET IS FOR EXTERIOR ELEVATIONS ONLY. ALL FINISHES AND MATERIALS SHALL BE AS SHOWN ON THE EXTERIOR FINISH KEY AND EXTERIOR ELEVATIONS. ALL FINISHES AND MATERIALS SHALL BE AS SHOWN ON THE EXTERIOR FINISH KEY AND EXTERIOR ELEVATIONS. ALL FINISHES AND MATERIALS SHALL BE AS SHOWN ON THE EXTERIOR FINISH KEY AND EXTERIOR ELEVATIONS.

B. REFER TO EXISTING ARCHITECTURE, INTERIOR DESIGN AND CONSTRUCTION DOCUMENTS FOR ALL DETAILS AND FINISHES. THIS SHEET IS FOR EXTERIOR ELEVATIONS ONLY. ALL FINISHES AND MATERIALS SHALL BE AS SHOWN ON THE EXTERIOR FINISH KEY AND EXTERIOR ELEVATIONS. ALL FINISHES AND MATERIALS SHALL BE AS SHOWN ON THE EXTERIOR FINISH KEY AND EXTERIOR ELEVATIONS.

C. REFER TO THE EXTERIOR FINISH KEY AND EXTERIOR ELEVATIONS FOR ALL FINISHES AND MATERIALS. ALL FINISHES AND MATERIALS SHALL BE AS SHOWN ON THE EXTERIOR FINISH KEY AND EXTERIOR ELEVATIONS. ALL FINISHES AND MATERIALS SHALL BE AS SHOWN ON THE EXTERIOR FINISH KEY AND EXTERIOR ELEVATIONS.

**GENERAL NOTES**

1. BUILDING EXISTING ARE APPROXIMATE AND NOT VARY  
2. PROVIDE COORDINATION WITH CONCRETE RESULTS OF  
3. CONTRACTOR SHALL TO BE RESPONSIBLE FOR  
4. ALL DIMENSIONS MUST HAVE DIMENSIONS

**CRITERIA NOTES**

1. BUILDING EXISTING ARE APPROXIMATE AND NOT VARY  
2. PROVIDE COORDINATION WITH CONCRETE RESULTS OF  
3. CONTRACTOR SHALL TO BE RESPONSIBLE FOR  
4. ALL DIMENSIONS MUST HAVE DIMENSIONS

**REVISIONS**

1. 12-5-16 CITY COMMENTS  
NO DATE REVISIONS

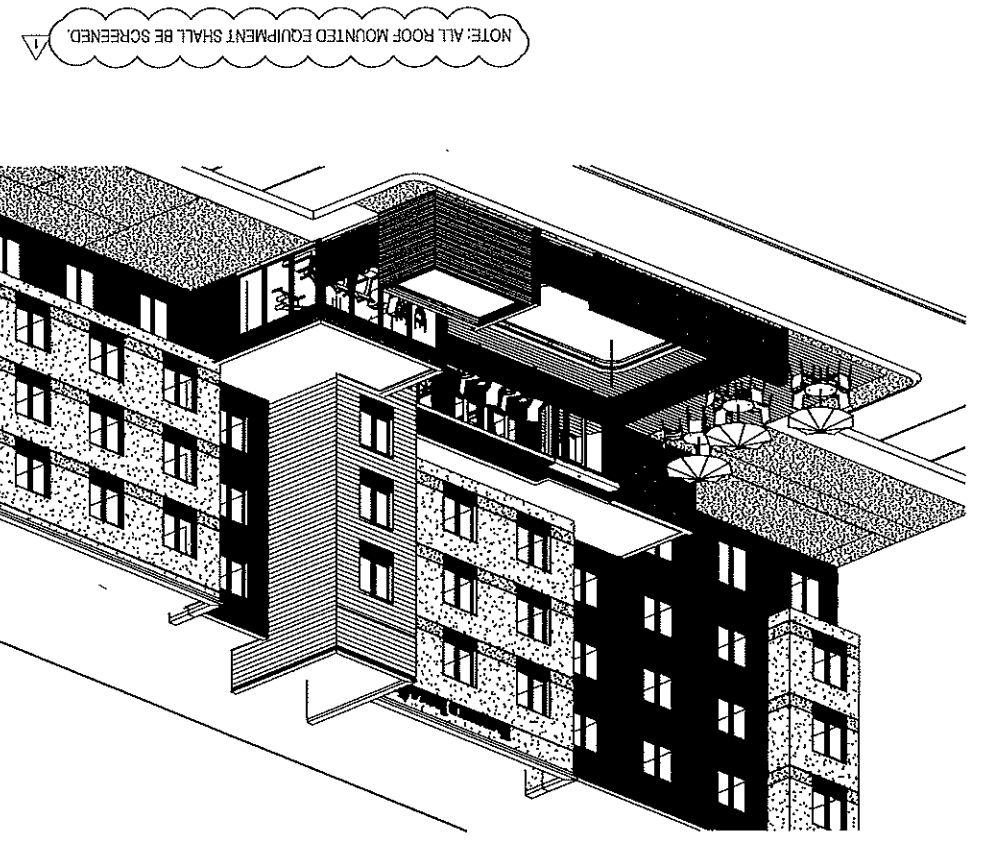
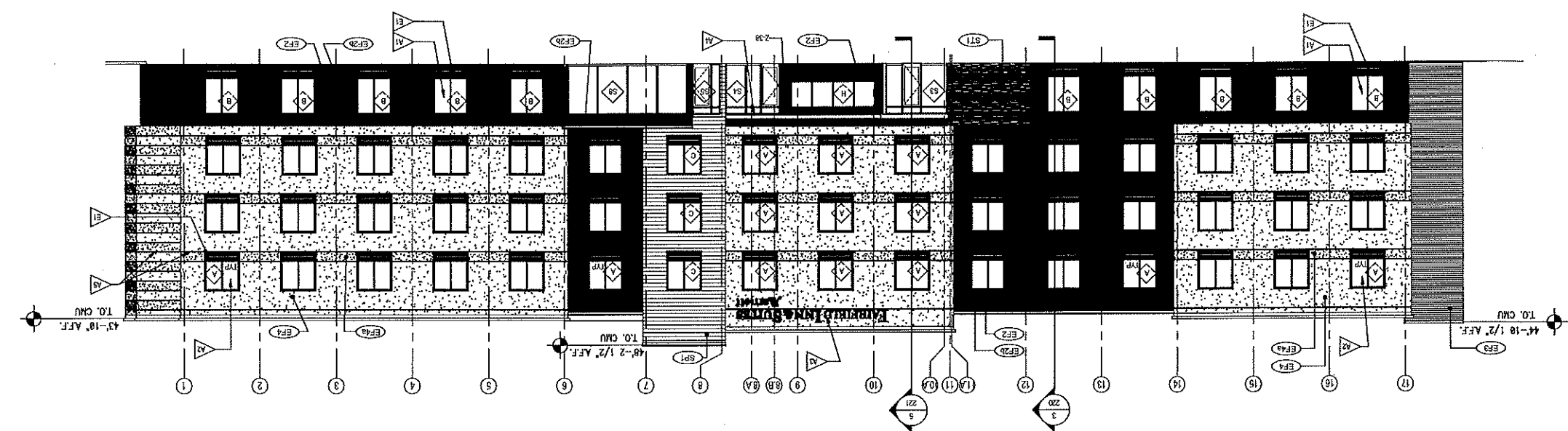
PROJECT NO. 2016.0041  
DATE: 10-31-16  
1616 EAST SEMORAN BOULEVARD  
APORVA  
FLORIDA

**EX2**  
EXTERIOR ELEVATIONS

CHECKED: CDB DRAWING: MMS

**EXTERIOR FINISH KEY**

EF1	PAVING
EF2	CONCRETE
EF3	BRICK
EF4	CLAY TILE
EF5	GLAZED ALUMINUM
EF6	GLAZED STEEL
EF7	GLAZED COPPER
EF8	GLAZED BRASS
EF9	GLAZED STAINLESS STEEL
EF10	GLAZED ALUMINUM
EF11	GLAZED STEEL
EF12	GLAZED COPPER
EF13	GLAZED BRASS
EF14	GLAZED STAINLESS STEEL
EF15	GLAZED ALUMINUM
EF16	GLAZED STEEL
EF17	GLAZED COPPER
EF18	GLAZED BRASS
EF19	GLAZED STAINLESS STEEL
EF20	GLAZED ALUMINUM
EF21	GLAZED STEEL
EF22	GLAZED COPPER
EF23	GLAZED BRASS
EF24	GLAZED STAINLESS STEEL
EF25	GLAZED ALUMINUM
EF26	GLAZED STEEL
EF27	GLAZED COPPER
EF28	GLAZED BRASS
EF29	GLAZED STAINLESS STEEL
EF30	GLAZED ALUMINUM
EF31	GLAZED STEEL
EF32	GLAZED COPPER
EF33	GLAZED BRASS
EF34	GLAZED STAINLESS STEEL
EF35	GLAZED ALUMINUM
EF36	GLAZED STEEL
EF37	GLAZED COPPER
EF38	GLAZED BRASS
EF39	GLAZED STAINLESS STEEL
EF40	GLAZED ALUMINUM
EF41	GLAZED STEEL
EF42	GLAZED COPPER
EF43	GLAZED BRASS
EF44	GLAZED STAINLESS STEEL
EF45	GLAZED ALUMINUM
EF46	GLAZED STEEL
EF47	GLAZED COPPER
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EF50	GLAZED ALUMINUM
EF51	GLAZED STEEL
EF52	GLAZED COPPER
EF53	GLAZED BRASS
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EF55	GLAZED ALUMINUM
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EF92	GLAZED COPPER
EF93	GLAZED BRASS
EF94	GLAZED STAINLESS STEEL
EF95	GLAZED ALUMINUM
EF96	GLAZED STEEL
EF97	GLAZED COPPER
EF98	GLAZED BRASS
EF99	GLAZED STAINLESS STEEL
EF100	GLAZED ALUMINUM





# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Final Development Plan/Plat

MEETING OF: February 6, 2019  
 FROM: Community Development  
 EXHIBITS: Vicinity Map  
 Aerial Map  
 Final Development Plan  
 Plat

**SUBJECT: VISTA RESERVE – AMENDMENT TO FINAL DEVELOPMENT PLAN AND PLAT**

**REQUEST: APPROVAL OF THE AMENDMENT TO THE VISTA RESERVE FINAL DEVELOPMENT PLAN AND PLAT**

**SUMMARY:**

OWNER: Pulte Home Company, LLC  
 APPLICANT: Pulte Home Corporation  
 LOCATION: East side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road  
 PARCEL ID NUMBER: 29-20-28-0000-00-003  
 EXISTING USE: Vacant  
 FLUM DESIGNATION: Low Density Suburban Residential  
 CURRENT ZONING: PUD (Planned Unit Development)  
 PROPOSED DEVELOPMENT: 153 single family homes; developed in two phases  
 TRACT SIZE: 61.1 +/- acres

**FUNDING SOURCE: N/A**

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Low Density Suburban Residential (0-3.5 du/ac)	R-1AA	Vacant, Lake Merrill
East (City)	Low Density Suburban Residential (0-3.5 du/ac)	PUD	Oak Hill Reserve subdivision
South (City)	Low Density Suburban Residential (0-3.5 du/ac)	R-1AA, R-1	Carriage Hills subdivision (under construction), Vacant property
West (City)	Low Density Suburban Residential (0-3.5 du/ac)	R-1AA	Wekiva Run subdivision

Project Use: On October 3, 2018, the City Council approved a Final Development Plan and Plat for the Vista Reserve subdivision, which is located on the east side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road. The approved Vista Reserve Final Development Plan and Plat detailed the development of 153 single family residential lots in one phase. Following City Council approval, the applicant submitted a revised Final Development Plan and Plat proposing construction of the subdivision in two phases. The amended Final Development Plan and Plat are consistent with the Final Development Plan and Plat that were approved by the City Council on October 3, 2018 with the exception that the subdivision will be divided into two phases. Phase 1 will consist of 52 units, and Phase 2 will consist of 101 units. Each phase has been designed to function on its own. Consistent with the approved PUD Master Plan/Preliminary Development Plan, lot widths of 65-feet and 90-feet are provided. The minimum living area is proposed at 2,190 square feet.

Access: Ingress/egress access points for the development are located via Rogers Road. Rogers Road will terminate at the main entrance of the development. The developer will be dedicating a 0.68 acre portion of right-of-way along Rogers Road to the City. The subdivision will consist of public roads and infrastructure that is owned and maintained by the City. Vehicular and pedestrian connections are provided to the property to the north and to the Carriage Hills subdivision located to the south.

Stormwater: Two tracts located on the northwestern and northeastern corners of the site are reserved for stormwater retention. The stormwater retention areas will be owned and maintained by the homeowners association.

Recreation: Consistent with the approved PUD Master Plan/Preliminary Development Plan, a 1.67 acre tract is reserved for the community recreation facility that will be owned and maintained by the homeowners association. Included within the recreation facility is a picnic area, pool, pool cabana building, play structure, open play area, bicycle parking, and a parking area for 8 cars.

Buffer/Tree Program: Consistent with the approved PUD Master Plan/Preliminary Development Plan, a continuous open space tract with is provided around the perimeter of the subdivision to buffer the homes from the surrounding existing subdivisions. Thirty percent of the site, or 18.13 acres of open space is provided, and will be owned and maintained by the homeowners association.

Landscaping and a 6-foot high brick wall is provided along Rogers Road. Trees are located within the open space tract provided around the perimeter of the subdivision.

**SCHOOL CAPACITY REPORT:** The developer has obtained a school concurrency mitigation agreement with Orange County Public Schools to address school impacts generated by this residential development. The schools zoned to receive students from this community are the following: Wolf Lake Elementary School, W Lake Middle School and Apopka High School.

**ORANGE COUNTY NOTIFICATION:** The County was notified at the time of the subdivision plan and plat for this property through the DRC agenda distribution.

**PUBLIC HEARING SCHEDULE:**

January 8, 2019 - Planning Commission, 5:30 pm

February 6, 2019 - City Council, 1:30 pm

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**RECOMMENDATION ACTION:**

The **Development Review Committee** recommends approval of the Vista Reserve Final Development Plan and Plat amendment, subject to final review by the City surveyor and City Engineer prior to recording the plat.

The **Planning Commission** at its January 8, 2019 meeting unanimously recommended approval of the amendment to the Vista Reserve Final Development Plan and Plat, subject to final review by the City surveyor and City Engineer prior to recording the plat.

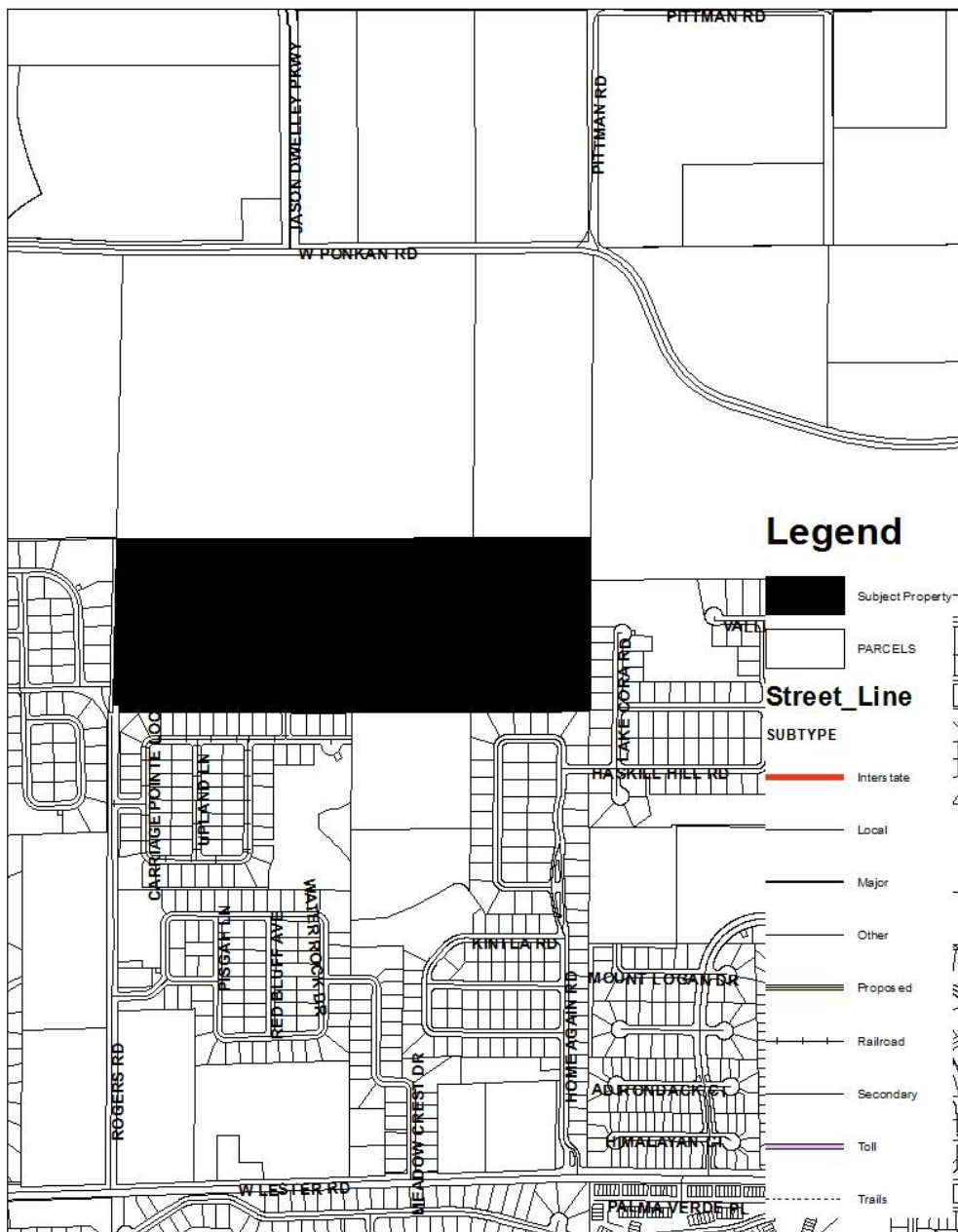
**City Council:** Approve the amendment to the Vista Reserve Final Development Plan and Plat.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**Project:** VISTA RESERVE  
**Owned by:** Pulte Home Company LLC  
**Located:** East side of Rogers Road, approximately one half mile north of the intersection of Rogers Road and Lester Road  
**Parcel ID#s:** 29-20-28-0000-00-003



## VICINITY MAP







# AERIAL MAP



# FINAL DEVELOPMENT PLAN FOR VISTA RESERVE

PARCELS: 29-20-28-0000-00-003

SECTIONS 29 AND 30, TOWNSHIP 20 SOUTH, RANGE 28 EAST

501 OLD DIXIE HIGHWAY

CITY OF APOPKA, FLORIDA

FOR

## THE PULTE GROUP

4901 VINELAND ROAD, SUITE 500

ORLANDO, FLORIDA 32811

PHONE: (407) 661-1514



### MADDEN

MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS

431 E. HORATIO AVENUE, SUITE 260  
MAITLAND, FLORIDA 32751  
PHONE (407) 629-8330  
FAX (407) 629-8336

**PROJECT TEAM MEMBERS:**

**OWNER / DEVELOPER:**

THE PULTE GROUP  
4901 VINELAND RD., SUITE 500  
ORLANDO, FL 32811  
PHONE: (407) 661-1514  
CONTACT: DOUG HOFFMAN

**ENGINEER:**

MADDEN, MOORHEAD & STOKES, INC.  
431 E. HORATIO AVENUE, SUITE 260  
MAITLAND, FL 32751  
PHONE: (407) 629-8330  
CONTACT: CHAD MOORHEAD, PE

**SURVEYOR:**

ALPHI AND COMPANY, INC.  
18 EAST PLANT STREET  
WINTER GARDEN, FL 34787  
PHONE: (407) 664-5355  
CONTACT: JIM BECKMAN, PSM

**ENVIRONMENTAL:**

ECO-TECH CONSULTING, INC.  
3025 S. SOUTH STREET  
ORLANDO, FL 32803  
PHONE: (407) 824-8569  
CONTACT: MORGAN CLARK

**LANDSCAPE ARCHITECT:**

FISHER, CONANT, & ASSOCIATES  
150 WEST ROBINSON STREET  
ORLANDO, FL 32801  
PHONE: (407) 648-2225  
CONTACT: RICK CONANT, RLA

**GEOTECHNICAL:**

NATIVE GEOSOURCE  
33 NORTH MAIN STREET  
ORLANDO, FL 32804  
PHONE: (407) 342-1443  
CONTACT: JOHN C. DIBAL, PG

**UTILITY PROVIDERS:**

**WATER:**

CITY OF APOPKA  
120 E. MAIN STREET  
APOPKA, FL 32704  
PHONE: (407) 203-1731  
CONTACT: JAY DAVOLL, PE

**RECLAIMED WATER:**

CITY OF APOPKA  
120 E. MAIN STREET  
APOPKA, FL 32704  
PHONE: (407) 203-1731  
CONTACT: JAY DAVOLL, PE

**WASTE WATER:**

CITY OF APOPKA  
120 E. MAIN STREET  
APOPKA, FL 32704  
PHONE: (407) 203-1731  
CONTACT: JAY DAVOLL, PE

**SOLID WASTE:**

CITY OF APOPKA  
120 E. MAIN STREET  
APOPKA, FL 32704  
PHONE: (407) 203-1731  
CONTACT: JAY DAVOLL, PE

**PHONE:**

CENTURY LINK  
33 NORTH MAIN STREET  
WINTER GARDEN, FL 34787  
PHONE: (407) 614-5351  
CONTACT: DAVID BYRNES

**POWER:**

DUKE ENERGY  
275 POKAN ROAD  
APOPKA, FL 32712  
PHONE: (407) 838-6680  
CONTACT: BOB RODRIGUEZ

**GAS:**

FLORIDA GAS  
2734 EXT. 104  
HOLMES

NOTE: THIS PROPERTY IS ZONED PUD.  
ALL CONDITIONS OF APPROVAL APPLY.

### INDEX OF SHEETS

SHEET NO.	PLAN ID	ISSUE DATE	REV. NO.	REV. DATE	SHEET NAME
1	COV	06/22/18	--	10/31/18	COVER SHEET
2	1 of 1	06/22/18	--	--	TOPOGRAPHIC SURVEY
3	1 of 2	06/22/18	--	--	SPECIFIC PURPOSE SURVEY
4	2 of 2	06/22/18	--	--	SPECIFIC PURPOSE SURVEY
5	ST-1	06/22/18	--	--	SYMBOLS AND ABBREVIATIONS
6	NT-1	06/22/18	--	--	GENERAL NOTES
7	OP-1	06/22/18	2	10/31/18	OVERALL SITE PLAN
8	ST-1	06/22/18	2	10/31/18	SITE PLAN
9	ST-2	06/22/18	2	10/31/18	SITE PLAN
10	UT-1	06/22/18	3	10/31/18	UTILITY PLAN
11	UT-2	06/22/18	3	10/31/18	UTILITY PLAN
12	DR-1	06/22/18	3	10/31/18	DRAINAGE PLAN
13	DR-2	06/22/18	3	10/31/18	DRAINAGE PLAN
14	GR-1	06/22/18	--	--	GRADING PLAN
15	GR-2	06/22/18	2	08/23/18	GRADING PLAN
16	GR-3	06/22/18	1	10/31/18	GRADING PLAN
17	GR-4	06/22/18	2	10/31/18	GRADING PLAN
18	GR-5	06/22/18	--	--	GRADING PLAN
19	GR-6	06/22/18	--	--	GRADING PLAN
20	EC-1	06/22/18	1	10/31/18	EROSION CONTROL PLAN
21	PP-1	06/22/18	2	08/23/18	PLAN AND PROFILE
22	PP-2	06/22/18	1	07/27/18	PLAN AND PROFILE
23	PP-3	06/22/18	1	07/27/18	PLAN AND PROFILE
24	PP-4	06/22/18	1	07/27/18	PLAN AND PROFILE
25	PP-5	06/22/18	1	07/27/18	PLAN AND PROFILE
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27	PP-7	06/22/18	1	07/27/18	PLAN AND PROFILE
28	PP-8	06/22/18	--	--	PLAN AND PROFILE
29	PP-9	06/22/18	2	08/23/18	PLAN AND PROFILE
30	DT-1	06/22/18	1	08/23/18	CONSTRUCTION DETAILS
31	DT-2	06/22/18	--	--	CONSTRUCTION DETAILS
32	DT-3	06/22/18	--	--	CONSTRUCTION DETAILS
33	DT-4	06/22/18	2	08/23/18	CONSTRUCTION DETAILS
34	CD-1	06/22/18	--	--	APOPKA STANDARD DETAILS
35	CD-2	06/22/18	--	--	APOPKA STANDARD DETAILS
36	CD-3	06/22/18	--	--	APOPKA STANDARD DETAILS
37	CD-4	06/22/18	--	--	APOPKA STANDARD DETAILS
38	LS-1	06/22/18	1	04/30/18	LIFT STATION DETAILS
39	LS-2	06/22/18	--	--	LIFT STATION DETAILS
40	LP-001	04/05/18	--	--	KEY PLAN
41	LP-002	04/05/18	--	--	TREE MITIGATION PLAN
42	LP-003	04/05/18	--	--	TREE MITIGATION PLAN
43	LP-004	04/05/18	--	--	TREE MITIGATION PLAN
44	LP-005	04/27/18	2	06/27/18	RECREATION/OPEN SPACE PLAN
45	LP-100	04/05/18	1	04/30/18	LANDSCAPE PLAN
46	LP-101	04/05/18	1	04/30/18	LANDSCAPE PLAN
47	LP-102	04/05/18	1	04/30/18	LANDSCAPE PLAN
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49	LP-104	04/05/18	2	06/27/18	LANDSCAPE PLAN
50	LP-105	04/05/18	1	04/30/18	LANDSCAPE NOTES & DETAILS
51	LP-200	04/05/18	3	07/27/18	HARDSCAPE DETAILS
52	LP-201	04/05/18	2	06/27/18	HARDSCAPE IMAGES
53	LP-300	04/05/18	1	04/30/18	IRRIGATION PLAN
54	LP-301	04/05/18	--	--	IRRIGATION PLAN
55	LP-302	04/05/18	--	--	IRRIGATION PLAN
56	LP-303	04/05/18	--	--	IRRIGATION PLAN
57	LP-304	04/05/18	1	04/30/18	IRRIGATION PLAN
58	LP-305	04/05/18	3	07/27/18	IRRIGATION NOTES AND DETAILS
59	LP-306	04/05/18	--	--	IRRIGATION DETAILS
60	LP-307	04/05/18	--	--	IRRIGATION DETAILS
61	LP-308	04/05/18	--	--	IRRIGATION DETAILS

**LEGAL DESCRIPTION:**

BEGN AT THE SOUTHWEST CORNER OF THE NW 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; RUN THENCE NORTH ALONG THE WEST LINE OF SAID NW 1/4 A DISTANCE OF 985.01 FEET TO THE NORTH LINE OF THE SOUTH 3/4 OF THE SOUTH 1/2 OF SAID NW 1/4; RUN THENCE N80°39'14"E ALONG SAID NORTH LINE A DISTANCE OF 2899.71 FEET TO THE NORTHEAST CORNER OF SAID SOUTH 3/4; RUN THENCE S00°48'06"E ALONG THE EAST LINE OF SAID NW 1/4 A DISTANCE OF 988.23 FEET TO THE SOUTHWEST CORNER OF SAID NW 1/4; RUN THENCE S88°43'54"W ALONG THE SOUTH LINE OF SAID NW 1/4 A DISTANCE OF 2703.48 FEET TO THE SOUTHWEST CORNER THEREOF, AND THE POINT OF BEGINNING. ALL BEING AND LYING IN THE NW 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

**ALSO DESCRIBED AS:**

THE SOUTH 3/4 OF THE SOUTH 1/2 OF THE NW 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

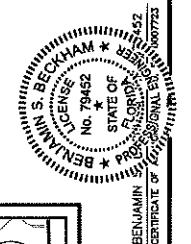
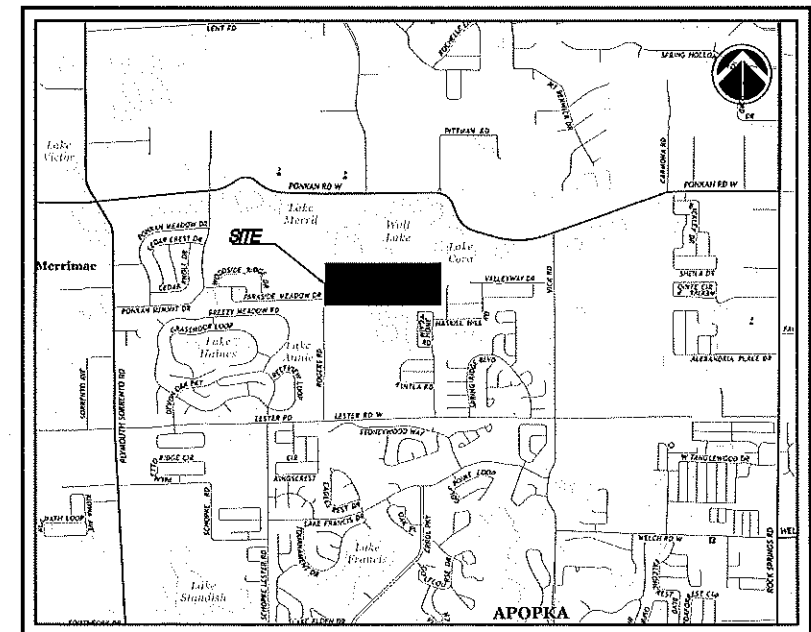
**ALSO DESCRIBED AS:**

THE SOUTH SIXTY (60) ACRES OF THE NW 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

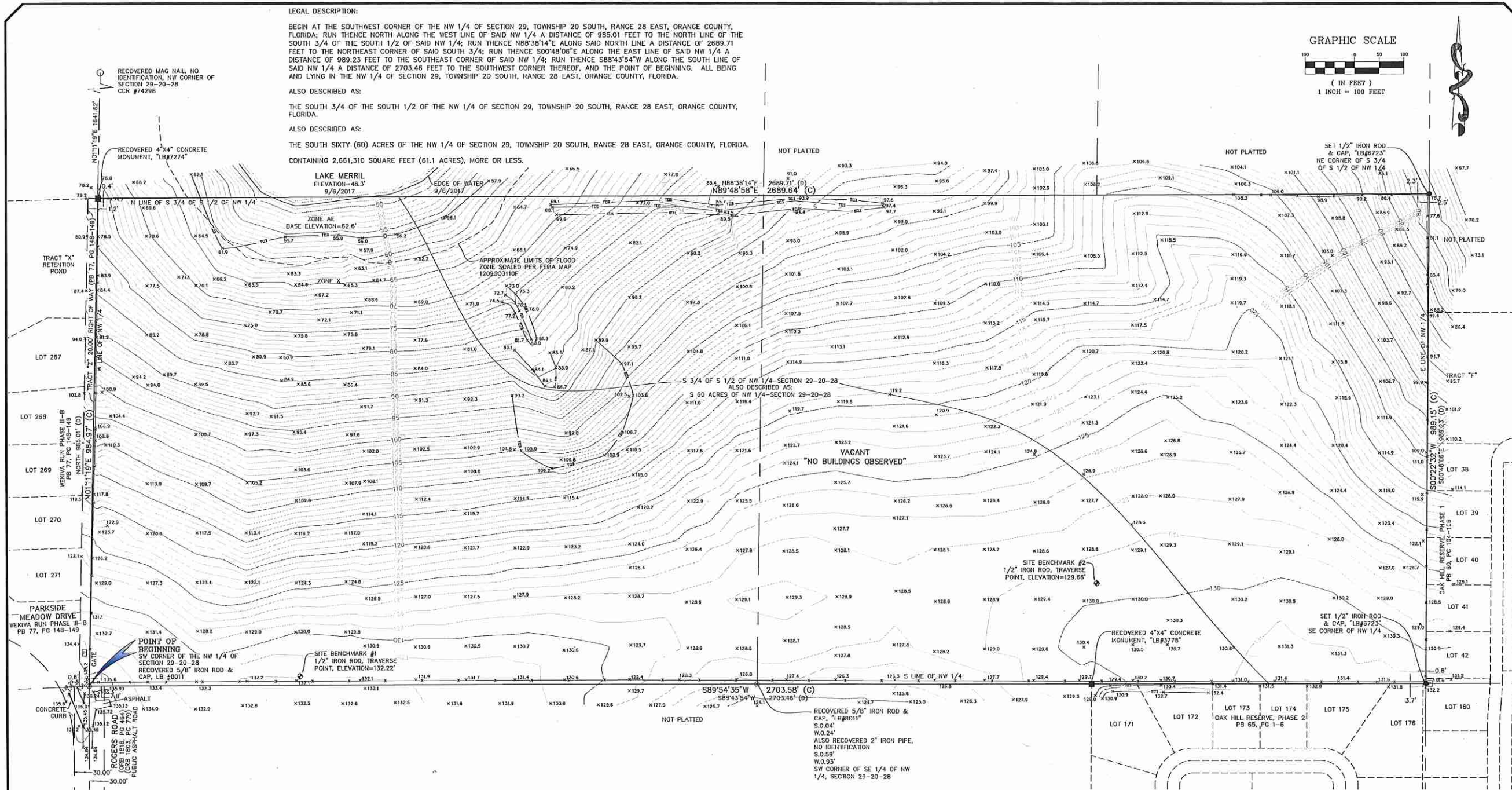
CONTAINING 2,661,310 SQUARE FEET (61.1 ACRES), MORE OR LESS.

### VICINITY MAP

1" = 2,000'



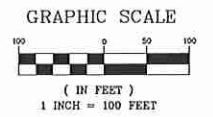




**LEGAL DESCRIPTION:**  
 BEGIN AT THE SOUTHWEST CORNER OF THE NW 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; RUN THENCE NORTH ALONG THE WEST LINE OF SAID NW 1/4 A DISTANCE OF 985.01 FEET TO THE NORTH LINE OF THE SOUTH 3/4 OF THE SOUTH 1/2 OF SAID NW 1/4; RUN THENCE N88°38'14"E ALONG SAID NORTH LINE A DISTANCE OF 2689.71 FEET TO THE NORTHEAST CORNER OF SAID SOUTH 3/4; RUN THENCE S00°48'08"E ALONG THE EAST LINE OF SAID NW 1/4 A DISTANCE OF 989.23 FEET TO THE SOUTHEAST CORNER OF SAID NW 1/4; RUN THENCE S88°33'54"W ALONG THE SOUTH LINE OF SAID NW 1/4 A DISTANCE OF 2703.46 FEET TO THE SOUTHWEST CORNER THEREOF, AND THE POINT OF BEGINNING. ALL BEING AND LYING IN THE NW 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

**ALSO DESCRIBED AS:**  
 THE SOUTH 3/4 OF THE SOUTH 1/2 OF THE NW 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

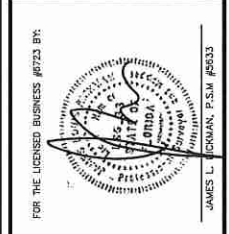
**ALSO DESCRIBED AS:**  
 THE SOUTH SIXTY (60) ACRES OF THE NW 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, CONTAINING 2,661,310 SQUARE FEET (61.1 ACRES), MORE OR LESS.



16 EAST PLANT STREET  
 WINTER GARDEN, FLORIDA 34787  
 407 654-5355 FAX 407 654-5356

**TOPOGRAPHIC SURVEY**  
 OF  
**2351 ROGERS ROAD, APOPKA, FL**  
 SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST  
 ORANGE COUNTY, FLORIDA

FOR:  
 KB HOME ORLANDO, LLC



- SURVEYOR'S NOTES:**
- THIS IS NOT A BOUNDARY SURVEY.
  - BEARINGS SHOWN HEREON ARE ASSUMED BASED ON THE WEST LINE OF THE NORTHWEST 1/4, SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, AS BEING N01°11'19"E.
  - THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORD AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THIS SURVEYOR OR SHOWN ON THIS BOUNDARY SURVEY THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE SUBJECT PROPERTY.
  - THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF AN INSURANCE TITLE COMMITMENT, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, NUMBER 6504173, EFFECTIVE DATE JULY 31, 2017 @ 5:00 P.M..
  - THE LEGAL DESCRIPTION HEREON IS IN ACCORD WITH THE DESCRIPTION FURNISHED BY THE CLIENT.
  - THERE MAY BE ENVIRONMENTAL ISSUES AND/OR OTHER MATTERS REGULATED BY VARIOUS DEPARTMENTS OF FEDERAL, STATE OR LOCAL GOVERNMENTS AFFECTING THE SUBJECT PROPERTY NOT SHOWN ON THIS SURVEY.
  - THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.
  - THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
  - UNLESS OTHERWISE NOTED OR SHOWN HEREON, APPARENT AND/OR UNOBSTRUCTED VISIBLE, ABOVE GROUND IMPROVEMENTS WERE LOCATED. UNDERGROUND IMPROVEMENTS, SUCH AS FOUNDATIONS AND UTILITIES, WERE NOT LOCATED.
  - UNLESS OTHERWISE NOTED OR SHOWN HEREON, THERE ARE NO APPARENT AND/OR UNOBSTRUCTED, ABOVE GROUND ENCROACHMENTS. THE DISPOSITION OF ANY POTENTIAL ENCROACHING IMPROVEMENTS SHOWN IS BEYOND PROFESSIONAL PURVIEW AND SUBJECT TO LEGAL INTERPRETATION.
  - SUBJECT PROPERTY SHOWN HEREON IS IN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, AND AE (BASE ELEVATION=82.6 NAVD 88), DEFINED AS AREAS OF SPECIAL FLOOD HAZARD WITH BASE FLOOD ELEVATIONS DETERMINED, ACCORDING TO FLOOD INSURANCE RATE MAP PANEL NUMBER 12095C0110F, MAP REVISED SEPTEMBER 25, 2009. THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING. THE LIMITS OF SAID ZONES ARE GRAPHICALLY SHOWN HEREON AS NEAR AS MAY BE SCALED FROM SAID MAP.
  - LAST DATE OF FIELD SURVEY: 11/13/2017
  - ELEVATIONS SHOWN HEREON ARE BASED ON ST. JOHNS RIVER WATER MANAGEMENT DISTRICT BENCHMARK #98-079-0-03, BOX CUT IN HEADWALL AT END OF CUL-DE-SAC ON CHAMPIONSHIP COURT, ELEVATION=59.619, NAVD 1988.

**LEGEND AND ABBREVIATIONS**

- (C) CALCULATED
- PB PLAT BOOK
- (D) DESCRIPTION
- ORB OFFICIAL RECORDS BOOK
- PG PAGE OR PAGES
- ← 4" WIRE FENCE
- LB LICENSED BUSINESS
- CCR CERTIFIED CORNER RECORDS
- NAVD NORTH AMERICAN VERTICAL DATUM OF 1988
- ☐ TELEPHONE RISER
- x1000 SPOT ELEVATION IN FEET
- TOB TOP OF BANK
- TOS TOE OF SLOPE



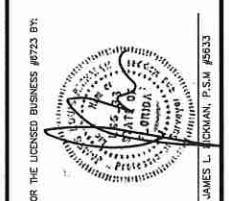




16 EAST PLANT STREET  
WINTER GARDEN, FLORIDA 34787  
407 654-5355 \*FAX 407 654-5356

**SPECIFIC PURPOSE SURVEY**  
**OF**  
**2351 ROGERS ROAD, APOPKA, FL**  
**SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST**  
ORANGE COUNTY, FLORIDA

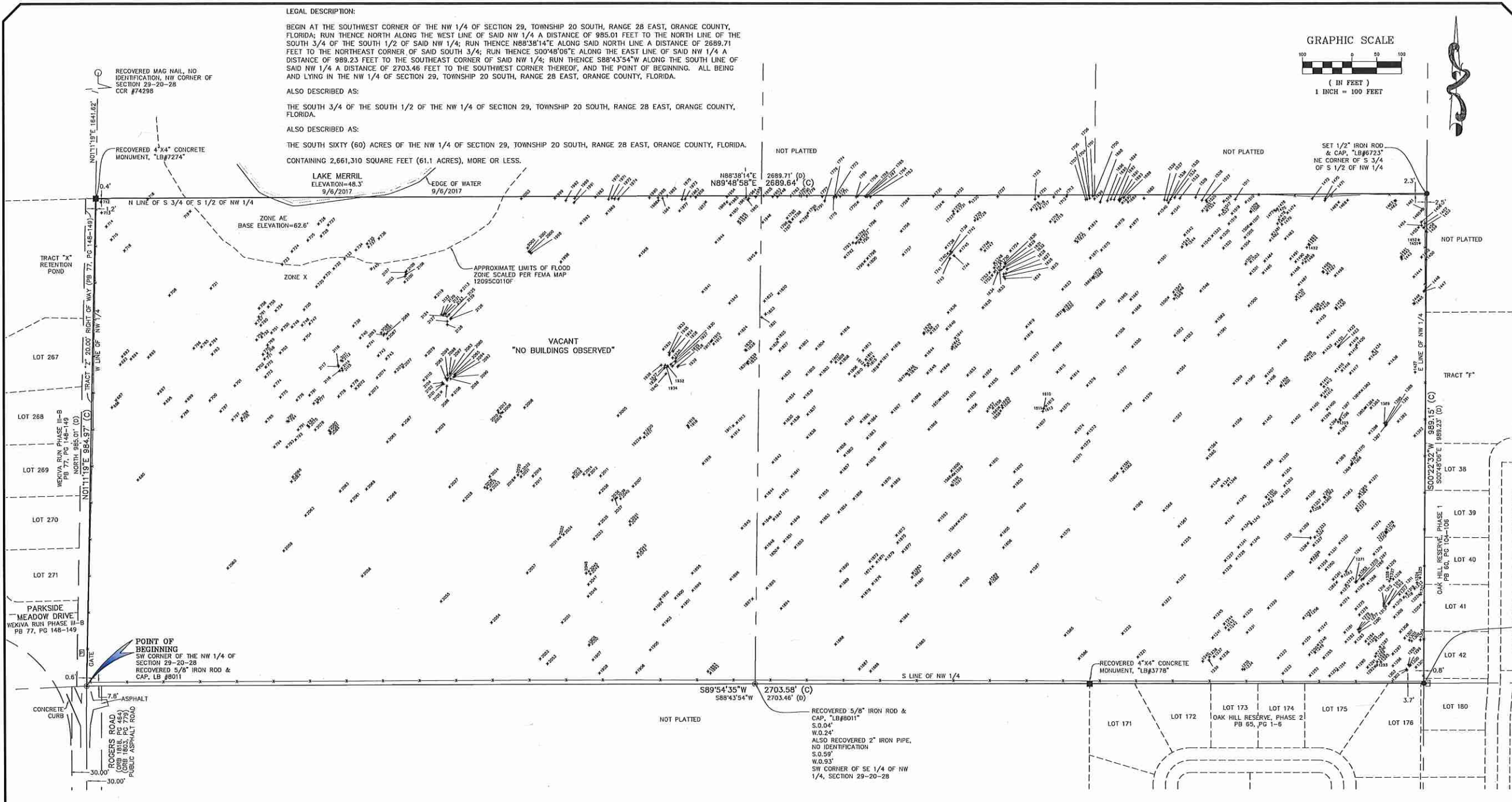
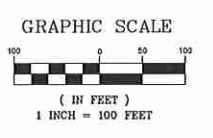
FOR:  
KB HOME ORLANDO, LLC



DATE	REVISIONS

JOB # 20170463  
DATE: 11/22/2017  
SCALE: 1" = 100'  
CALC BY: JLR  
FIELD BY: JDS  
DRAWN BY: BRH  
CHECKED BY: SMO

SHEET 1 OF 2



- SURVEYOR'S NOTES:**
1. BEARINGS SHOWN HEREON ARE ASSUMED BASED ON THE WEST LINE OF THE NORTHWEST 1/4, SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, AS BEING N01°11'19"E.
  2. THE SPECIFIC PURPOSE OF THIS SURVEY IS TO SHOW THE TREES AS THEY RELATE TO THE LANDS HEREON.
  3. THIS IS NOT A BOUNDARY SURVEY.
  4. THE LEGAL DESCRIPTION HEREON IS IN ACCORD WITH THE DESCRIPTION FURNISHED BY THE CLIENT.
  5. THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE ENTITIES LISTED HEREON AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER.
  6. THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

- LEGEND AND ABBREVIATIONS**
- (C) CALCULATED
  - PB PLAT BOOK
  - (D) DESCRIPTION
  - ORB OFFICIAL RECORDS BOOK
  - PG PAGE OR PAGES
  - 4' WIRE FENCE
  - LB LICENSED BUSINESS
  - CCR CERTIFIED CORNER RECORDS
  - NAVD NORTH AMERICAN VERTICAL DATUM OF 1988
  - ☐ TELEPHONE RISER
  - ◆ TREE LOCATION

Drawing name: L:\Data\20170463\Map\20170463-10E2.dwg Layout



# ABBREVIATIONS

<b>A</b> AB AREA ABD ANCHOR BOLT AC ABANDON(ED) AC ADRI(ES) AC-FT ACRE FOOT/FEET ACD ASPHALT CEMENT PIPE ADDL ADDITIONAL ADT AVERAGE DAILY TRAFFIC AL ALUMINIUM ALT ALTERNATE AM BEFORE NOON AMP AMPERE(S) APPROX APPROXIMATE ARV AIR RELEASE VALVE ARVY AIR RELEASE VALVE ASPH ASPHALT ASSY ASSEMBLY AVG AVERAGE AZ AZIMUTH	<b>F</b> F&C FRAME AND COVER FD FLOOR DRAIN FDN FOUNDATION FLORIDA DEPARTMENT OF TRANSPORTATION FF FINISHED FLOOR FH FIRE HYDRANT FI FURNISH AND INSTALL FIG FIGURE FIN FINISHED FIT FITTING FL FENCE LINE FLR FLOOR FLEX FLEXIBLE FLG FLANGE FM FORCE MAIN FND FOUNDRY FPH FEET PER HOUR FPM FEET PER MINUTE FPS FEET PER SECOND FT FOOT FTG FOOTING	<b>P</b> PC POINT OF CURVATURE PCC POINT OF COMPOUND CURVATURE PEP PROFILE GRADE POINT PI POINT OF INTERSECTION PIA PROPERTY LINE POB POINT OF BEGINNING POJ PUSH ON JOINT PP POWER POLE PR PHONE RISER PRC POINT OF REVERSE CURVATURE PRESS PRESSURE PROJ PROJECT PROPP POINT OF REVERSE VERTICAL CURVE PSP POUNDS PER SQUARE FOOT PSF POUNDS PER SQUARE INCH PT POINT OF TANGENCY PVC POLYVINYL CHLORIDE PVM PAVEMENT PWR POWER
<b>B</b> BFP BACKFLOW PREVENTER BL BASELINE BLDG BUILDING BLVD BOULEVARD BM BENCH MARK BO BOUNDARY BO SLOWOFF BOC BACK OF CURB BOT BOTTOM BRG BEARING BS BOTTOM OF SLOPE BV BUTTERFLY VALVE	<b>G</b> GA GAUGE GAL GALLON GALV GALVANIZED GM GAS MAIN GPD GALLONS PER DAY GPM GALLONS PER MINUTE GPM GALLONS PER MINUTE GPS GALLONS PER SECOND GR GROUND/GRADE GSP GALVANIZED STEEL PIPE GV GATE VALVE GV&B GUY WIRE AND BOX GW GUY WIRE GWT GROUND WATER TABLE	<b>Q</b> Q FLOW RATE
<b>C</b> CAP CAPACITY CB CATCH BASIN CC CENTER TO CENTER CEM CEMENT CF CUBIC FEET CFM CUBIC FEET PER MINUTE CFS CUBIC FEET PER SECOND C&G CURB AND GUTTER CI CAST IRON CJ CAST IRON PIPE CK CONSTRUCTION JOINT CL CENTER LINE CLP CONCRETE LIGHT POLE CLR CLEARANCE CLS CLASS CM CONCRETE MONUMENT CMP CORRUGATED METAL PIPE CMA CORRUGATED METAL PIPE ARCH CND CONDUIT CO COUNTY COL CLEANOUT COLL COLLUM COMP COMPLETE CON CONCRETE CONN CONNECTION CONST CONSTRUCTION CONT CONTINUOUS COORD COORDINATE(S) COR CORNER COP COPING COP CONCRETE POWER POLE CS CONTROL STRUCTURE COAT COATING CTR CENTER CTV CABLE TELEVISION CULV CULVERT CY CUBIC YARD CYL CYLINDER	<b>H</b> HB HOSE BIBB HDPE HIGH DENSITY POLYETHYLENE HW HARDWARE HOA HOME OWNERS ASSOCIATION HRZ HORIZONTAL HRS HORSEPOWER HR HOUR HSDIT SHELF DRAIN HW HEADWALL HML HIGH WATER LEVEL HWY HIGHWAY HYD HYDRAULIC	<b>R</b> R RADIUS RCPC REINFORCED CONCRETE PIPE RCPA REINFORCED CONCRETE PIPE ARCH RD ROAD RDY ROADWAY RED REDUCER REF REFERENCE RENF REINFORCED REQD REQUIRED REV REVERSE POSITION RPM REVOLUTIONS PER MINUTE RR RAILROAD RT RIGHT RV RELIEF VALVE R/W RIGHT-OF-WAY R/W REUSE WATER MAIN
<b>D</b> DBL DOUBLE DEC OR DEGREE DEFL DEFLECTION DEPT DEPARTMENT DET DETAIL DHWL DESIGN HIGH WATER LEVEL DI DUCTILE IRON DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DISCH DUCTILE IRON PIPE DISCHARGE DST DISTANCE DMH DROP MANHOLE DN DOWN DRN DRAIN DNC DRAWING DRY DRIVEWAY	<b>J</b> JB JUNCTION BOX JCT JUNCTION JST JOIST JT JOINT	<b>S</b> S SOUTH SAN SANITARY SEWER SB SPLASH BLOCK SCH SCHEDULE SD SIDE DRAIN SDH SHELF DRAIN SE SOUTHEAST SEC SECONDS SECT SECTION SH SHEET SHW SITUATIONAL HIGH GROUND WATER TABLE SI SLOPE S/L SETBACK LINE SM SHEET METAL SPEC SPECIFICATION(S) SQ SQUARE SQ IN SQUARE INCHES SQ FT SQUARE FOOT/FEET SQ YD SQUARE YARD(S) SR STATE ROAD SS STAINLESS STEEL ST STREET STA STATION STD STANDARD STL STEEL STR STRUCTURE STS STORM SEWER SUP SUPPORT SUSP SUSPEND/SUSPENSION SVC SERVICE SW SWIRL SYM SYMBOL(S) SYMM SYMMETRICAL SYS SYSTEM
<b>E</b> EA EACH EC EDGE OF CONCRETE ED ENERGY DISSIPATOR EFF EACH FACE EFFL EFFLUENT EG EXISTING GRADE E/L EASEMENT LINE ELB ELBOW ELEC ELECTRIC ELEV ELEVATION ELLIP ELLIPSE/ELLIPTICAL ENC ENCLOSURE ENG ENGINEERING EOP EDGE OF PAVEMENT EQ EQUAL/EQUATION EQUIP EQUIPMENT EQUIV EQUIVALENT ESMT EASEMENT EST ESTIMATE EW EACH WAY EWMW EXCAVATION/EXCAVATION EXC EXISTING EXP EXPANSION/EXPANSION EXT EXTENSION/EXTENSION	<b>M</b> MANTL MAINTENANCE MATL MATERIAL MANG MANGROVE MECH MECHANICAL MIED MITERED END MFR MANUFACTURER MGD MILLION GALLONS PER DAY MH MANHOLE MHC MANHOLE COVER MHWL MEAN HIGH WATER LEVEL MISC MISCELLANEOUS MJ MECHANICAL JOINT MLP METAL LIGHT POLE MLWL MEAN LOW WATER LEVEL MON MONUMENT MPH MILES PER HOUR MSL MEAN SEA LEVEL MTG MOUNTING	<b>T</b> T TANGENT TB TURBLOCK T&B TOP AND BOTTOM T&M TEMPORARY BENCH MARK TC TIME OF CONCENTRATION TD TRENCH DRAIN TDH TOTAL DYNAMIC HEAD TECH TECHNICIAN/TECHNICAL TEMP TEMPORARY TL TERMINAL LAMP/HOLE TOB TOP OF BANK TOC TOP OF CURB TOS TOE OF SLOPE TOT TOTAL TSF TOP OF SLOPE TWP TOWNSHIP TYP TYPICAL
<b>O</b> OC ON CENTER OD OUTSIDE DIAMETER OE OR EQUAL OPNG OPENING OPP OPPOSITE ORCP OVAL REINFORCED CONCRETE PIPE OS OUTFALL STRUCTURE OWFL OVERFLOW OVRD OVERHEAD	<b>N</b> NORTH N NORTH NA NOT APPLICABLE N&C NAIL AND CAP NE NORTHEAST NG NATURAL GROUND NIC NOT IN CONTRACT NO OR # NUMBER NOM NOMINAL NTS NOT TO SCALE NW NORTHWEST NWL NORMAL WATER LEVEL	<b>U</b> U UNDERDRAIN UG UNDERGROUND UN UNLESS OTHERWISE NOTED UTC UNDERGROUND TELEPHONE CABLE
<b>O</b> OC ON CENTER OD OUTSIDE DIAMETER OE OR EQUAL OPNG OPENING OPP OPPOSITE ORCP OVAL REINFORCED CONCRETE PIPE OS OUTFALL STRUCTURE OWFL OVERFLOW OVRD OVERHEAD	<b>N</b> N NORTH N NORTH NA NOT APPLICABLE N&C NAIL AND CAP NE NORTHEAST NG NATURAL GROUND NIC NOT IN CONTRACT NO OR # NUMBER NOM NOMINAL NTS NOT TO SCALE NW NORTHWEST NWL NORMAL WATER LEVEL	<b>V</b> VB VALVE BOX VC VERTICAL CURVE VCP VITRIFIED CLAY PIPE VERT VERTICAL VPC VERTICAL POINT OF CURVE VPI VERTICAL POINT OF INTERSECTION VPT VERTICAL POINT OF TANGENCY

# EXISTING SYMBOLS

### LINES

	CENTER LINE		BUILDING LINE
	WIRE FENCE		CONTOURS
	CHAIN LINK FENCE		RAILROAD TRACKS
	WOOD FENCE		GAS MAIN
	GUARDRAIL		UNDERGROUND ELECTRIC
	EXISTING PLATTS		UNDERGROUND TELEPHONE
	RETAINING WALL		OVERHEAD ELECTRIC
	RIGHT-OF-WAY LINE		OVERHEAD TELEPHONE
	SHORELINE		UNDERGROUND CABLE TELEVISION
	SWALE		EASEMENT

### SANITARY

	SANITARY SEWER LINE		FORCE MAIN
	CLEANOUT		MANHOLE

### WATER & REUSE WATER

	WATER MAIN PVC PIPE		WATER VALVE
	REUSE WATER MAIN		FIRE HYDRANT
	BACKFLOW PREVENTOR		WATER METER

### STORM DRAIN

	STORM SEWER		FDOT TYPE 1 INLET
	MANHOLE		FDOT TYPE 2 INLET
	MITERED END		FDOT TYPE 3 INLET
	STORM INLET		FDOT TYPE 4 INLET
	FDOT TYPE 5 INLET		FDOT TYPE 5 INLET

### HIGHWAY & UTILITIES

	BENCHMARK		GUY POLE		BRICK PAVERS
	RECOVERED 4x4 CM		WOOD UTILITY POLE		DIRT ROAD
	SET 4x4 CM		CONCRETE UTILITY POLE		8" MAPLE TREE
	CONCRETE		ELECTRIC MANHOLE		8" OAK TREE
	RECOVERED IRON ROD		TELEPHONE MANHOLE		8" PINE TREE
	COUNTY ROADS		TELEPHONE RISER		8" PALM TREE
	INTERSTATE ROADS		ELECTRIC BOX / TRANSFORMER		8" MISC. TREE
	STATE ROADS		WELL		CROSS
	WOOD AND/OR METAL LIGHT POLE		MONITORING WELL		CHECK VALVE
	CONCRETE LIGHT POLE		DUMPSTER		DOUBLE DETECTOR CHECK VALVE
	YARD LIGHT		RR CROSSING SIGN		DOUBLE WATER SERVICE
	MISCELLANEOUS SIGN		RR CROSSING GATE		GATE VALVE
	SECTION CORNER		TRAFFIC SIGNAL POLE		FIRE HYDRANT
	EDGE OF PAVEMENT W/C CURB		SATELLITE DISH		METER
	EDGE OF PAVEMENT W/CURB		GUY WIRE		REDUCER
			HANDICAP PARKING		BLOWOFF
			SPOT ELEVATION		BACKFLOW PREVENTER
					SAMPLE POINT
					UNDERDRAIN CLEANOUT
					RECLAIM WATER MAIN
					DOUBLE REUSE WATER SERVICE

# PROPOSED SYMBOLS

### LINES

	BOUNDARY
	CONSERVATION SETBACK
	CENTER LINE
	CHAIN LINK FENCE
	CONTOUR
	EASEMENT
	FENCE
	GUARDRAIL
	LOT LINE
	PROPERTY LINE
	RETAINING WALL
	RIGHT-OF-WAY LINE
	SETBACK LINE
	SHORELINE
	SWALE
	TREE LINE

### STORM DRAIN

	100 LF STS 24 HP @ 0.20%
	100 LF STS 24 HDPE @ 0.20%
	UNDERDRAIN 6" HDPE PIPE
	DRAINAGE FLOW DIRECTION
	FDOT INLET TYPE 1
	FDOT INLET TYPE 2
	FDOT INLET TYPE 3
	FDOT INLET TYPE 4
	FDOT INLET TYPE 5
	FDOT INLET TYPE 6
	MANHOLE
	MITERED END SECTION
	SLOPE DIRECTION ARROW FOR POND SIDE SLOPE
	SPOT ELEVATION
	STORM INLET

### HIGHWAY & UTILITIES

	BOUND CORNER
	CONCRETE
	COUNTY ROADS
	DETAIL REFERENCE
	DUMPSTER PAD
	FINISHED FLOOR ELEVATION W/ FHA LOT TYPE
	GUY POLE
	HANDICAP PARKING
	INTERSTATE ROADS
	LIGHT POLE
	SIGNS
	SECTION CORNER
	STATE ROADS
	SILT FENCE
	TRAFFIC FLOW PAVEMENT MARKING
	UTILITY POLE
	BLDG OR STRUCTURE
	TYPE F CURB & GUTTER
	MIAMI CURB
	CROSS SECTION DETAIL

### WATER & REUSE WATER

	WATER MAIN PVC OR DIP PIPE 1 1/2" BEND
	22 1/2" BEND
	45" BEND
	90" BEND
	TEE
	CROSS
	CHECK VALVE
	DOUBLE DETECTOR CHECK VALVE
	DOUBLE WATER SERVICE
	GATE VALVE
	FIRE HYDRANT
	METER
	REDUCER
	BLOWOFF
	BACKFLOW PREVENTER
	SAMPLE POINT
	UNDERDRAIN CLEANOUT
	RECLAIM WATER MAIN
	DOUBLE REUSE WATER SERVICE



**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 260  
Maitland, Florida 32751  
(407) 629-8330

SYMBOLS + ABBREVIATIONS FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

**THE PULTE GROUP**  
4907 VINELAND ROAD, SUITE 300  
ORLANDO, FLORIDA 32811  
(407) 661-1514

ENGINEER'S SEAL  
STATE OF FLORIDA  
No. 17452  
JAMES S. BECKHAM  
CIVIL ENGINEER

DATE	REVISIONS

JOB #	17051
DATE:	06/22/2018
SCALE:	N.T.S.
DESIGNED BY:	BSB
DRAWN BY:	BSB
APPROVED BY:	BSB

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GENERAL NOTES

- 1. ALL CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF APOPKA DETAILS & THE FDOT FY 2016-17 DESIGN STANDARDS, EFFECTIVE 7/1/2016 TO 6/30/2017, AND ALL SUPPLEMENTS THERETO, AND THE "ROADWAY TRAFFIC DESIGN STANDARDS", WHICHEVER IS MORE STRINGENT.
2. THE LOCATIONS OF EXISTING UTILITIES SUCH AS WATER MAINS, SEWER, GAS LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION, AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND OWNER DO NOT ASSUME RESPONSIBILITY FOR THE SIZES AND LOCATIONS SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF THE SIZE AND LOCATION OF ALL EXISTING UTILITIES SHOWN AND NOT SHOWN ON THESE PLANS.
3. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL MEET AND SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT/ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ANY AND ALL NEEDED LICENSES AND PERMITS REQUIRED FOR CONSTRUCTION PURPOSES.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SETBACKS AND EASEMENTS BEFORE BEGINNING CONSTRUCTION.
5. BENCHMARKS AND OTHER REFERENCE POINTS SHALL BE CAREFULLY MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IF DISTURBED OR DESTROYED, THESE POINTS SHALL BE REPLACED BY A FLORIDA P.L.S. AT CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS DIRECTED TO NOTIFY MADDEN, MOORHEAD, AND STOKES, INC., PHONE (407) 629-8330, FOR PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING STRUCTURES, ETC., UNLESS OTHERWISE NOTED. ALL SOIL STRIPPINGS AND ANY UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER.
8. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND UTILITIES NOTED TO REMAIN, FROM DAMAGE OR DISPLACEMENT DURING CONSTRUCTION. IN THE EVENT OBSTRUCTIONS ARE ENCOUNTERED, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ENGINEER AND THE UTILITY COMPANY. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR DAMAGE OR CORRECT DISPLACEMENT.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL TREES AND OTHER VEGETATION OUTSIDE THE LIMITS OF CONSTRUCTION.
10. WHEN DETAILS ARE PROVIDED, CONTRACTOR SHALL CONSTRUCT JOB PER SPECIFIC DETAILS, AND NOT BY SCALING FROM THESE PLANS.
11. ROADWAY MARKING, STRIPING, SIGNS AND OTHER TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD) AND SUBSEQUENT REVISIONS AND ADDENDUMS, AS PUBLISHED BY F.D.O.T. AND CITY OF APOPKA STANDARDS AND SPECIFICATIONS.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ANY REQUIRED TRAFFIC CONTROL PLANS. ALL WORK SHALL BE EXECUTED UNDER THE ESTABLISHED PLAN, F.D.O.T., AND CITY OF APOPKA APPROVED PROCEDURES.
13. THE CONTRACTOR SHALL RESTORE OFF SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
14. AS-BUILT DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE PROJECT ENGINEER UPON PROJECT COMPLETION.
15. CONTRACTOR SHALL COMPLY WITH ALL CITY OF APOPKA REQUIREMENTS FOR INSPECTION AND TESTING.
16. SUBJECT PROPERTY IS UNDER CONTROL OR OWNED BY APPLICANT.
17. TOPOGRAPHY PROVIDED BY ALLEN & COMPANY, INC.
18. SANITARY SEWER SERVICE PROVIDED BY THE CITY OF APOPKA.
19. ALL NEW UTILITIES AND UPGRADED UTILITIES PROVIDED TO OR ON THE SITE MUST BE INSTALLED UNDERGROUND.
20. CHAPTER 17-153 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATION.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ANY TRAFFIC SIGNAL EQUIPMENT INCLUDING BUT NOT LIMITED TO FIBER LOOP SENSORS PULL BOXES, CONDUIT TRAFFIC SIGNALS, AND CABINETS ANY ITEMS DAMAGED BY THE CONTRACTOR WILL BE RESTORED TO THEIR ORIGINAL CONDITIONS UNLESS OTHERWISE AGREED UPON BY THE CITY OF APOPKA.
22. RESIDENTIAL ARCHITECTURE MUST COMPLY WITH THE CITY OF APOPKA DEVELOPMENT DESIGN GUIDELINES, WITH THE EXCEPTION OF FRONT LOAD GARAGES.
23. BUILDER/DEVELOPER MUST SUBMIT BUILDING ELEVATIONS AND FLOOR PLANS TO THE CITY OF APOPKA FOR APPROVAL PRIOR TO CONSTRUCTION OF HOMES.
24. STRUCTURES SHALL BE SET BACK A MINIMUM OF SOFT FROM ANY SHORELINE OR WETLAND'S EDGE AS DEFINED IN ARTICLE 1.
25. A GOPHER TORTOISE RELOCATION PERMIT MUST BE OBTAINED FROM THE FLORIDA FISH & WILDLIFE COMMISSION PRIOR TO SITE DEVELOPMENT.
26. ALL ROADWAYS AND FIRE HYDRANTS MUST BE CONSTRUCTED BEFORE BUILDING CONSTRUCTION BEGINS.
27. BLUE ROAD REFLECTORS MUST BE PROVIDED AT EACH FIRE HYDRANT LOCATION.

NOTE: EXTERIOR RESIDENTIAL HOME'S ARCHITECTURAL DESIGN SHALL COMPLY WITH THE CITY'S DEVELOPMENT DESIGN GUIDELINES. HOME ELEVATIONS MUST BE APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO ISSUANCE OF ANY MODEL HOME OR RESIDENTIAL HOME BUILDING PERMIT.

SANITARY SEWER

- 1. ROOF DRAINS, FOUNDATION DRAINS OR OTHER STORM WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
2. ALL SANITARY SEWER PIPE SHALL BE PVC SEWER PIPE CONFORMING TO ASTM D-3034, SDR 35.
3. ALL MANHOLES SHALL BE 4 FT. INSIDE DIAMETER UNLESS OTHERWISE NOTED.
4. ALL SANITARY SERVICE LATERALS SHALL BE 6 INCH DIAMETER UNLESS OTHERWISE NOTED.
5. WHEN MINIMUM SEPARATION CANNOT BE MAINTAINED BETWEEN WATER AND STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
6. FOR HORIZONTAL AND VERTICAL CLEARANCES BETWEEN SANITARY SEWER MAINS/LATERALS AND WATER MAINS/LATERALS, SEE WATER NOTES 3 & 4.
7. WHERE SOIL REPORT INDICATES THE POSSIBILITY OF UNSUITABLE MATERIAL IN THE VICINITY OF SANITARY LINES, THE CONTRACTOR SHALL DETERMINE THE NATURE AND EXTENT OF THIS UNSUITABLE MATERIAL, PREPARE TRENCH AND INSTALL THE SEWER LINE IN ACCORDANCE WITH ASTM D-2321. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER OF THIS UNSUITABLE MATERIAL.
8. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM INFILTRATION OR EXFILTRATION TEST, WHICHEVER IS APPLICABLE. INFILTRATION SHALL NOT EXCEED 20 GALLONS PER DAY PER INCH OF DIAMETER PER MILE OF LENGTH, OR THE COMPUTED EQUIVALENT FOR SHORTER LENGTHS OF TIME. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS, CODES AND ORDINANCES OF THE WASTEWATER TRANSMISSION AUTHORITY INCLUDING ADVANCE NOTIFICATION PRIOR TO CONSTRUCTION AND TESTING.
9. MADDEN, MOORHEAD, & STOKES, INC. SHALL BE NOTIFIED A MINIMUM OF 48 HOURS (2 FULL WORKING DAYS) PRIOR TO CONSTRUCTION AND TESTING OF THE SANITARY SEWER, PHONE (407) 629-8330.
10. THE CONTRACTOR SHALL SUPPLY COMPLETE "AS-BUILT" INFORMATION RELATIVE TO INVERTS, RIM ELEVATIONS, LOCATION OF MANHOLES AND LENGTHS OF PIPE. LATERALS SHALL BE LOCATED FROM THE CENTERLINE OF THE NEAREST DOWNSTREAM MANHOLE. THE INFORMATION SHALL BE SUBMITTED ON LEGIBLY MARKED-UP PRINTS TO THE ENGINEER WITHIN TWO (2) WEEKS OF COMPLETION OF SEWER CONSTRUCTION.
11. CONTRACTOR SHALL RECEIVE SEWER CERTIFICATION PRIOR TO PLACEMENT OF SOIL CEMENT.
12. MINIMUM SLOPE ON ALL 8" SANITARY SEWER GRAVITY MAINS TO BE 0.3%
13. ALL SANITARY SERVICE LOCATIONS SHALL BE MARKED BY CUTTING AN "S" INTO THE CURB.
14. WHEN MINIMUM SEPARATION CANNOT BE MAINTAINED BETWEEN WATER AND FORCE MAINS, THE FORCE MAIN SHALL BE UPGRADED TO PVC DR14 AND PRESSURE TESTED TO 200 PSI.
15. AIR RELEASE VALVES SHALL BE REQUIRED AT ALL HIGH POINTS ALONG THE FORCE MAIN.
16. BLANKET UTILITY EASEMENTS WILL BE RECORDED FOR PROPERTIES USING THIS LIFT STATION.
17. ON-SITE WASTEWATER COLLECTION SYSTEM, THE LIFTSTATION, AND FORCE MAIN ARE TO BE OWNED AND MAINTAINED BY CITY OF APOPKA.

WATER

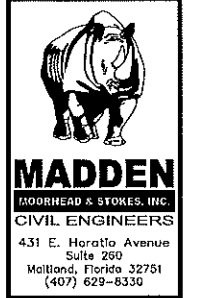
- 1. ALL MATERIALS AND CONSTRUCTION REQUIREMENTS FOR THE FIRE SERVICE, WATER LINES, CHECK VALVES, BACKFLOW PREVENTERS, GATE VALVES, ETC., SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA STANDARD DETAILS AND LAND DEVELOPMENT CODES.
2. THE CONTRACTOR SHALL LAY THE WATER LINE AND SERVICES A MINIMUM OF THREE (3) FEET BELOW FINISHED GRADE, TO THE TOP OF PIPE.
3. THE WATER MAIN SHALL BE LOCATED ABOVE THE STORMWATER AND SANITARY MAINS AT CONFLICTS WHERE POSSIBLE.
4. (1) HORIZONTAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS.
(A) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-810, F.A.C.
(B) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER.
(C) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-810, F.A.C. THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
(D) NEW OR RELOCATED, UNDERGROUND WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM AS DEFINED IN SECTION 381.068(2), ES., AND RULE 64E-8.002, F.A.C.
(2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATER MAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORMWATER FORCE MAINS, AND RECLAIMED WATER PIPELINES.
(A) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
(B) NEW OR RELOCATED, UNDERGROUND WATER MAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATER MAIN ABOVE THE OTHER PIPELINE.
(C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE. ALTERNATIVELY, AT SUCH CROSSINGS, THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-810, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY- OR PRESSURE-TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-810, F.A.C.
5. WATER LINES LESS THAN 4" IN DIAMETER SHALL BE PVC PIPE NSF 1500 SUITABLE FOR POTABLE WATER (200 PSI).
6. ALL 4"-12" WATER LINES SHALL BE PVC PIPE AWWA C-900, OR 18" MECHANICAL JOINTS AND RUBBER COMPRESSION RING JOINTS CONFORMING TO ASTM D3139. FROM POS FORWARD AS DESIGNATED BY F.S. 633, PIPE SHALL BE DR-14 AND TESTED AT 200 PSI FOR TWO HOURS.
7. GATE VALVES SHALL CONFORM TO AWWA C-508-B7, WITH WRENCH NUT EXTENSION STEMS AND OTHER APPURTENANCES AS REQUIRED. THEY SHALL BE IRON BODY, FULL BROKZE MOUNTED, DOUBLE DISK, PARALLEL SEAT, NON-RISING STEM VALVES WITH O-RING SEALS AND END CONNECTIONS AS CALLED FOR ON THE PLANS. ALL TEES, CAPS, FLANGES, BENDS, VALVES, ETC., SHALL BE PROVIDED WITH GRIP RING RESTRAINTS.
8. THE CONTRACTOR SHALL TAPE TO GAUGE LOCATOR WIRE TO ALL WATER LINES AT 5' INTERVALS. THE LOCATOR WIRE SHALL BE SINGLE STRAND COPPER WIRE RATED 600V FOR DIRECT BURY.
9. SERVICE MAINS FOR FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF APOPKA CONSTRUCTION DESIGN STANDARDS MANUAL OR MPA 24 - 2007 EDITION, WHICHEVER IS MORE STRINGENT.
10. NEW FIRE HYDRANTS SHALL BE INSTALLED SO THAT 5-1/4" NCH PORT IS FACING THE ROADWAY BY WHICH IT IS ACCESSED. HYDRANTS SHALL BE POSITIONED NOT MORE THAN 5 FEET AWAY FROM THE CURB OR BERM OF THE ROADWAY.
11. MADDEN MOORHEAD & STOKES, INC. SHALL BE NOTIFIED A MINIMUM OF FORTY EIGHT HOURS (2 FULL WORKING DAYS) PRIOR TO TESTING OF THE WATER LINES, PHONE (407) 629-8330.
12. HYDROSTATIC TESTS CONSISTING OF PRESSURE TEST AND LEAKAGE TEST SHALL BE CONDUCTED ON ALL NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES. THE TESTS SHALL BE IN ACCORDANCE WITH PROVISIONS OF AWWA C600 OR C605 AS APPLICABLE.
13. INSPECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651-INSPECTING WATER MAIN, INCLUDING ANY REQUIRED TESTING BY CITY OF APOPKA.
14. THE CONTRACTOR SHALL SUPPLY COMPLETE "AS-BUILT" INFORMATION RELATIVE TO LOCATION OF ALL WATER LINES AND SERVICES. THE INFORMATION SHALL BE SUBMITTED ON LEGIBLY MARKED-UP PRINTS TO THE ENGINEER WITHIN TWO (2) WEEKS OF THE COMPLETION OF THE WATER LINE CONSTRUCTION.
15. CONTRACTOR SHALL SCHEDULE ALL TESTING TO ALLOW THE ENGINEER'S ATTENDANCE. FAILURE TO PROPERLY NOTIFY THE ENGINEER MAY RESULT IN RE-TESTING AT THE ENGINEER'S OPIION AND THE CONTRACTOR'S EXPENSE.
16. WATER SERVICE PROVIDED BY CITY OF APOPKA.
17. NEW HYDRANTS SHALL BE TESTED AND IN PROPER WORKING ORDER WITH DOCUMENTATION SUPPLIED TO THE FIRE MARSHAL PRIOR TO ANY COMBUSTIBLE CONSTRUCTION (I.E. FIRE FLOW TEST SHALL BE PERFORMED).
18. ANY EXISTING WELLS ON SITE SHALL BE ABANDONED IN ACCORDANCE WITH THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT RULES AND REGULATIONS.
19. ALL NEW WATER MAINS SHALL BE COLOR CODED PER F.D.E.P. REGULATIONS.

PAVING AND DRAINAGE

- 1. THE CONTRACTOR SHALL CONSTRUCT PAVEMENT IN ACCORDANCE WITH TYPICAL PAVEMENT SECTIONS AND CITY OF APOPKA SPECIFICATIONS. THE FINISHED PAVEMENT GRADES SHALL CONFORM TO THOSE SPECIFIED ON THE DRAINAGE PLAN.
2. EXCAVATION, PAVING AND STORM SEWER WORK SHALL BE DONE IN ACCORDANCE WITH F.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" AND CITY OF APOPKA SPECIFICATIONS.
3. UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATIONS AT PROPERTY LINES. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE OF THE SITE TO THE RETENTION PONDS AS SHOWN BY PROPOSED GRADES AND FLOW ARROWS.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL DRAINAGE AND SEWER STRUCTURES AND AT ALL ADJACENT LANDS AND ROADS.
5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL GEOTECHNICAL REPORTS PREPARED FOR THE SITE.
6. SOIL BORINGS AND SOIL ENGINEERING SERVICES HAVE BEEN PROVIDED BY UNIVERSAL ENGINEERING SCIENCES INC., AND ADDITIONAL SERVICES WILL BE PROVIDED TO THE CONTRACTOR UPON REQUEST TO THE OWNER. THIS ENGINEERING FIRM ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, ACCURACY AND COMPLETENESS OF THEIR WORK. EXCAVATION OF UNSUITABLE FILL AND COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE SOIL REPORTS.
7. THE SITE SHALL BE CLEARED OF ALL TREES EXCEPT THOSE WHICH ARE DESIGNATED TO REMAIN OR RELOCATED BEFORE CONSTRUCTION. THE CONTRACTOR SHALL MEET AT THE SITE WITH THE OWNER. AT THIS TIME, ANY TREES TO BE SAVED SHALL BE POINTED OUT AND TAGGED. THESE TREES SHALL BE PROTECTED FROM DAMAGE.
8. THE CONTRACTOR SHALL LOCATE ALL UTILITIES OR UNDERGROUND STRUCTURES PRIOR TO CONSTRUCTION AND NOTIFY EACH RESPECTIVE UTILITY OWNER FORTY-EIGHT HOURS (TWO WORKING DAYS) PRIOR TO COMMENCEMENT OF CONSTRUCTION.
9. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE SUPERVISING ENGINEER IF A PAVEMENT OR FOUNDATION STAKE IS DISTURBED.
10. THE CONTRACTOR SHALL INSTALL DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT.
11. REMOVED.
12. ALL MANHOLE AND INLET STRUCTURES SHALL BE PRECAST CONCRETE.
13. THE CONTRACTOR SHALL USE CONCRETE WITH A MIN. 28 DAY STRENGTH OF 3,000 P.S.I.
14. ALL SIDEWALK WIDTHS SHALL BE 5' OR AS NOTED AND SHALL HAVE 1" DEEP CONCRETION JOINTS EVERY 20' IN LENGTH. SIDEWALK CLOSURE JOINTS SHALL BE 2' OR MINIMUM LENGTH OF SIDEWALK SECTION SHALL BE 20'. SIDEWALKS NOT ABUTTING LOTS SHALL BE CONSTRUCTED AS PART OF THE INFRASTRUCTURE.
15. PROVIDE F.D.O.T. TYPE III SILT FENCE ALONG THE PROPERTY LINES AND PHASE LINES AS WELL AS ANY CONSTRUCTION WITHIN THE OTHER PHASES THAT IS DEEMED NECESSARY.
16. ALL TEST REPORTS GENERATED BY A TESTING FIRM ARE TO HAVE COPIES SENT DIRECTLY TO CITY OF APOPKA AS SOON AS THEY ARE GENERATED. CLEARANCE FROM CITY OF APOPKA SHALL BE RECEIVED PRIOR TO PAVING.
17. CONTRACTOR SHALL COMPLY WITH ALL CITY OF APOPKA REQUIREMENTS FOR INSPECTION AND TESTING.
18. ALL CONCRETE PIPE JOINTS SHALL BE WRAPPED IN FILTER FABRIC.
19. ALL TRAFFIC CONTROL SIGNS, MARKINGS AND STREET NAME SIGNS ARE TO CONFORM TO F.D.O.T. AND ROADWAY AND TRAFFIC DESIGN STANDARDS, MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, CITY OF APOPKA I.D.C., AND CITY OF APOPKA CODES.
20. REGULATORY SIGNS AND MARKINGS SHALL BE IN PLACE PRIOR TO FINAL INSPECTION OF PAVING AND DRAINAGE IMPROVEMENTS.
21. PAVEMENT RETURN RADII SHALL BE MEASURED FROM THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
22. POND SLOPES AND BERMS SHALL BE SLOOED, BOTTOM OF POND SHALL BE SEEDED.
23. THE BASE COURSE SHALL NOT BE CONSTRUCTED UNTIL AFTER SUBGRADE CONSTRUCTION HAS BEEN COMPLETED AND REQUIRED SUBGRADE TEST RESULTS HAVE BEEN SUBMITTED AND APPROVED BY THE CITY ENGINEER.
24. THE FINISHED BASE COURSE SHALL BE PRIMED WITHOUT DELAY, PROTECTED FROM OVERWATER DRAINAGE AND TRAFFIC UNLESS OTHERWISE NOTED. THE WEARING SURFACE IS APPLIED. ALL BAD AREAS SHALL BE CUT OUT AND REPLACED PRIOR TO APPLYING WEARING SURFACE.
25. ASSUMING ACCEPTABLE CURING, THE WEARING SURFACE SHALL BE APPLIED NO SOONER THAN SEVEN (7) DAYS AND NO LATER THAN THIRTY (30) DAYS AFTER COMPLETION.
26. ALL PRECAST DRAINAGE STRUCTURES TO HAVE STEEL ANGLE IRON FRAME. ALL STRUCTURES IN PAVED AREAS TO HAVE STEEL RECTILINEAR GRATES WITH IN-20 LOADING.
27. ALL HOPE DRAINAGE PIPE SHALL BE ADS N-12 PUSH ON WATER JOINT PIPE OR APPROVED EQUAL.

EMERGENCY WASTEWATER SPILL AND WATER MAIN BREAK PROCEDURES

- 1. EXCAVATING CAUTIOUSLY: THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN THE VICINITY OF WASTEWATER FORCE MAINS AND GRAVITY SEWERS. FORCE MAIN AND SEWER LOCATIONS SHOWN ON PLANS ARE NOT EXACT OR GUARANTEED. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING EXISTING UTILITY LOCATIONS.
2. TELEPHONE NOTIFICATION: THE CITY OF APOPKA DISPATCH OPERATOR SHALL BE NOTIFIED IMMEDIATELY IN THE EVENT OF A FORCE MAIN, GRAVITY SEWER OR WATER MAIN BREAK OR DAMAGE AT (407) 703-1731. THE CITY DISPATCH CAN BE REACHED AT (407) 703-1737.
3. REPAIR IMMEDIATELY ALL DAMAGE TO CITY OF APOPKA MAINS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE, IF THE REPAIR IS NOT MADE IN A TIMELY MANNER, AS DETERMINED BY THE CITY OF APOPKA UTILITIES INSPECTOR, CITY OF APOPKA MAY PERFORM REPAIRS AND THE CONTRACTOR WILL BE CHARGED FOR REPAIRS.
4. CITY OF APOPKA UTILITIES DEPARTMENT GENERAL TELEPHONE NUMBERS: CITY OF APOPKA UTILITIES CONSTRUCTION INSPECTION SECTION - (407) 703-1718. CITY OF APOPKA UTILITIES WASTEWATER DIVISION - (407) 703-1731. CITY OF APOPKA UTILITIES WATER DIVISION - (407) 703-1731. CITY OF APOPKA UTILITIES ENGINEERING DIVISION - (407) 703-1718.
5. ADVANCE NOTIFICATION OF CONSTRUCTION THE CITY OF APOPKA UTILITIES CONSTRUCTION SECTION ((407) 703-1731) SHALL BE NOTIFIED AT LEAST SEVEN (7) DAYS PRIOR TO ANY CONSTRUCTION ACTIVITY.
6. ADVANCE NOTIFICATION OF PENDING CONNECTION THE CITY OF APOPKA WATER DIVISION ((407) 703-1731) AND CITY OF APOPKA WASTEWATER DIVISION ((407) 703-1731) SHALL BE NOTIFIED AT LEAST (7) DAYS IN ADVANCE TO SCHEDULE MAIN TIE-INS AND VALVE OPERATIONS.
7. OPERATION OF CITY OF APOPKA VALVES WATER, WASTEWATER, AND REUSE VALVES ARE TO BE OPERATED ONLY BY CITY OF APOPKA UTILITIES INSPECTOR ((407) 703-1731). ALL VALVES BEING INSTALLED ARE TO REMAIN CLOSED DURING CONSTRUCTION.
8. OPERATION OF CITY OF APOPKA PUMP STATION THE CONTRACTOR SHALL COORDINATE ALL PUMP STATION OPERATION AND SHUT DOWN CONTROL WITH AN CITY OF APOPKA UTILITIES INSPECTOR ((407) 703-1731).



GENERAL NOTES FOR VISTA RESERVE FLORIDA CITY OF APOPKA

THE PULTE GROUP 4805 WINDLAND ROAD, SUITE 600 ORLANDO, FLORIDA 32811 (407) 661-1814

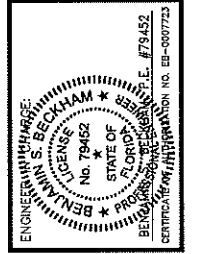
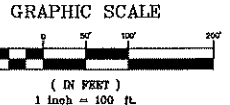
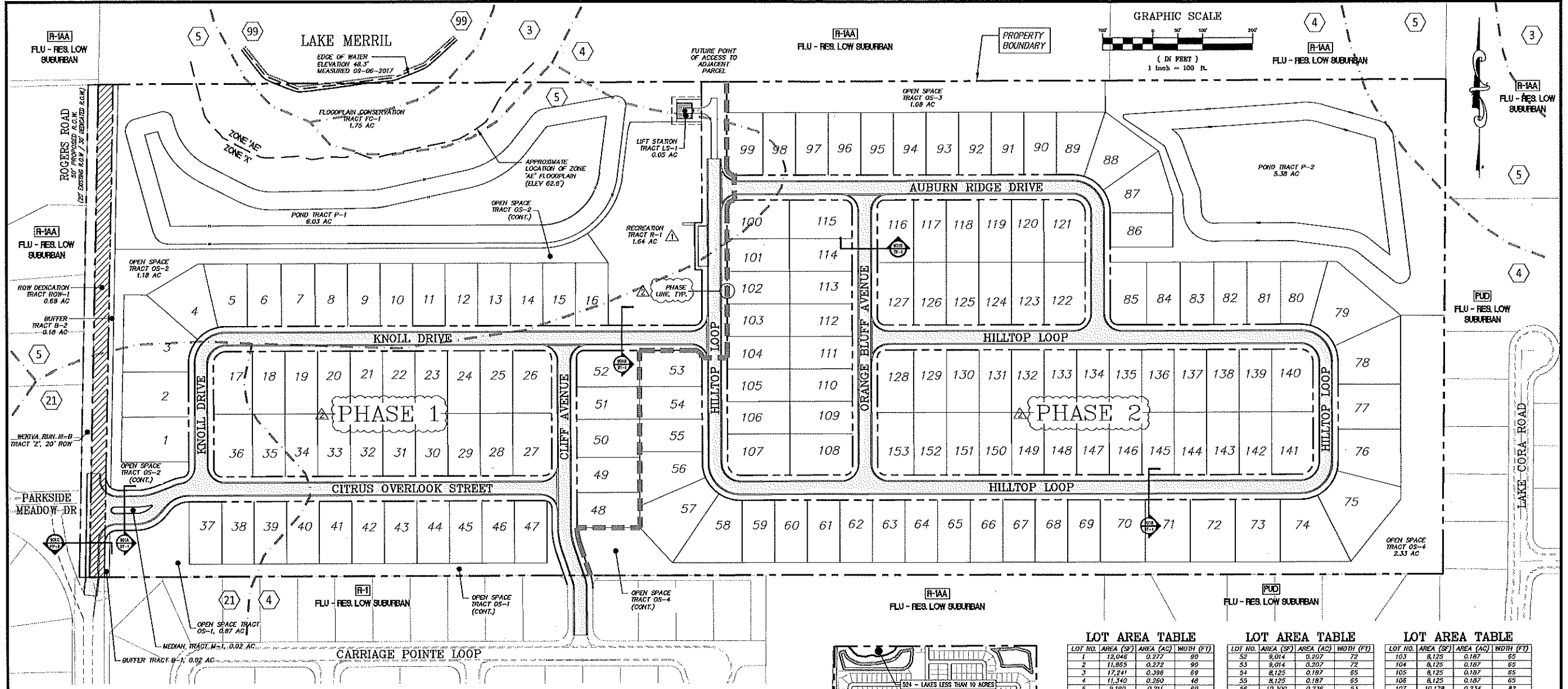


Table with 2 columns: REVISION, DATE. Contains revision history with numbers 1 through 10 in the first column and blank space for dates in the second column.

Table with 2 columns: JOB #, DATE, SCALE, DESIGNED BY, DRAWN BY, APPROVED BY. Contains project details: JOB # 17051, DATE: 06/22/2018, SCALE: N.T.S., DESIGNED BY: BSB, DRAWN BY: BSB, APPROVED BY: BSB.

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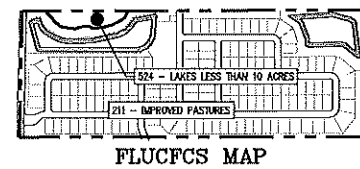


**PROJECT NOTES**

- THE PROJECT IS TO BE DEVELOPED IN TWO PHASES
- EXISTING FUTURE LAND USE: RESIDENTIAL LOW SUBURBAN PLANNED UNIT DEVELOPMENT (PUD)
- EXISTING ZONING
- TOTAL DEVELOPABLE LAND AREA: 61.01 ACRES (2,681,310 SF)
- RIGHT-OF-WAY DEDICATION (TRACT ROW-1): 0.68 ACRES
- NET DEVELOPABLE LAND AREA: 60.42 ACRES
- MAXIMUM RESIDENTIAL DENSITY (ALLOWED): UP TO 3.5 DU/AC
- NET RESIDENTIAL DENSITY: 2.53 DU/AC
- PROPOSED SINGLE-FAMILY DETACHED LOTS: 153 LOTS
- MINIMUM LOT AREA: 8,125 SF
- MINIMUM LOT WIDTH: 65'
- MINIMUM LOT DEPTH: 125'
- MINIMUM LIVING AREA: 2,190 SF
- MAXIMUM BUILDING HEIGHT: 35'
- SETBACKS:
  - FROM NATURAL SURFACE WATER: 50'
  - FRONT PRIMARY: 25'
  - FRONT ENTRY GARAGE: 30'
  - REAR PRIMARY: 20'
  - SIDE: 7.5'
  - CORNER SIDE: 15'
  - ACCESSORY STRUCTURES: PER LDC SEC. 7.01.00
- RECREATION SPACE CALCULATIONS:
  - REQUIRED (163 UNITS x 2.6 POP/UNIT) x (3.6 ACRES / 1,000 POP) = 1.43 ACRES
  - PROVIDED: TRACT R-1 = 1.67 ACRES
- OPEN SPACE CALCULATIONS:
  - REQUIRED (60.42 ACRES x 30%) = 18.13 ACRES
  - PROVIDED: TRACTS P-1, P-2 (MAX 50% OF REQ.) = 9.06 AC. TRACTS B-1, B-2, FC-1, M-1, OS-1, OS-2, OS-3, OS-4, R-1 = 9.10 AC.
- SCHOOLS:
  - ELEMENTARY: WOLF LAKE
  - MIDDLE: WOLF LAKE
  - HIGH: APOPKA
- STREET LIGHT POLES AND FIXTURES SHALL BE OF A DECORATIVE TYPE
- THE RECREATION TRACT AMENITIES ARE TO BE CONSTRUCTED PRIOR TO THE FIRST HOME CLOSING. AS AN ALTERNATE, A BOND WILL BE PERMITTED.

**TRACT TABLE**

TRACT	USAGE	OWNERSHIP	MAINTENANCE	AREA (AC)
B-1	BUFFER	H.O.A.	H.O.A.	0.02
B-2	BUFFER	H.O.A.	H.O.A.	0.19
FC-1	FLOODPLAIN CONSERVATION	H.O.A.	H.O.A.	1.75
LS-1	LIFT-STATION	CITY OF APOPKA	CITY OF APOPKA	0.05
M-1	MEDIAN	H.O.A.	H.O.A.	0.02
OS-1	OPEN SPACE	H.O.A.	H.O.A.	0.87
OS-2	OPEN SPACE	H.O.A.	H.O.A.	1.18
OS-3	OPEN SPACE	H.O.A.	H.O.A.	1.08
OS-4	OPEN SPACE	H.O.A.	H.O.A.	2.33
P-1	STORMWATER POND	H.O.A.	H.O.A.	6.03
P-2	STORMWATER POND	H.O.A.	H.O.A.	5.38
R-1	RECREATION	H.O.A.	H.O.A.	1.64
ROW-1	RIGHT-OF-WAY DEDICATION	CITY OF APOPKA	CITY OF APOPKA	0.68
ROW-2	RIGHT-OF-WAY DEDICATION	CITY OF APOPKA	CITY OF APOPKA	0.51
	SINGLE-FAMILY LOTS	PRIVATE	PRIVATE	31.38
	GROSS LAND AREA:			61.10



**SOILS LEGEND**

- 1. BASIN (FINE SAND, FREQUENTLY FLOODED, 0-1% SLOPES, HSD-0)
- 2. CANAL (FINE SAND, 0-5% SLOPES, HSD-A)
- 3. CANAL (FINE SAND, 0-12% SLOPES, HSD-A)
- 4. LAKE (FINE SAND, 0-5% SLOPES, HSD-A)
- 5. WATER

**LOT AREA TABLE**

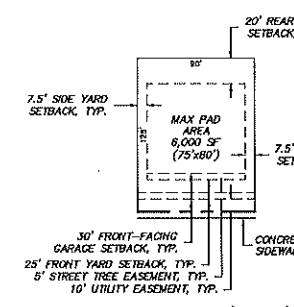
LOT NO.	AREA (SF)	AREA (AC)	WIDTH (FT)
1	12,046	0.277	90
2	11,865	0.272	90
3	17,241	0.396	69
4	11,340	0.260	48
5	9,190	0.211	60
6	8,438	0.194	67
7	8,436	0.194	67
8	8,125	0.187	65
9	8,125	0.187	65
10	8,125	0.187	65
11	8,125	0.187	65
12	8,125	0.187	65
13	8,125	0.187	65
14	8,125	0.187	65
15	8,125	0.187	65
16	8,125	0.187	65
17	9,553	0.219	77
18	8,125	0.187	65
19	8,125	0.187	65
20	8,125	0.187	65
21	8,125	0.187	65
22	8,125	0.187	65
23	8,125	0.187	65
24	8,125	0.187	65
25	8,125	0.187	65
26	9,539	0.221	77
27	9,539	0.221	77
28	8,125	0.187	65
29	8,125	0.187	65
30	8,125	0.187	65
31	8,125	0.187	65
32	8,125	0.187	65
33	8,125	0.187	65
34	8,125	0.187	65
35	8,125	0.187	65
36	9,539	0.221	77
37	8,125	0.187	65
38	8,125	0.187	65
39	8,125	0.187	65
40	8,125	0.187	65
41	8,125	0.187	65
42	8,125	0.187	65
43	8,125	0.187	65
44	8,125	0.187	65
45	8,125	0.187	65
46	8,125	0.187	65
47	8,124	0.186	65
48	8,813	0.202	70
49	8,813	0.202	70
50	9,500	0.218	76
51	8,125	0.187	65

**LOT AREA TABLE**

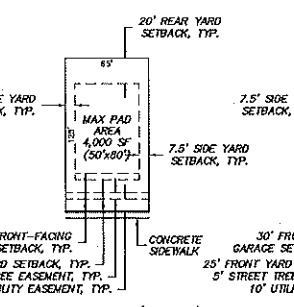
LOT NO.	AREA (SF)	AREA (AC)	WIDTH (FT)
52	9,014	0.207	72
53	9,014	0.207	72
54	8,125	0.187	65
55	8,125	0.187	65
56	10,300	0.236	53
57	13,964	0.321	42
58	12,377	0.284	49
59	8,125	0.187	65
60	8,125	0.187	65
61	8,125	0.187	65
62	8,125	0.187	65
63	8,125	0.187	65
64	8,125	0.187	65
65	8,125	0.187	65
66	8,125	0.187	65
67	8,125	0.187	65
68	8,125	0.187	65
69	8,125	0.187	65
70	11,250	0.258	90
71	11,250	0.258	90
72	11,250	0.258	90
73	11,250	0.258	90
74	13,914	0.317	78
75	18,308	0.424	64
76	12,481	0.287	83
77	11,250	0.258	90
78	13,863	0.317	77
79	16,104	0.370	65
80	9,546	0.222	69
81	8,125	0.187	65
82	8,125	0.187	65
83	8,125	0.187	65
84	8,125	0.187	65
85	9,014	0.207	72
86	8,125	0.187	65
87	11,114	0.255	44
88	11,371	0.261	48
89	9,749	0.224	56
90	8,125	0.187	65
91	8,125	0.187	65
92	8,125	0.187	65
93	8,125	0.187	65
94	8,125	0.187	65
95	8,125	0.187	65
96	8,125	0.187	65
97	8,125	0.187	65
98	8,124	0.186	65
99	9,014	0.207	72
100	9,539	0.221	77
101	8,125	0.187	65
102	8,125	0.187	65

**LOT AREA TABLE**

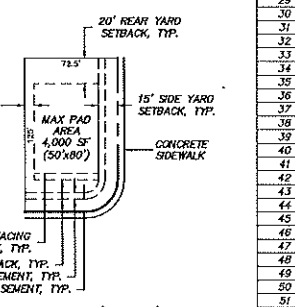
LOT NO.	AREA (SF)	AREA (AC)	WIDTH (FT)
103	8,125	0.187	65
104	8,125	0.187	65
105	8,125	0.187	65
106	8,125	0.187	65
107	10,178	0.234	82
108	10,264	0.236	82
109	8,125	0.187	65
110	8,125	0.187	65
111	8,125	0.187	65
112	8,125	0.187	65
113	8,125	0.187	65
114	8,125	0.187	65
115	9,539	0.221	77
116	9,014	0.207	72
117	8,125	0.187	65
118	8,125	0.187	65
119	8,125	0.187	65
120	8,125	0.187	65
121	8,125	0.187	65
122	10,284	0.236	82
123	8,125	0.187	65
124	8,125	0.187	65
125	8,125	0.187	65
126	8,125	0.187	65
127	9,014	0.207	72
128	9,014	0.207	72
129	8,125	0.187	65
130	8,125	0.187	65
131	8,125	0.187	65
132	8,125	0.187	65
133	8,125	0.187	65
134	8,125	0.187	65
135	8,125	0.187	65
136	8,125	0.187	65
137	8,125	0.187	65
138	8,125	0.187	65
139	8,125	0.187	65
140	10,178	0.234	82
141	10,178	0.234	82
142	8,125	0.187	65
143	8,125	0.187	65
144	8,125	0.187	65
145	8,125	0.187	65
146	8,125	0.187	65
147	8,125	0.187	65
148	8,125	0.187	65
149	8,125	0.187	65
150	8,125	0.187	65
151	8,125	0.187	65
152	8,125	0.187	65
153	9,014	0.207	72



**TYPICAL 90'x125' LOT DIAGRAM**  
LOT WIDTH MEASURED AT BLDG. SETBACK, NOT TO SCALE



**TYPICAL 65'x125' LOT DIAGRAM**  
LOT WIDTH MEASURED AT BLDG. SETBACK, NOT TO SCALE



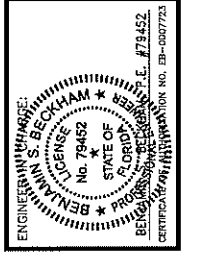
**TYPICAL 85'x125' CORNER LOT DIA**  
LOT WIDTH MEASURED AT BLDG. SETBACK, NOT TO SCALE



**MADDEN**  
DOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 280  
Maitland, Florida 32751  
(407) 629-8330

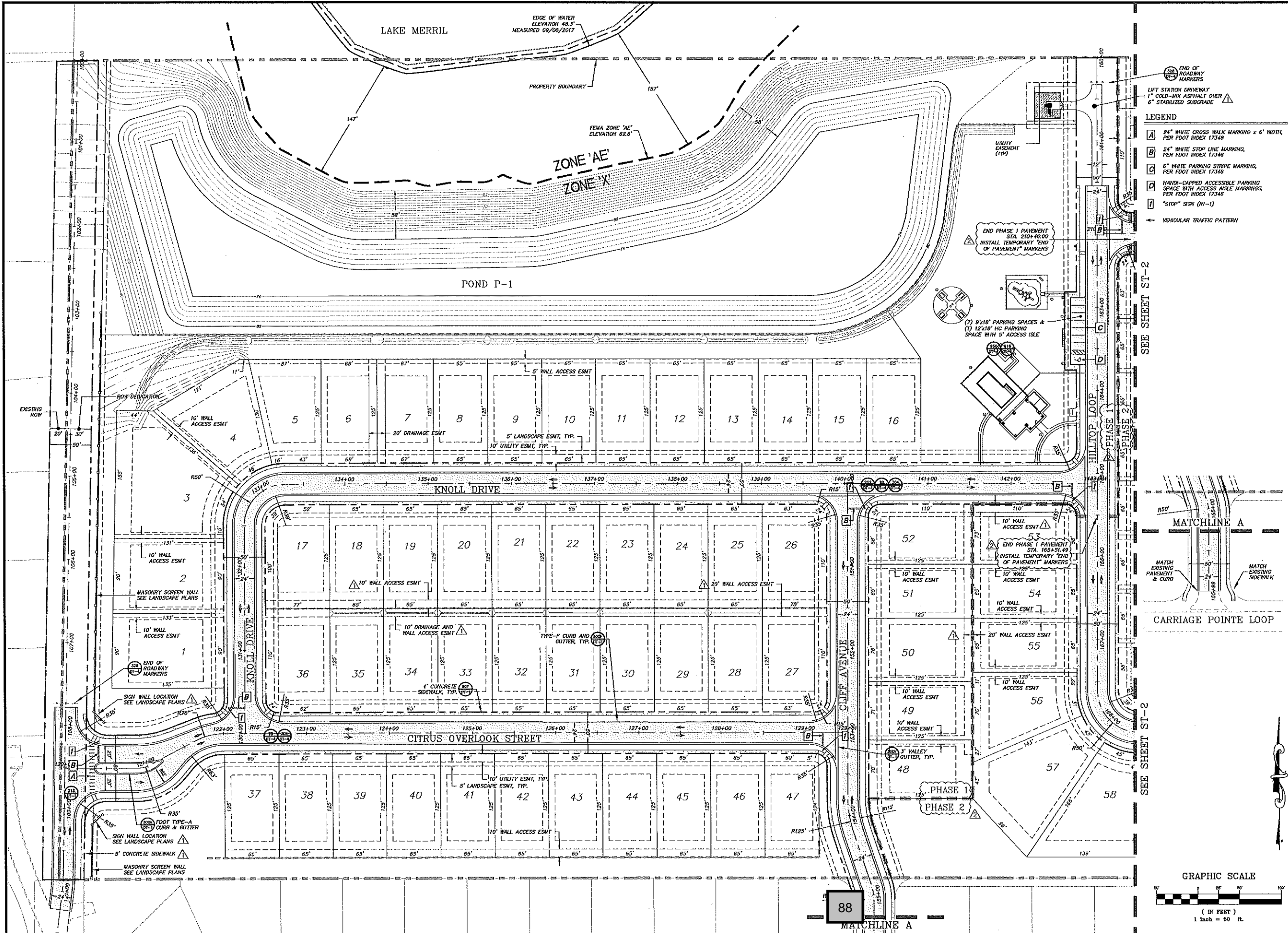
OVERALL SITE PLAN FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

THE PULTE GROUP  
4001 VINELAND ROAD, SUITE 800  
ORLANDO, FLORIDA 32811  
(407) 661-1514



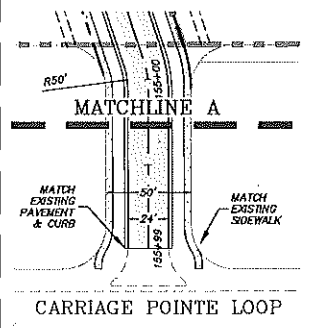
DATE	REVISIONS

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SCALE: 1" = 100'  
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DRAWN BY: BSB  
APPROVED BY: BSB

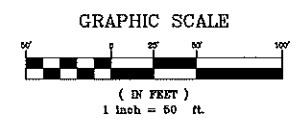


- END OF ROADWAY MARKERS
- LIFT STATION DRIVEWAY
- 1" COLD-MIX ASPHALT OVER 6" STABILIZED SUBGRADE
- LEGEND
- A 24" WHITE CROSS WALK MARKING x 6' WIDTH, PER FOOT INDEX 17346
  - B 24" WHITE STOP LINE MARKING, PER FOOT INDEX 17346
  - C 6" WHITE PARKING STRIPE MARKING, PER FOOT INDEX 17346
  - D HAND-CAPPED ACCESSIBLE PARKING SPACE WITH ACCESS AISLE MARKINGS, PER FOOT INDEX 17346
  - E \*STOP\* SIGN (R1-1)
- VEHICULAR TRAFFIC PATTERN

SEE SHEET ST-2



SEE SHEET ST-2



**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 250  
Maitland, Florida 32751  
(407) 629-8330

SITE LAYOUT PLAN  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

**THE PULTE GROUP**  
4801 VINELAND ROAD, SUITE 900  
ORLANDO, FLORIDA 32811  
(407) 861-1514

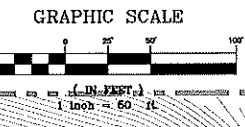
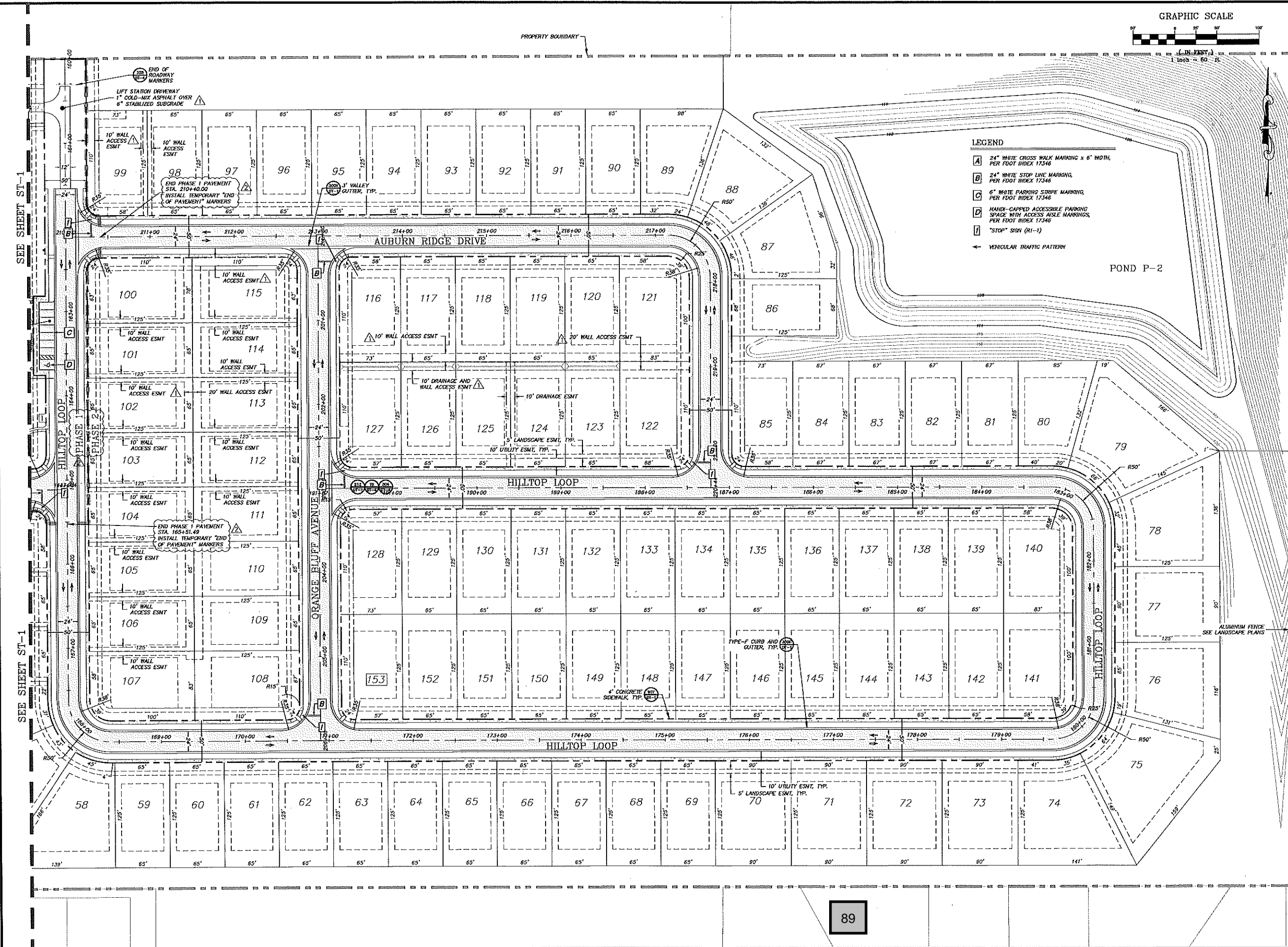
ENGINEER/ARCHITECT  
BENJAMIN S. BECKHAM \* BENJAMIN S. BECKHAM & ASSOCIATES, P.A.  
STATE OF FLORIDA  
BECKHAM S. BECKHAM & ASSOCIATES, P.A.  
CERTIFICATE NO. 1479452  
EXPIRES 12/31/2024

17/22/2018	REVISED PER CITY COMMENTS
10/23/18	PHASING PER CLIENT
08/22/18	DATE
17051	DATE
06/22/2018	DATE
1" = 60'	SCALE
BSB	DESIGNED BY
BSB	DRAWN BY
BSB	APPROVED BY

ST-1  
8 of 39

H:\Data\17051\Eng\TheVista\17051 ST.dwg Rev. 01, 2018-06-27 09:37 am





  
**MADDEN**  
 MOOREHEAD & STOKES, INC.  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 260  
 Maitland, Florida 32751  
 (407) 629-6330

SITE LAYOUT PLAN  
 FOR  
**VISTA RESERVE**  
 CITY OF APOPKA, FLORIDA

**THE PULTE GROUP**  
 4901 WINDLAND ROAD, SUITE 600  
 ORLANDO, FLORIDA 32811  
 (407) 681-1514

ENGINEER IN CHARGE:  
**BEALAN S. BECKHAM**, PE, No. 179452  
 BECKHAM CONSULTANTS, P.A.  
 10740 WINDLAND ROAD, SUITE 600  
 ORLANDO, FLORIDA 32811  
 (407) 681-1514

NO.	DATE	DESCRIPTION
1	06/22/2018	ISSUED FOR PERMIT
2	08/08/2018	REVISED PER CITY COMMENTS
3	08/27/2018	PHASES PER CLIENT

JOB # 17051  
 DATE 06/22/2018  
 SCALE 1" = 60'  
 DESIGNED BY BSB  
 DRAWN BY BSB  
 APPROVED BY BSB

**89**

GRAPHIC SCALE

( IN FEET )

1" = 50'

LAKE MERRIL

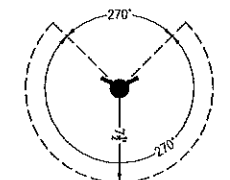
EDGE OF WATER  
ELEVATION 48.3'  
MEASURED 09/06/2017

HAZARD	HORIZONTAL SEPARATION	VERTICAL SEPARATION		JOINT SPACING
		WATER ABOVE	WATER BELOW	
STORM SEWER	3FT MIN	12IN PROF, 6IN MIN	12IN MIN	3FT MIN
STORM FORCE MAIN	3FT MIN	12IN MIN	12IN MIN	3FT MIN
RECLAIMED WATER F REGULATED UNDER 62-810	3FT MIN	12IN MIN	12IN MIN	3FT MIN
RECLAIMED WATER F NOT REGULATED UNDER 62-810	10FT PROF, 3FT MIN	12IN PROF, 6IN MIN	12IN MIN	6FT MIN
WASTEWATER SANITARY SEWER	10FT PROF, 3FT MIN	12IN PROF, 6IN MIN	12IN MIN	3FT MIN
GRANITY SANITARY SEWER	10FT PROF, 3FT MIN	12IN PROF, 6IN MIN	12IN MIN	3FT MIN
SANITARY SEWER FORCE MAIN	10FT PROF, 3FT MIN	12IN MIN	12IN MIN	6FT MIN
SEWAGE TREATMENT & DISPOSAL SYSTEM	10FT MIN	NONE	NONE	NONE

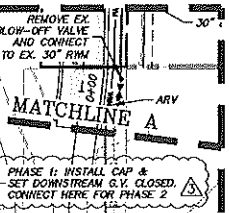
ZONE 'AE'  
ZONE 'X'

POND P-1

4" G.V. & 2" B.O.  
POTLS 57 LF  
SAN 8 PVC Ø 0.40X  
1" WATER SERVICE TO LIFT STATION



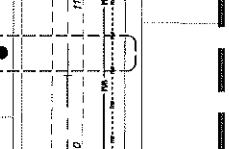
FIRE HYDRANT CLEARANCE DETAIL  
NO OBSTRUCTIONS SHALL BE PLACED WITHIN A 75' CLEARANCE DISTANCE FROM THE REAR AND SIDES OF A FIRE HYDRANT AND NO OBSTRUCTIONS SHALL BE PLACED OR GROWN IN FRONT OF A FIRE HYDRANT.



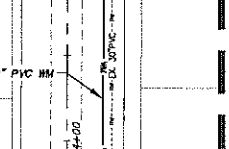
PHASE 1: INSTALL CAP & SET DOWNSTREAM G.V. CLOSED. CONNECT HERE FOR PHASE 2



PHASE 1: EXTEND P1605 10' MIN. BEYOND PAVEMENT AND FLAG



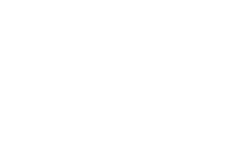
PHASE 1: EXTEND P1605 10' MIN. BEYOND PAVEMENT AND FLAG



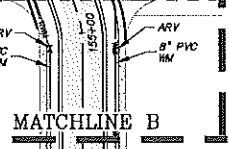
PHASE 1: EXTEND P1605 10' MIN. BEYOND PAVEMENT AND FLAG



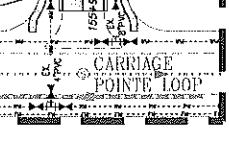
PHASE 1: EXTEND P1605 10' MIN. BEYOND PAVEMENT AND FLAG



PHASE 1: EXTEND P1605 10' MIN. BEYOND PAVEMENT AND FLAG



PHASE 1: EXTEND P1605 10' MIN. BEYOND PAVEMENT AND FLAG



PHASE 1: EXTEND P1605 10' MIN. BEYOND PAVEMENT AND FLAG



**MADDEN**  
MORRHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 260  
Maitland, Florida 32751  
(407) 629-8330

UTILITY PLAN  
FOR  
**VISTA RESERVE**  
FLORIDA  
CITY OF APOPKA

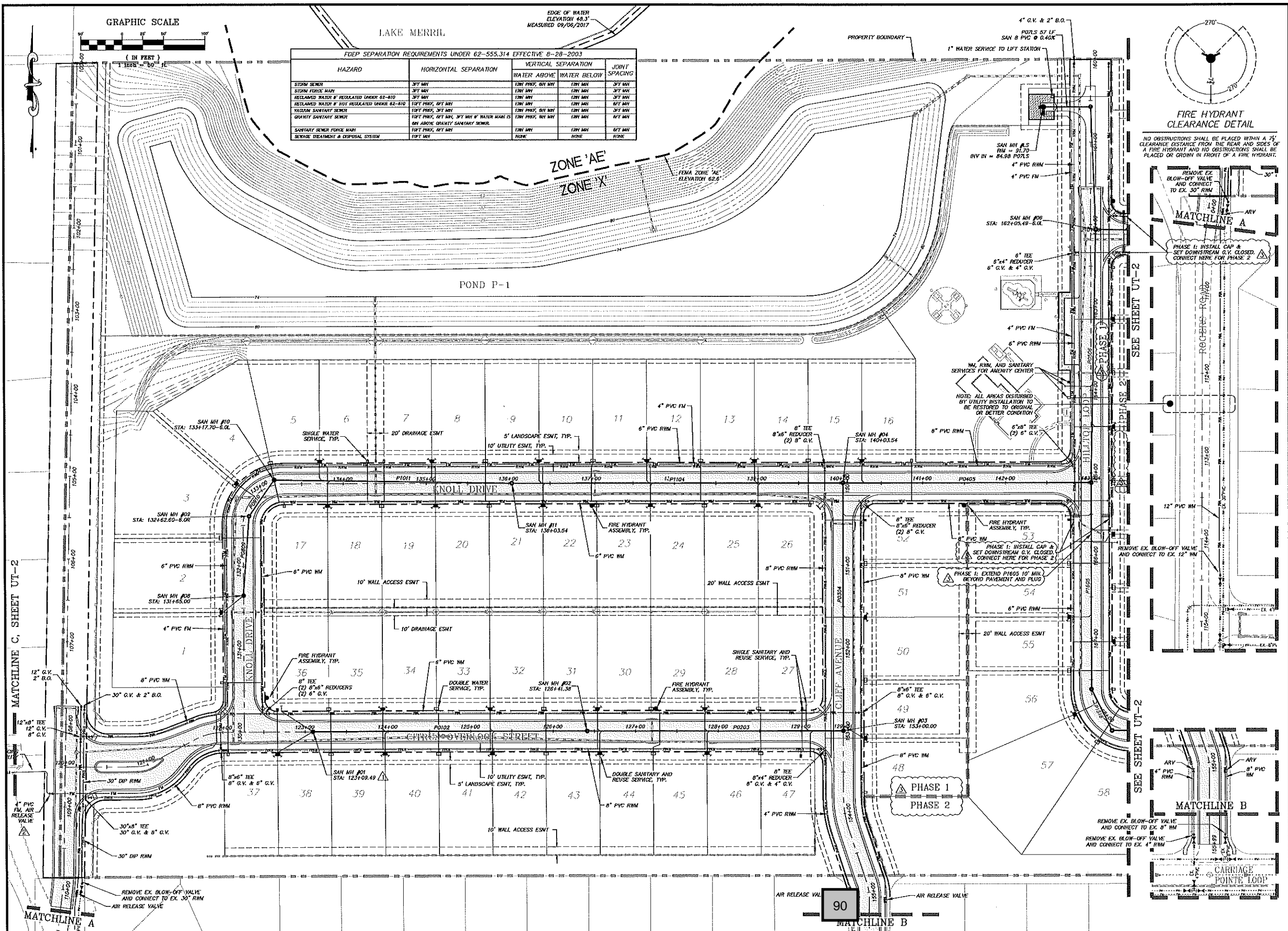
THE PULTE GROUP  
4801 WINDLAND ROAD, SUITE 500  
ORLANDO, FLORIDA 32817  
(407) 661-1514

ENGINEER/ARCHITECT  
BENJAMIN S. BECKHAM  
No. 74652  
STATE OF FLORIDA  
REGISTERED PROFESSIONAL ENGINEER  
BENJAMIN S. BECKHAM  
No. 673452  
REGISTERED ARCHITECT  
CENTRAL FLORIDA ARCHITECTURE, INC. P.C.  
No. 0007723

NO.	DATE	REVISIONS
1	06/22/2018	ISSUE FOR PERMITS
2	06/22/2018	ISSUE FOR PERMITS
3	06/22/2018	ISSUE FOR PERMITS
4	06/22/2018	ISSUE FOR PERMITS
5	06/22/2018	ISSUE FOR PERMITS
6	06/22/2018	ISSUE FOR PERMITS
7	06/22/2018	ISSUE FOR PERMITS
8	06/22/2018	ISSUE FOR PERMITS
9	06/22/2018	ISSUE FOR PERMITS
10	06/22/2018	ISSUE FOR PERMITS

JOB # 17051  
DATE: 06/22/2018  
SCALE: 1" = 50'  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB

UT-1  
10 of 39



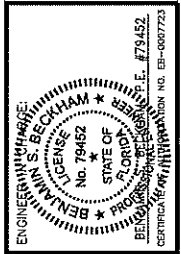
UT-1  
10 of 39



**MADDEN**  
 MOORHEAD & STOKES, INC.  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 280  
 Maitland, Florida 32751  
 (407) 629-8330

UTILITY PLAN  
 FOR  
**VISTA RESERVE**  
 CITY OF APOPKA, FLORIDA

THE PULTE GROUP  
 4901 VINELAND ROAD, SUITE 500  
 ORLANDO, FLORIDA 32811  
 (407) 661-1514

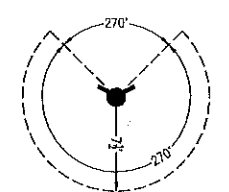


DATE	REVISIONS

JOB # 17051  
 DATE: 05/22/2018  
 SCALE: 1" = 50'  
 DESIGNED BY: BSB  
 DRAWN BY: BSB  
 APPROVED BY: BSB

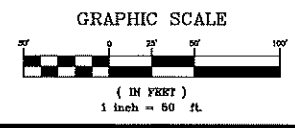
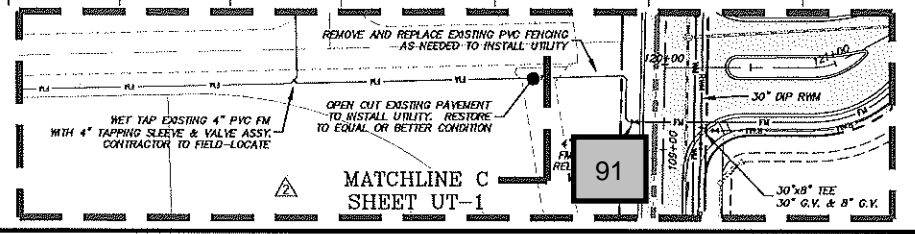
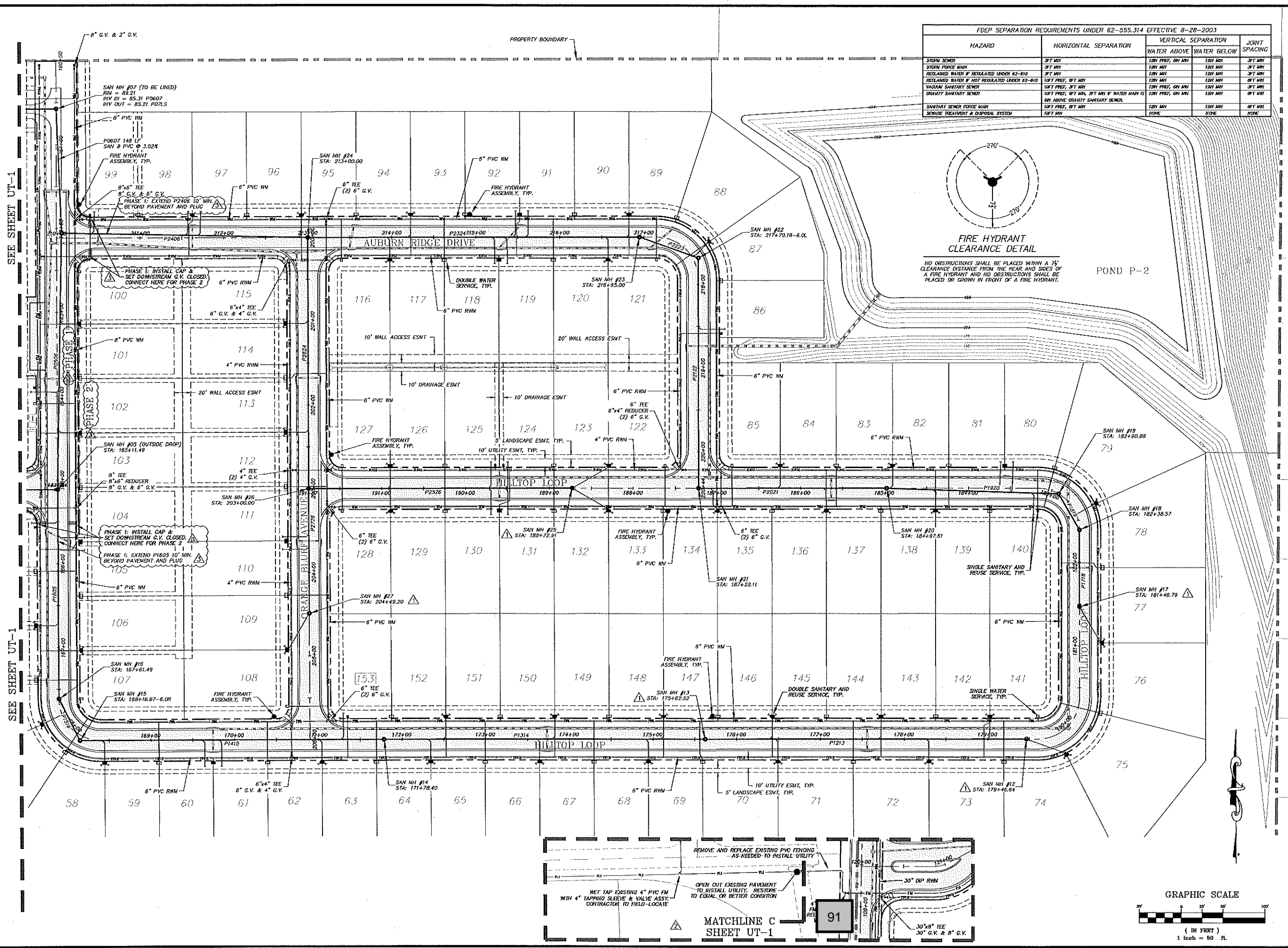
UT-2  
 11 of 39

HAZARD	HORIZONTAL SEPARATION	VERTICAL SEPARATION		JOINT SPACING
		WATER ABOVE	WATER BELOW	
STORM SEWER	3 FT MIN	1200 PRSF, OR MIN	1200 MIN	3 FT MIN
STORM FORCE MAIN	3 FT MIN	1200 MIN	1200 MIN	3 FT MIN
RECLAIMED WATER IF REGULATED UNDER 62-810	3 FT MIN	1200 MIN	1200 MIN	3 FT MIN
RECLAIMED WATER IF NOT REGULATED UNDER 62-810	10 FT PRSF, 0 FT MIN	1200 MIN	1200 MIN	3 FT MIN
VACUUM SANITARY SEWER	10 FT PRSF, 3 FT MIN	1200 PRSF, OR MIN	1200 MIN	3 FT MIN
GRAVITY SANITARY SEWER	10 FT PRSF, 0 FT MIN, 3 FT MIN IF WATER MAIN IS ON ABOVE QUALITY SANITARY SEWER	1200 PRSF, OR MIN	1200 MIN	3 FT MIN
SANITARY SEWER FORCE MAIN	10 FT PRSF, 0 FT MIN	1200 MIN	1200 MIN	0 FT MIN
SEWAGE TREATMENT & DISPOSAL SYSTEM	10 FT MIN	NONE	NONE	NONE



**FIRE HYDRANT CLEARANCE DETAIL**  
 NO OBSTRUCTIONS SHALL BE PLACED WITHIN A 7' CLEARANCE DISTANCE FROM THE REAR AND SIDES OF A FIRE HYDRANT AND NO OBSTRUCTIONS SHALL BE PLACED OR GROWN IN FRONT OF A FIRE HYDRANT.

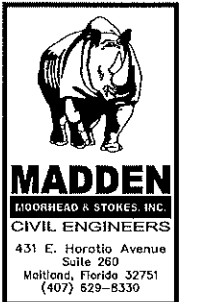
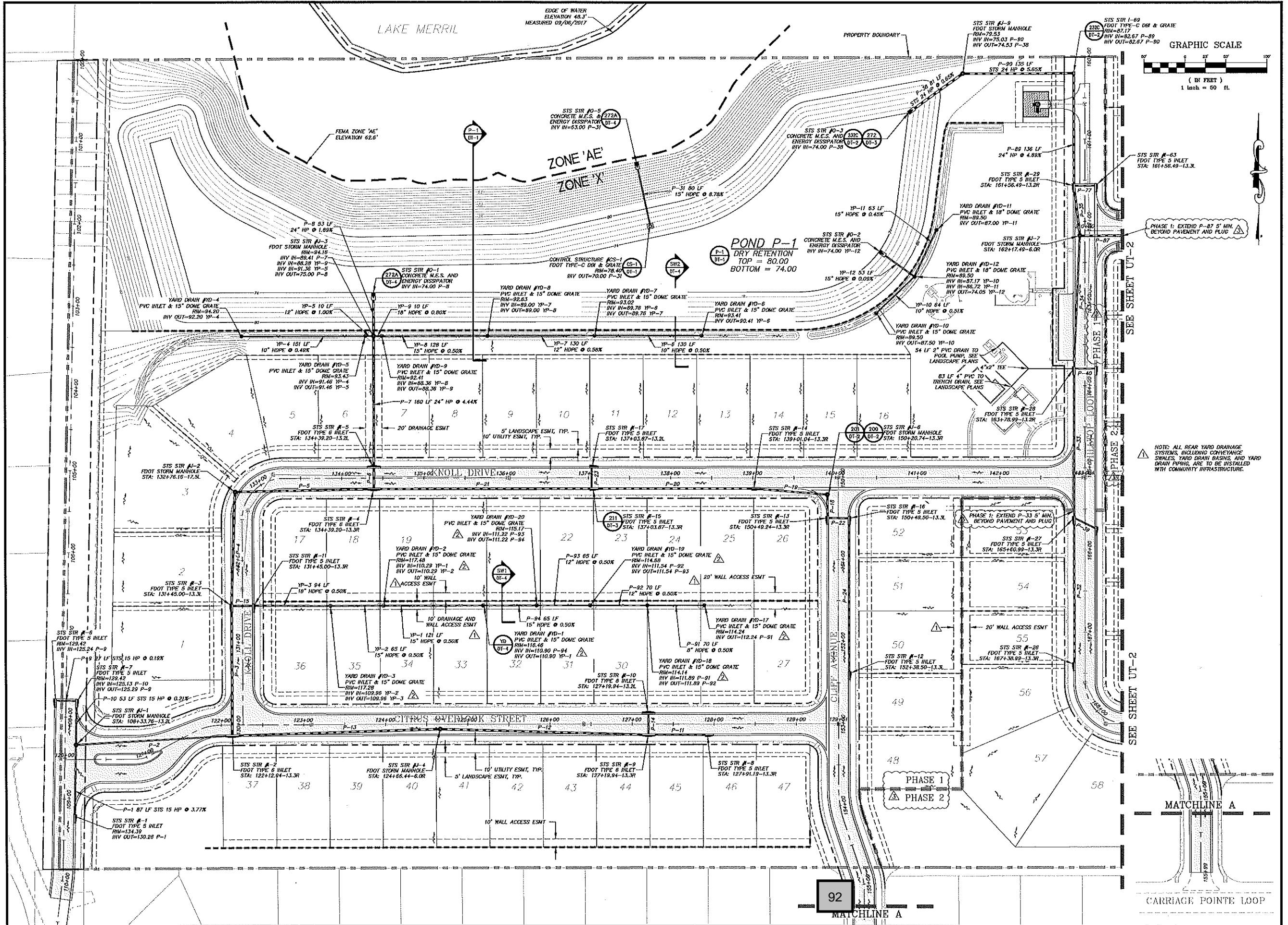
POND P-2



SEE SHEET UT-1

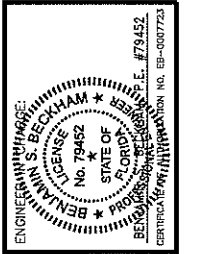
SEE SHEET UT-1

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DRAINAGE PLAN  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

THE PULTE GROUP  
4801 WINDLAND ROAD, SUITE 800  
ORLANDO, FLORIDA 32817  
(407) 661-1514



NO.	DATE	REVISIONS

JOB # 17051  
DATE: 06/22/2018  
SCALE: 1" = 50'  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB









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CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 250  
Maitland, Florida 32751  
(407) 629-8330

GRADING PLAN  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

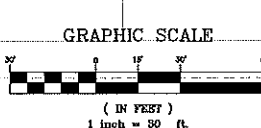
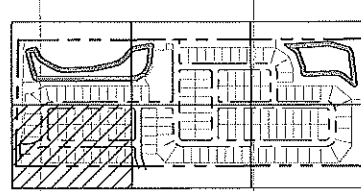
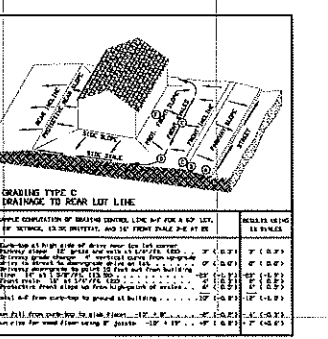
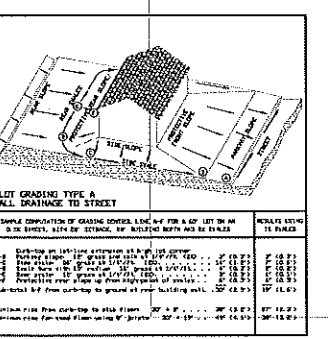
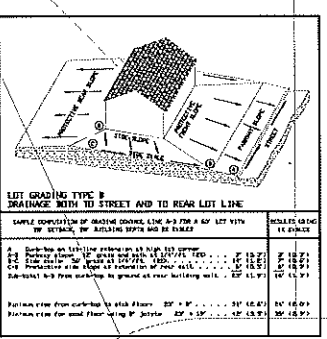
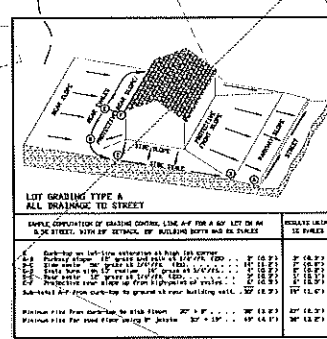
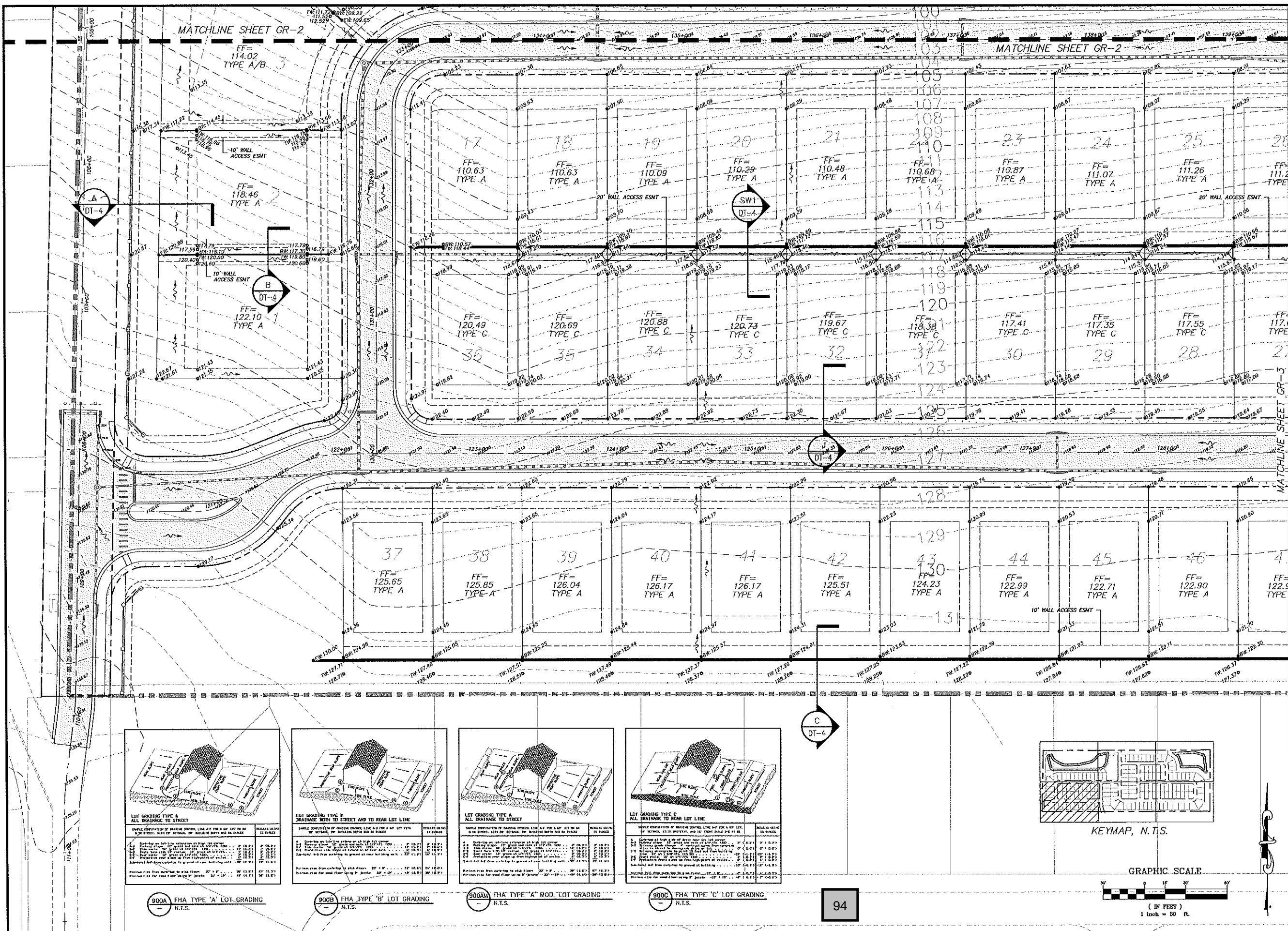
THE PULTE GROUP  
4801 VINELAND ROAD, SUITE 500  
ORLANDO, FLORIDA 32811  
(407) 661-1514

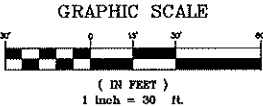
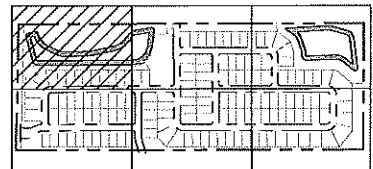
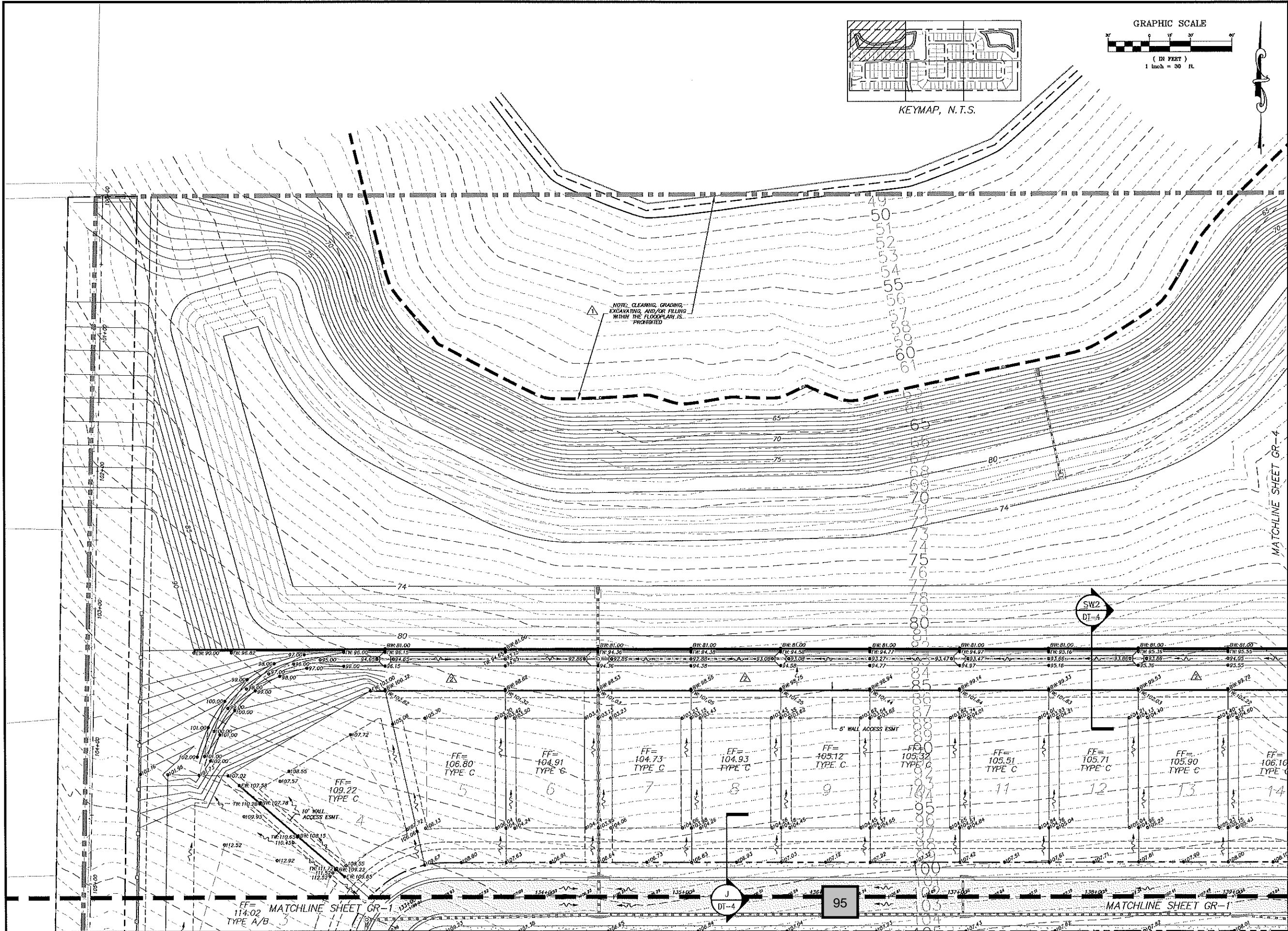
ENGINEER-IN-CHARGE:  
BENJAMIN S. BECKHAM  
No. 79462  
STATE OF FLORIDA  
Professional Seal  
Registration No. E-79452

NO.	DATE	REVISIONS

JOB # 17051  
DATE: 06/22/2018  
SCALE: 1" = 30'  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB

GR-1  
14 of 39





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MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horella Avenue  
Suite 260  
Maitland, Florida 32751  
(407) 629-8330

GRADING PLAN  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

THE PULTE GROUP  
4901 WINDLAND ROAD, SUITE 500  
ORLANDO, FLORIDA 32811  
(407) 661-1514

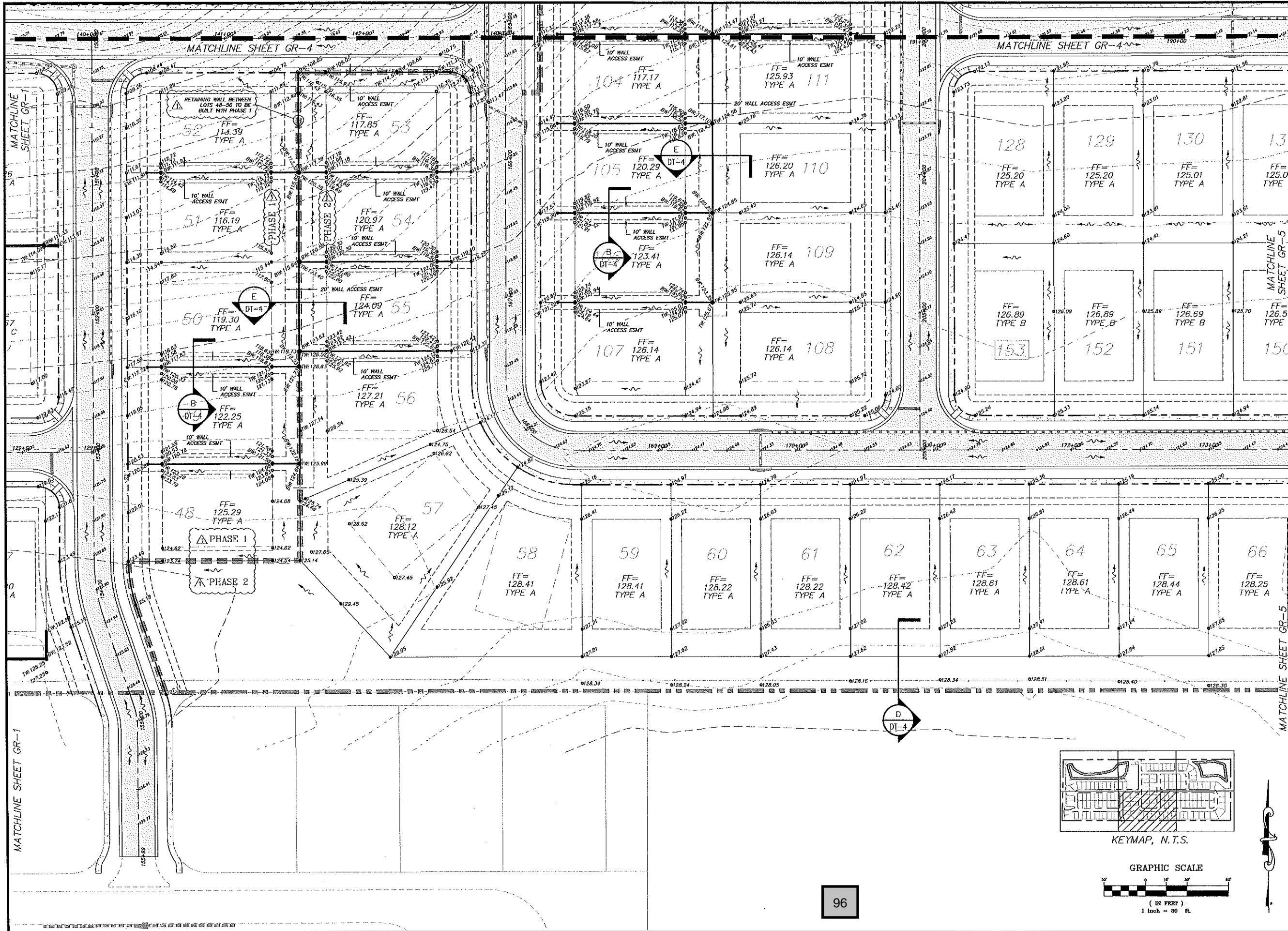
ENGINEER/ARCHITECT  
BENJAMIN S. BECKHAM \* REGISTERED PROFESSIONAL ENGINEER  
No. 79452  
STATE OF FLORIDA  
BECKHAM ENGINEERING, P.A.  
1000 N. WINDLAND ROAD, SUITE 500  
ORLANDO, FLORIDA 32811  
CERTIFICATE OF REGISTRATION NO. EB-0227213

NO.	DATE	REVISIONS

JOB # 17051  
DATE: 06/22/2016  
SCALE: 1" = 30'  
DESIGNED BY: SSB  
DRAWN BY: SSB  
APPROVED BY: SSB

GR-2  
15 of 39

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**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 260  
Maitland, Florida 32751  
(407) 629-8330

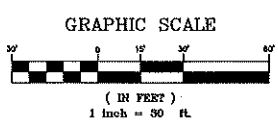
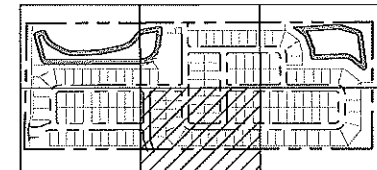
GRADING PLAN  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

**THE PULTE GROUP**  
4801 WINDLAND ROAD, SUITE 800  
ORLANDO, FLORIDA 32817  
(407) 661-1514

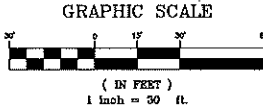
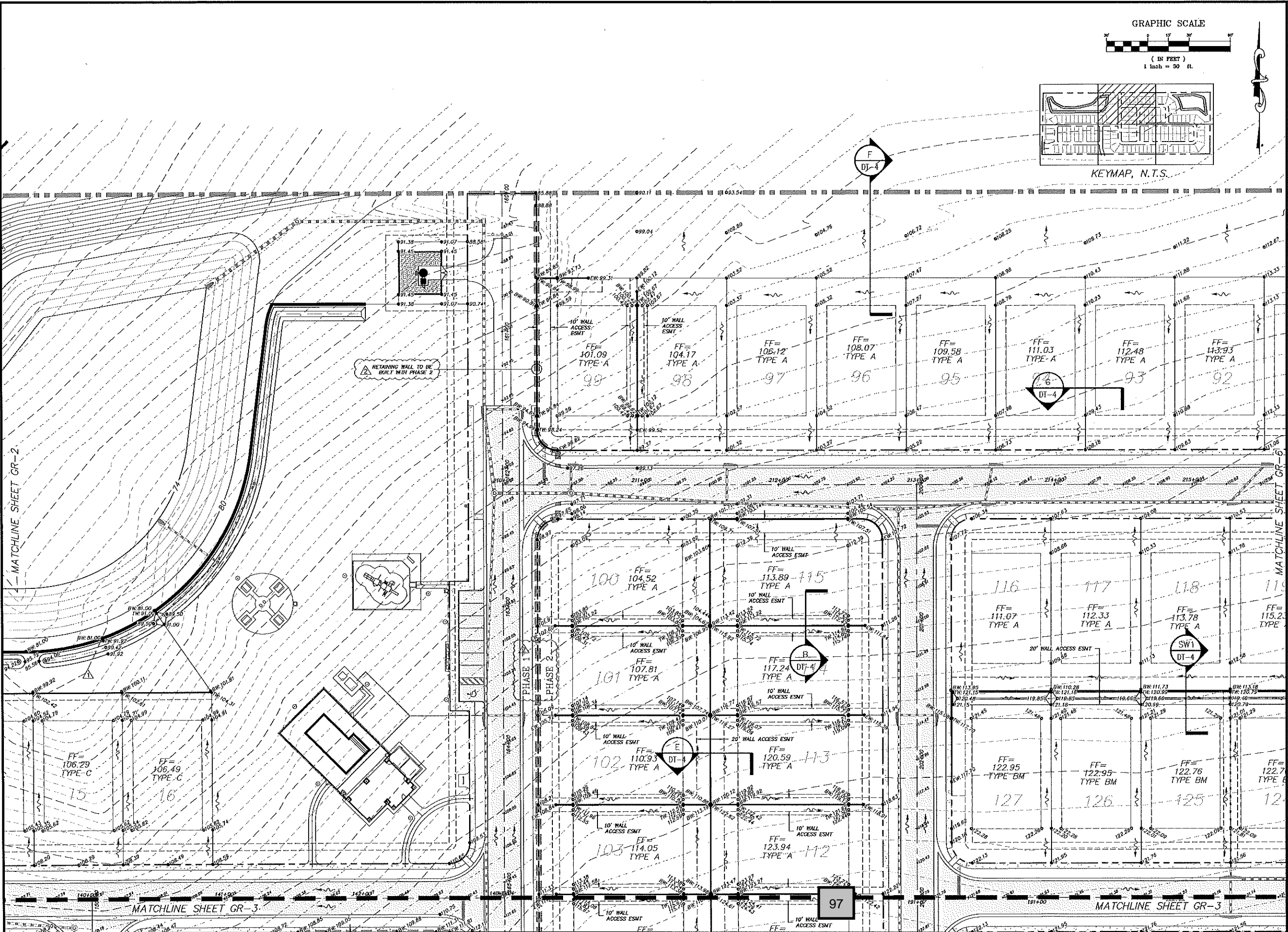
ENGINEER-IN-CHARGE: **BENJAMIN S. BECKHAM**, P.E., No. 79462  
STATE OF FLORIDA  
PROFESSIONAL SEAL  
CERTIFICATE NO. 13-0007923

NO.	DATE	REVISIONS

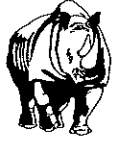
JOB # 17051  
DATE: 06/22/2018  
SCALE: 1" = 30'  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB







KEYMAP, N.T.S.

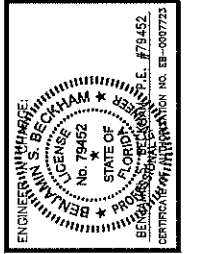


**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Heratio Avenue  
Suite 260  
Maitland, Florida 32751  
(407) 629-8330

GRADING PLAN

FOR  
**VISTA RESERVE**  
CITY OF APOPKA FLORIDA

**THE PULTE GROUP**  
4800 WINDLAND ROAD, SUITE 600  
ORLANDO, FLORIDA 32817  
(407) 661-1514

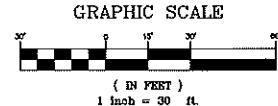
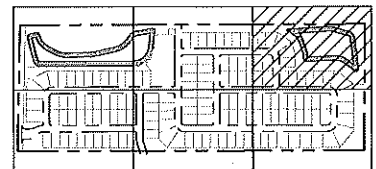
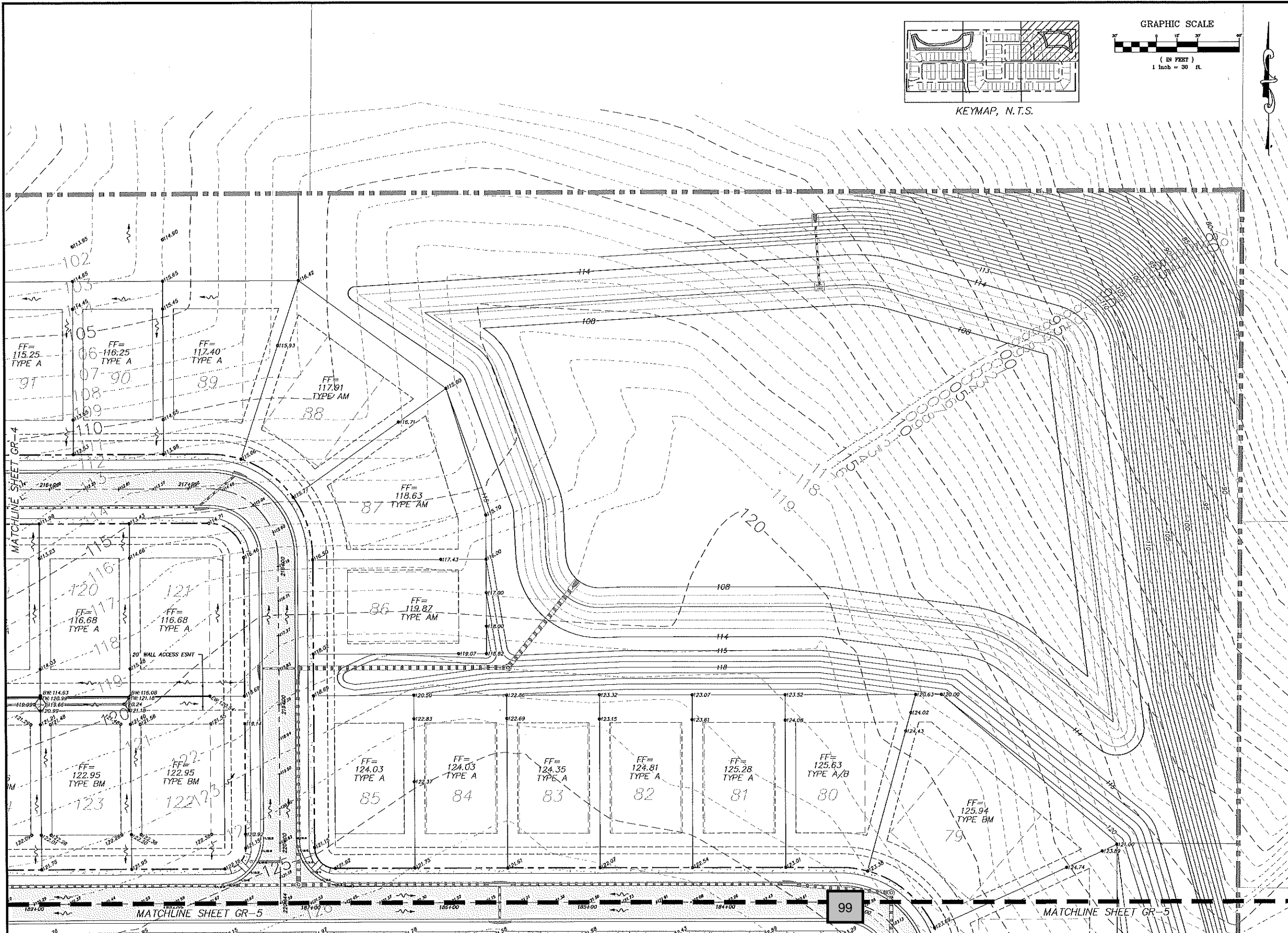


NO.	DATE	REVISIONS

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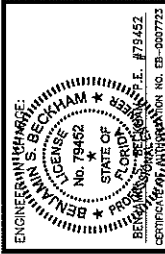




**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 260  
Maitland, Florida 32751  
(407) 629-8330

GRADING PLAN  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

THE PULTE GROUP  
4001 VINELAND ROAD, SUITE 900  
ORLANDO, FLORIDA 32811  
(407) 661-1514

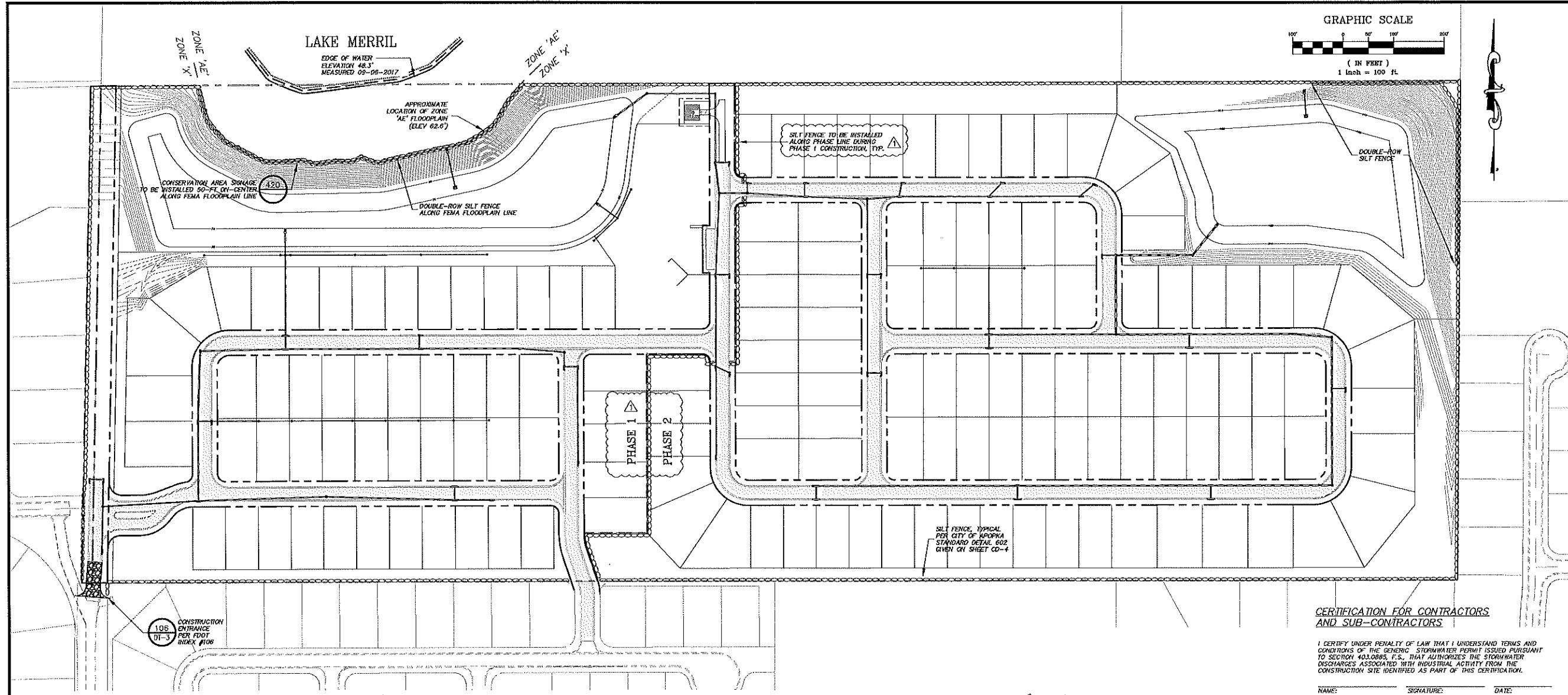


NO.	DATE	REVISIONS

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DATE: 06/22/2018  
SCALE: 1" = 30'  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB

GR-6  
19 of 39

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**STORMWATER POLLUTION PREVENTION NOTES:**

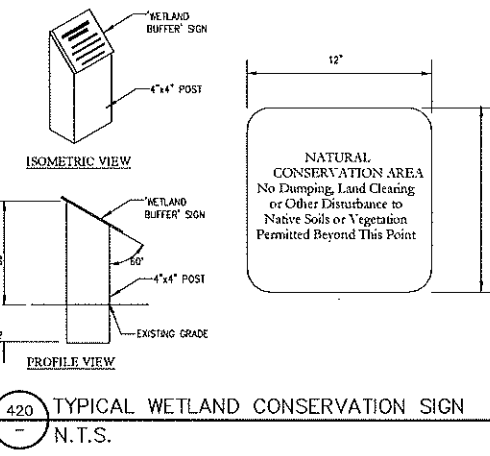
1. THE CONTRACTOR SHALL EXECUTE ALL MEASURES NECESSARY TO LIMIT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT TO THE VOLUME AND AMOUNT THAT ARE EXISTING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THIS CONDITION WILL BE SATISFIED FOR THE TOTAL ANTICIPATED CONSTRUCTION PERIOD. PROMOTION MUST BE MADE TO PRESERVE THE INTEGRITY OF SOIL PATTERNS, ETC. REQUIRED TO MEET THIS PROVISION THROUGHOUT THE LIFE OF THE CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE SILT BARRIERS, TEMPORARY GRASSING, ETC. AS REQUIRED TO FULLY COMPLY WITH THE INTENT OF THIS SPECIFICATION.
2. NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.
3. THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING AND GRUBBING OPERATIONS OR EXCAVATION AND FILLING OPERATIONS SHALL BE CONTROLLED, SO THAT THIS OPERATION WILL NOT SIGNIFICANTLY AFFECT OFF-SITE DEPOSIT OF SEDIMENTS.
4. INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT LADEN STORMWATER RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
5. AREAS OPENED BY CONSTRUCTION OPERATIONS THAT ARE NOT ANTICIPATED TO BE DRESSED OR RECEIVE FINAL GRASSING TREATMENT WITHIN THIRTY DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER, DURING THE SEASON IN WHICH IT IS PLANTED. TEMPORARY SEEDED AREAS SHALL BE CONTROLLED SO AS TO NOT ALTER OR COMPLETE WITH PERMANENT GRASSING. THE RATE OF SEEDING SHALL BE 50 POUNDS PER ACRE.
6. THE SEEDED OR SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED AS REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
7. IF AFTER 14 DAYS, THE TEMPORARY GRASSES ARE HAVE NOT ATTAINED A MINIMUM OF 75% GOOD GRASS COVER, THE AREA WILL BE REMULCHED AND ADDITIONAL SEED APPLIED TO ESTABLISH THE DESIRED VEGETATION COVER.
8. ALL FEATURES OF THE PROJECT SHALL BE CONSTRUCTED TO PREVENT EROSION AND SEDIMENT AND SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION PROPERLY WITHOUT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT.
9. ALL DISTURBED AREAS OUTSIDE THE EXCAVATION AND FILL LIMITS WILL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THEIR CONDITION PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL NEWLY PLANTED GRASSES OR VEGETATION AND RETENTION/DEFERRED FACILITIES UNTIL THEY HAVE BEEN ACCEPTED BY THE CITY.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF EMBANKMENTS AND SHALL REPLACE ANY PORTION, WHICH IN THE OPINION OF THE ENGINEER, HAS BECOME DISPLACED DUE TO EROSION OR DUE TO CARELESSNESS OR NEGLIGENCE ON THE PART OF THE CONTRACTOR.
12. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT. MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO CONTROL EROSION AND SEDIMENT RUNOFF FROM THE SITE DURING CONSTRUCTION. SUCH METHODS SHALL BE IN ACCORDANCE WITH THE CURRENT FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
13. ABSOLUTELY NO WORK WILL BE ALLOWED WITHIN ANY CONSERVATION AREA, BUFFER AREA, MITIGATION AREA OR DESIGNATED WETLAND AREA UNLESS SO SPECIFICALLY DESCRIBED BY THE PLANS AND GRANTED BY REASON OF PERMIT FROM THE GOVERNMENTAL ENTITY HAVING JURISDICTION OVER SAID AREA.
14. PRIOR TO CLEARING AND GRUBBING, THE LIMITS OF WETLANDS, BUFFERS, MITIGATION, BUFFERS AND MITIGATION AREAS SHALL BE CLEARLY MARKED ALONG THE PROPOSED RIGHT-OF-WAY LINE TO PROTECT THESE AREAS FROM ENROUCHMENT FROM CONSTRUCTION ACTIVITIES.
15. ALL FILL EMBANKMENT AND GRADED AREAS SHALL BE PROTECTED AGAINST EROSION BY METHODS STATED IN SECTION 104, F.D.O.T. STANDARD SPECIFICATIONS FOR BRIDGE AND ROAD CONSTRUCTION. SIDE SLOPE MAY BE SEED AND MULCHED, PROVIDED THAT THE MULCH MATERIAL IS DISC NARROWED AND THE SIDE SLOPES ARE NEITHER GREATER THAN 3:1 FOR PART OF A DRAINAGE CONVEYANCE.
16. REFER TO POND DETAIL SHEETS FOR EROSION CONTROL MEASURES AT POND OUTFALLS.
17. EROSION CONTROL AT ALL INLET DRAINAGE STRUCTURES DURING CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH FDOT INDEX NO. 102.
18. INSPECTIONS ON EROSION CONTROL MEASURES WILL BE PERFORMED BY THE CONTRACTOR ONCE PER WEEK AND WITHIN 24 HOURS AFTER 1/4 INCH OF RAINFALL. THE INSPECTIONS MUST BE LOGGED BY THE CONTRACTOR AND KEPT WITH THE APPROVED PLANS AND SHRPP.
19. GRAVEL CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO MINIMIZE EXPORT OF GYSEITE DIRT. IF GRAVEL IS NOT ALLOWED, THE CONSTRUCTION ENTRANCES SHALL BE SWEEP PERIODICALLY AND LOGGED BY THE CONTRACTOR.

**EROSION CONTROL:**

- THE CONTRACTOR SHALL PERFORM EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF APOPKA AND THE S.J.R.M.M.D., DETAILS CONTAINED IN THE PLANS, THE FOLLOWING NOTES AND AS DIRECTED BY THE ENGINEER.
1. TEMPORARY EROSION CONTROL
    1. STOCKPILING MATERIAL - NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATERBODY OR STORMWATER COLLECTION FACILITY.
    2. INLET PROTECTION - INLETS AND CATCH BASINS SHALL BE PROTECTED FROM SEDIMENT LADEN STORM RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATERBODY OR STORMWATER COLLECTION FACILITY.
    3. TEMPORARY SEEDED / STRIP SOODING - AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN THIRTY DAYS SHALL BE STRIP-SOODED ALONG ALL DEDICATED ROWS. THIS WILL PREVENT SEDIMENT RUNOFF FROM HOMESITE LOTS INTO THE ROW AND DRAINAGE SYSTEMS, AND WILL NOT LATER COMPLETE WITH THE PERMANENT LOT GRASSING.
    4. TEMPORARY SEEDED AND MULCHING - SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN NOTE 3 ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA TO A DEPTH OF 4 INCHES.
    5. TEMPORARY GRASSING - THE SEEDED OR THE SEEDED AND MULCHED AREA(S) SHALL BE ROLLED AND WATERED AS REQUIRED TO ASSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER.
    6. TEMPORARY REGRESSING - IF AFTER FOURTEEN DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% GOOD GRASS COVER, THE AREA WILL BE REMULCHED AND ADDITIONAL SEED APPLIED SUFFICIENT TO ESTABLISH THE DESIRED VEGETATION COVER.
    7. THE CONTRACTOR SHALL PLACE HAY BALES AROUND ALL EXISTING AND NEWLY CONSTRUCTED INLETS TO CONTROL EROSION DURING CONSTRUCTION.
    8. MAINTENANCE - ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WERE ORIGINALLY DESIGNED AND CONSTRUCTED.
  2. PERMANENT EROSION CONTROL
 

THE EROSION CONTROL FACILITIES OF THE PROJECT SHOULD BE DESIGNED TO MINIMIZE THE IMPACT ON OFF-SITE FACILITIES. ALL STORMWATER DISCHARGE FROM THE PROJECT LIMITS SHALL BE ROUTED THROUGH DETENTION BASINS TO TRAP SUSPENDED SEDIMENTS AND DISCHARGE FACILITIES FROM THESE BASINS SHALL BE PROVIDED WITH A SCREENER DEVICE TO TRAP FLOATABLE DEBRIS.

    1. PERMANENT SEEDED - ALL AREAS WHICH HAVE BEEN DISTURBED BY THE CONSTRUCTION WILL, AS A MINIMUM, BE FERTILIZED AND SEEDED.
    2. PERMANENT SEEDED AND MULCHING - SLOPES OF 6:1 TO 4:1 INCLUSIVE WILL BE MULCHED WITH A UNIFORM THICKNESS OF APPROXIMATELY TWO INCHES, LOOSE MEASURE, OF MULCH MATERIAL INCORPORATED INTO THE SOIL BY MIXING TO A DEPTH OF FOUR INCHES.
    3. PERMANENT SOODING - ALL RETENTION/DEFERRED BASINS SHALL BE SOODED WITH THEIR LIMITS. ALL EXPOSED AREAS WITHIN PUBLIC RIGHT-OF-WAYS WILL BE SOLID SOODED. OTHER AREAS WITH SLOPES STEEPER THAN 4:1 WILL BE SOODED.
    4. STRIP SOODING - STRIP SOO SHALL BE PLACED ADJACENT TO ALL CURBS, WALKS AND PAVEMENTS.
    5. REGRESSING - ALL GRASSED AREAS WILL BE MAINTAINED TO ASSURE A GOOD STAND AND SUFFICIENT GROUND COVER TO MINIMIZE EROSION. IF, AFTER 90 DAYS AN ADEQUATE GROUND COVER HAS NOT BEEN ESTABLISHED, THE AREA WILL BE REGRESSED.
    6. ADDITIONAL FERTILIZATION - GRASSED AREAS NOT ACCEPTED WITHIN 90 DAYS OF THEIR COMPLETION SHALL BE FERTILIZED.
    7. FOR ADDITIONAL SOODING REQUIREMENTS, REFER TO THE LANDSCAPE PLANS.



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**CERTIFICATION FOR CONTRACTORS AND SUB-CONTRACTORS**

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND TERMS AND CONDITIONS OF THE GENERIC STORMWATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, F.S., THAT AUTHORIZES THE STORMWATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

NAME: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ TELEPHONE: \_\_\_\_\_

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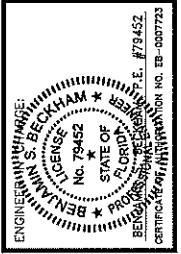
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**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horello Avenue  
Suite 260  
Maitland, Florida 32751  
(407) 629-8330

ENVIRONMENTAL PROTECTION PLAN  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

THE PULTE GROUP  
4901 VINELAND ROAD, SUITE 800  
ORLANDO, FLORIDA 32811  
(407) 661-1514



DATE	REVISIONS

JOB # 17051  
DATE: 06/22/2018  
SCALE: 1" = 100'  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB





**MADDEN**  
 (HOORHEAD & STOKES, INC.)  
 CIVIL ENGINEERS  
 431 E. Herold Avenue  
 Suite 260  
 Maitland, Florida 32751  
 (407) 629-8330

PLAN AND PROFILE  
 FOR  
**VISTA RESERVE**  
 CITY OF APOPKA, FLORIDA

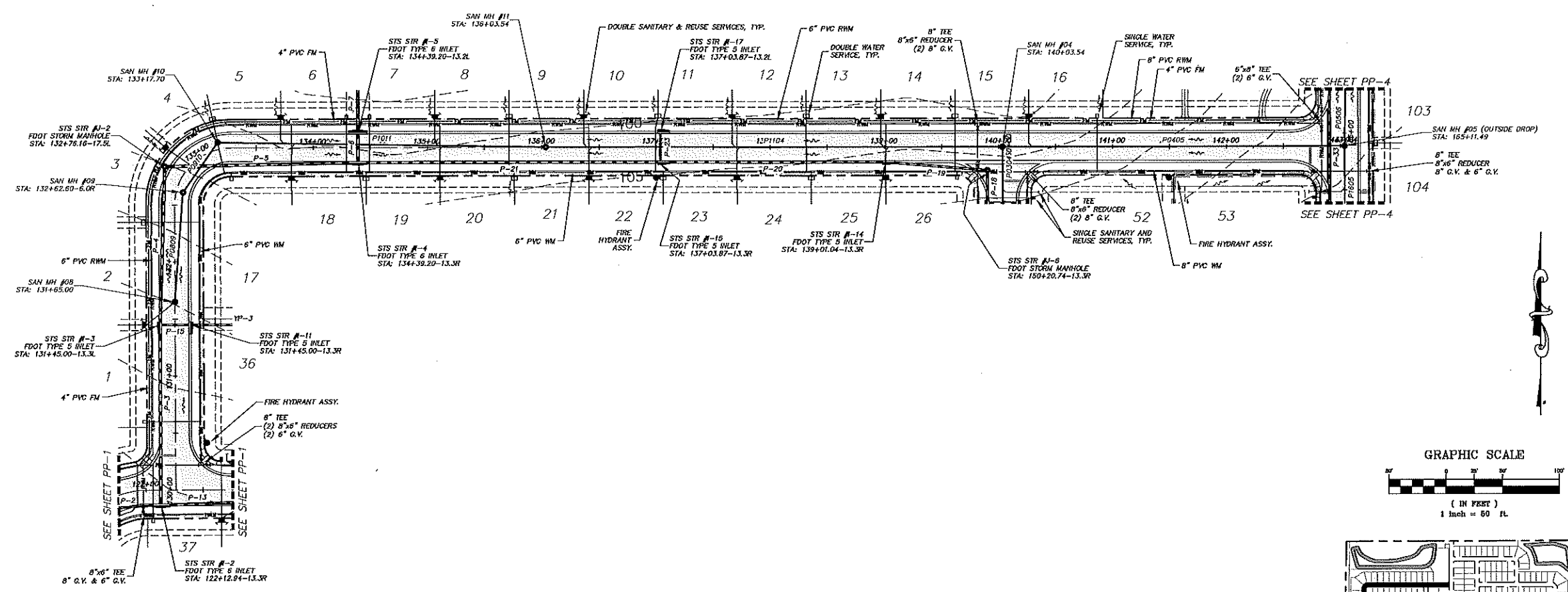
THE PULTE GROUP  
 4801 WINDLAND ROAD, SUITE 300  
 ORLANDO, FLORIDA 32811  
 (407) 681-1514

ENGINEER/ARCHITECT  
 BENJAMIN S. BECKHAM \* REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 79452  
 STATE OF FLORIDA  
 BECKHAM ENGINEERING, P.A.  
 1000 W. UNIVERSITY BLVD., SUITE 200  
 APOPKA, FLORIDA 32015  
 TEL: (407) 879-4522  
 FAX: (407) 879-4523

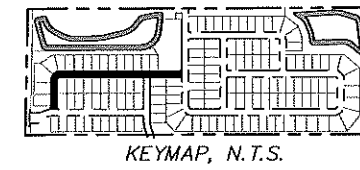
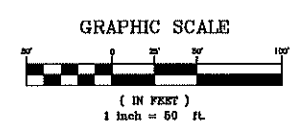
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 SCALE 1" = 50'  
 DESIGNED BY BSB  
 DRAWN BY BSB  
 APPROVED BY BSB

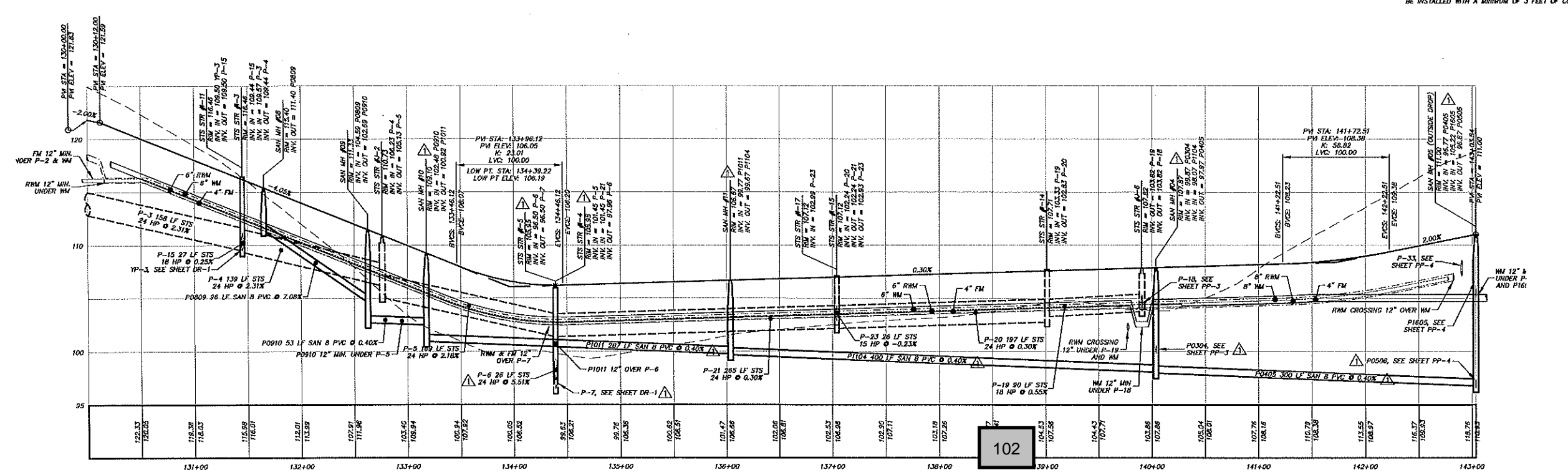
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# KNOLL DRIVE



NOTES: UNLESS NOTED OTHERWISE, WATER MAINS, RECLAIMED WATER MAINS, AND FORCE MAINS ARE TO BE INSTALLED WITH A MINIMUM OF 3 FEET OF COVER.

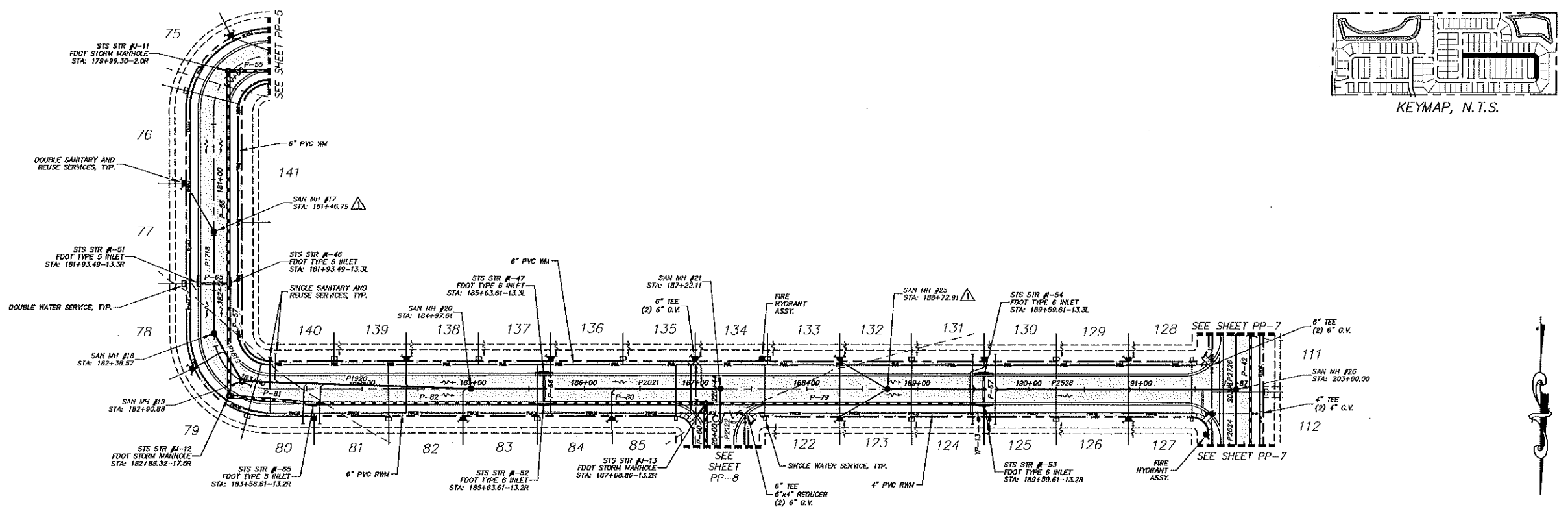




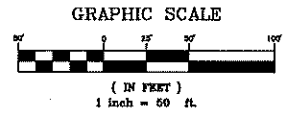




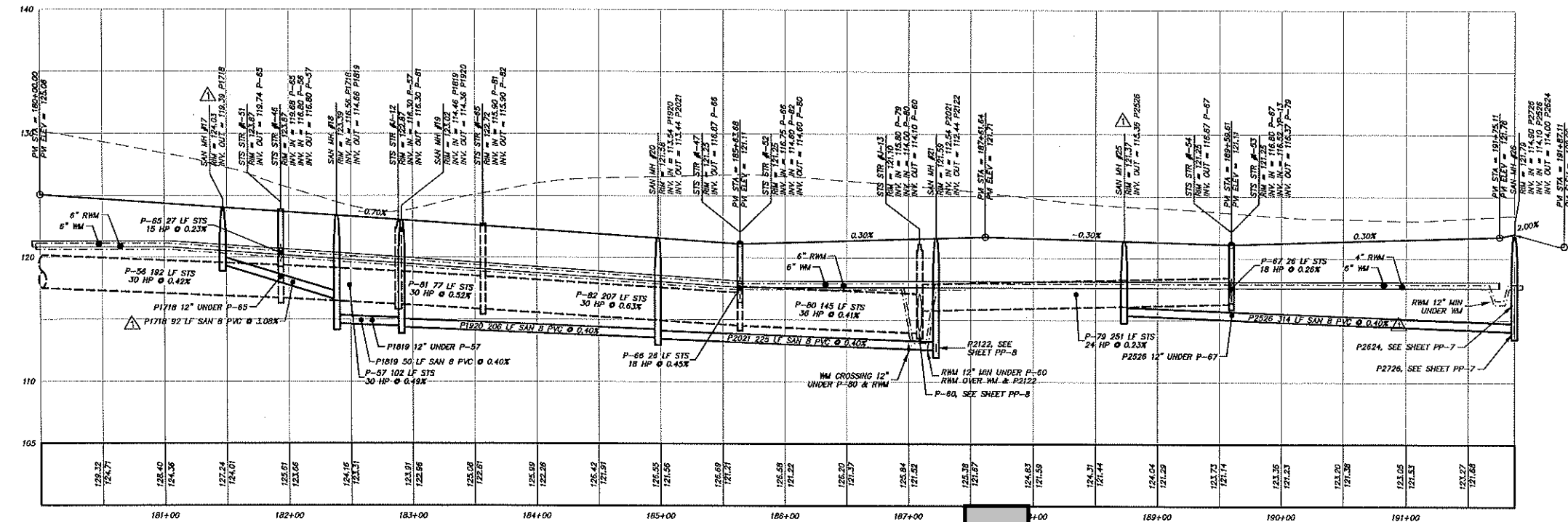




# HILLTOP LOOP - STA. 180+00 TO END



NOTE: UNLESS NOTED OTHERWISE, WATER MAINS, RECLAIMED WATER MAINS, AND FORCE MAINS ARE TO BE INSTALLED WITH A MINIMUM OF 3 FEET OF COVER.



**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Harotta Avenue  
Suite 260  
Maitland, Florida 32751  
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PLAN AND PROFILE  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

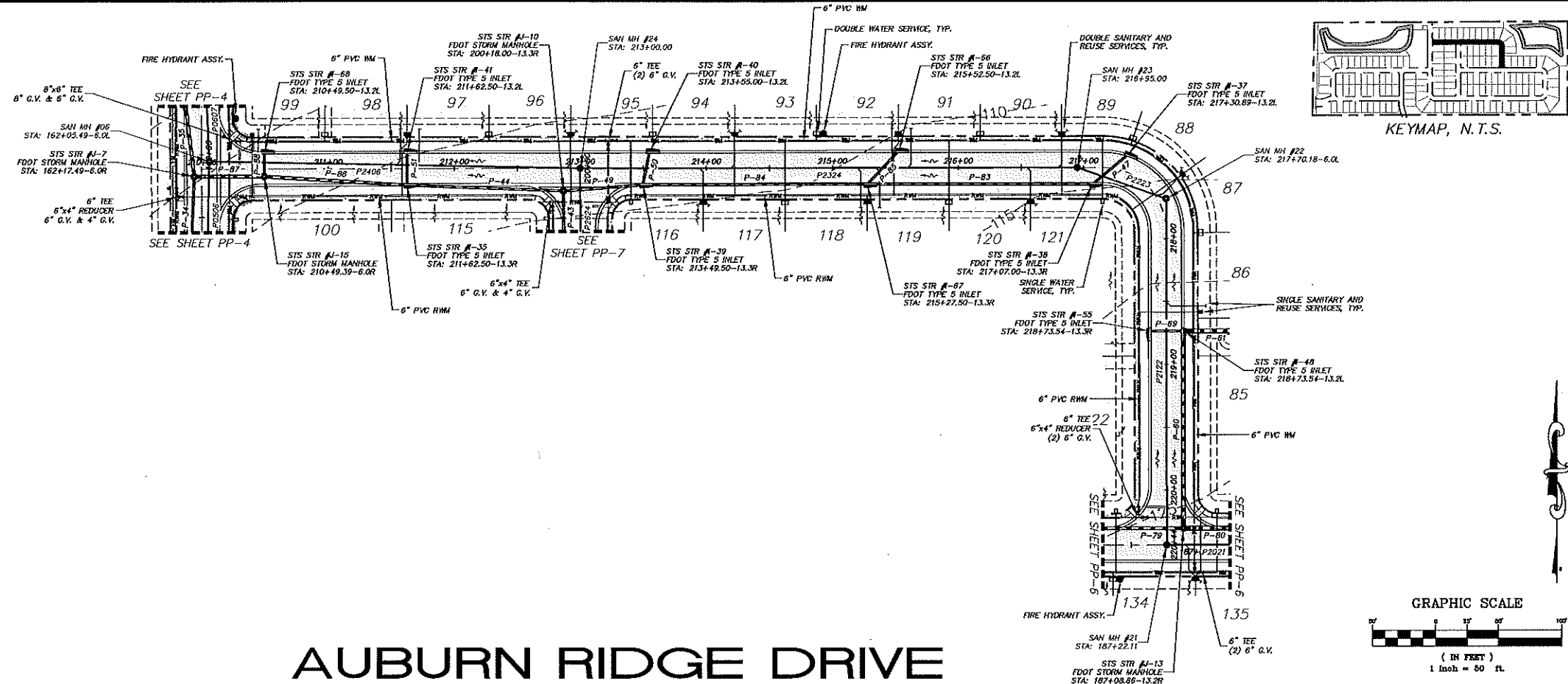
THE PULTE GROUP  
4801 WINDLAND ROAD, SUITE 600  
ORLANDO, FLORIDA 32811  
(407) 681-1514

ENGINEER/ARCHITECT  
BENJAMIN S. BECKHAM \* REGISTERED PROFESSIONAL ENGINEER  
No. 79452  
STATE OF FLORIDA  
P.L.E. #78452  
CERTIFICATE OF REGISTRATION NO. EP-000773

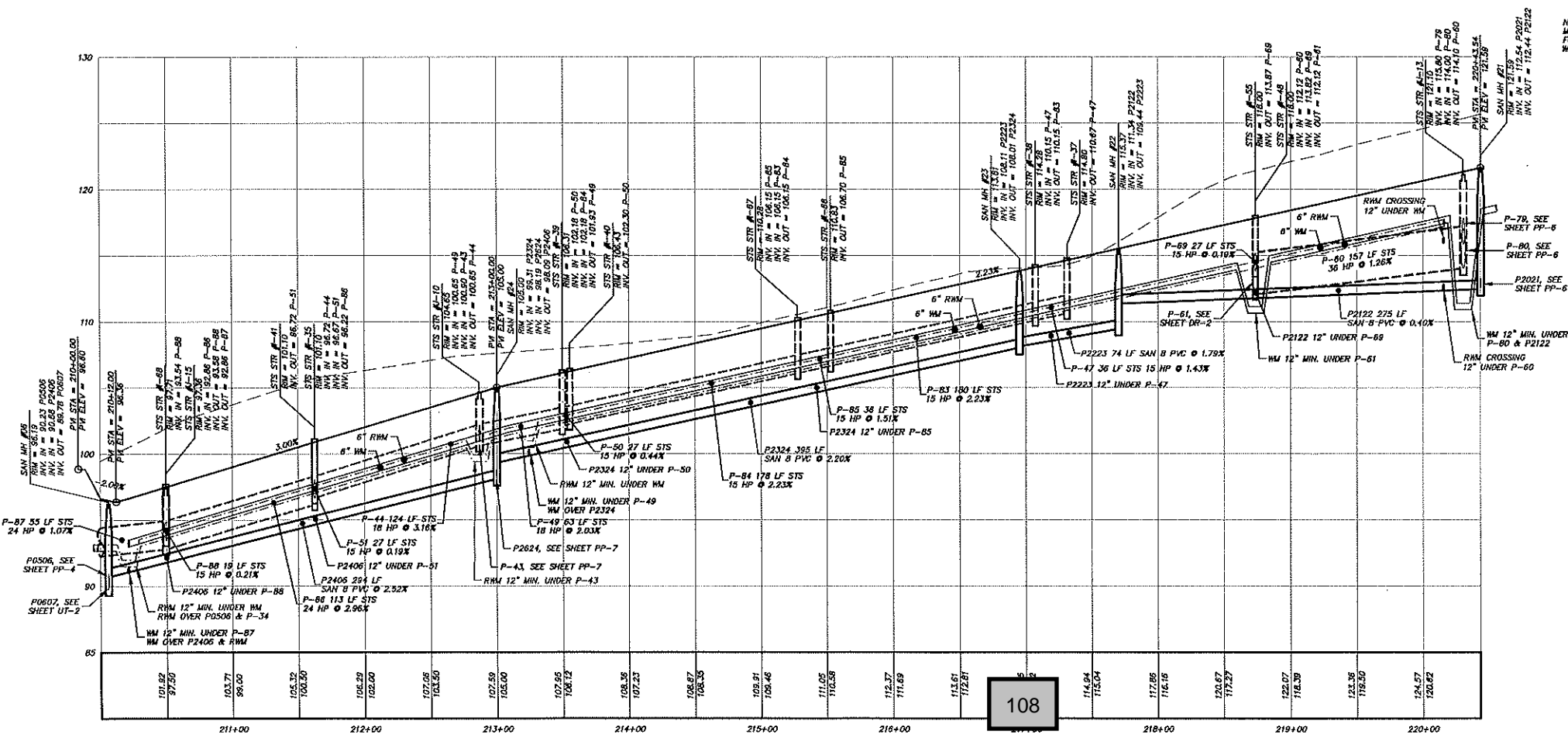
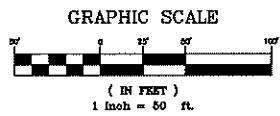
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JOB # 17051  
DATE: 06/22/2018  
SCALE: 1" = 50'  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB





# AUBURN RIDGE DRIVE



NOTE: UNLESS NOTED OTHERWISE, WATER MAINS, RECLAIMED WATER MAINS, AND FORCE MAINS ARE TO BE INSTALLED WITH A MINIMUM OF 3 FEET OF COVER.

**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Herold Avenue  
Suite 260  
Maitland, Florida 32751  
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PLAN AND PROFILE  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

THE PULTE GROUP  
4901 VINELAND ROAD, SUITE 500  
ORLANDO, FLORIDA 32811  
(407) 861-1514

ENGINEER'S LICENSE  
No. 79462  
STATE OF FLORIDA  
BEAULIN S. BECKHAM, P.E.  
Professional Seal

NO.	DATE	REVISIONS

JOB # 17051  
DATE 06/22/2018  
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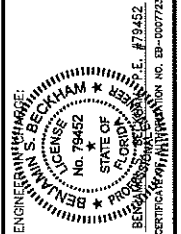






CONSTRUCTION DETAILS  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

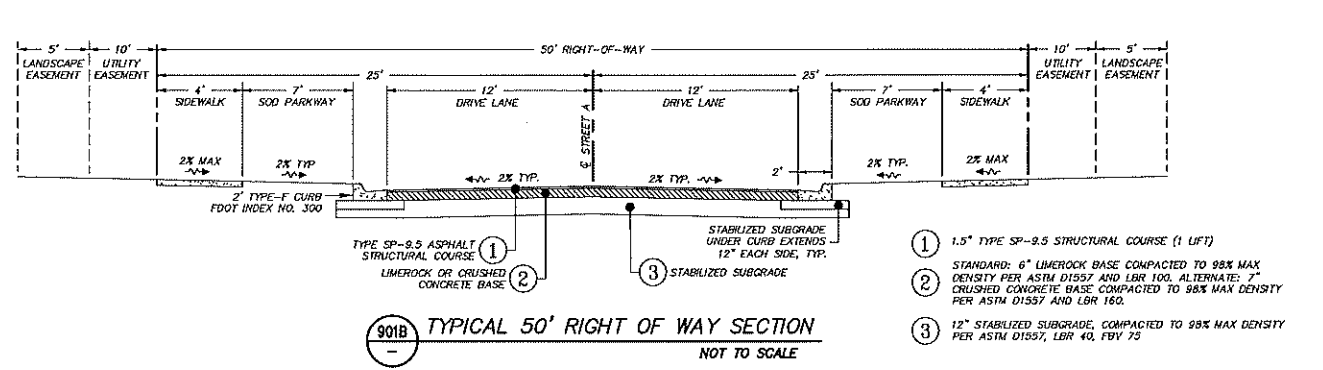
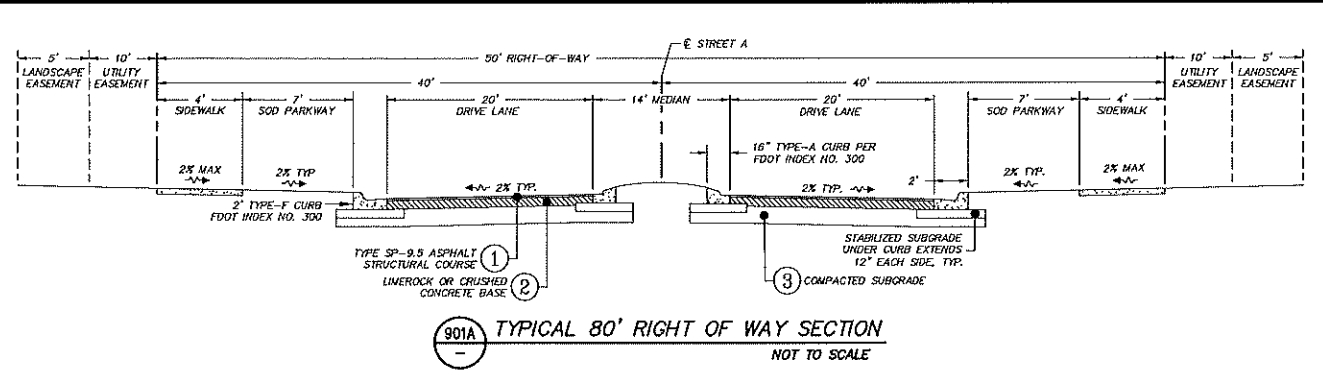
THE PULTE GROUP  
4801 VINELAND ROAD, SUITE 900  
ORLANDO, FLORIDA 32811  
(407) 661-1514



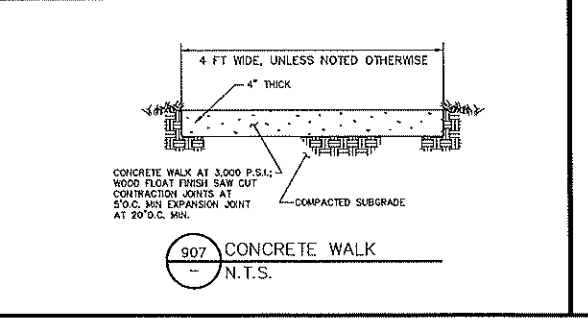
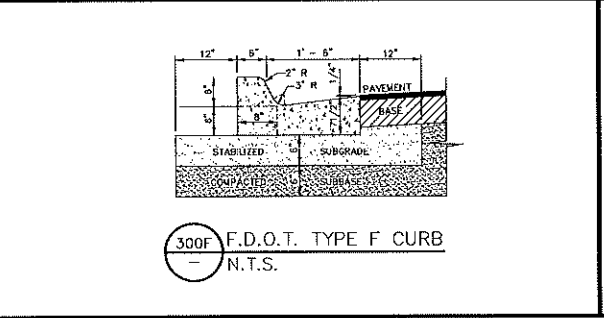
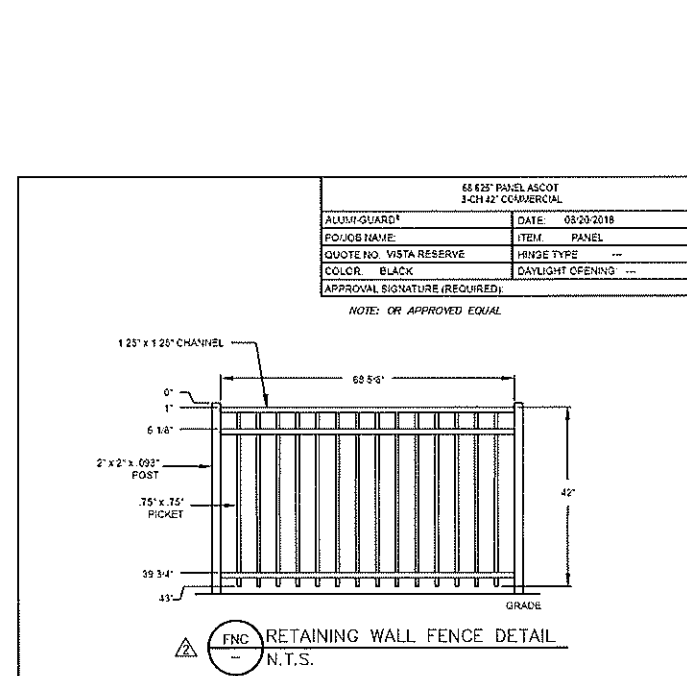
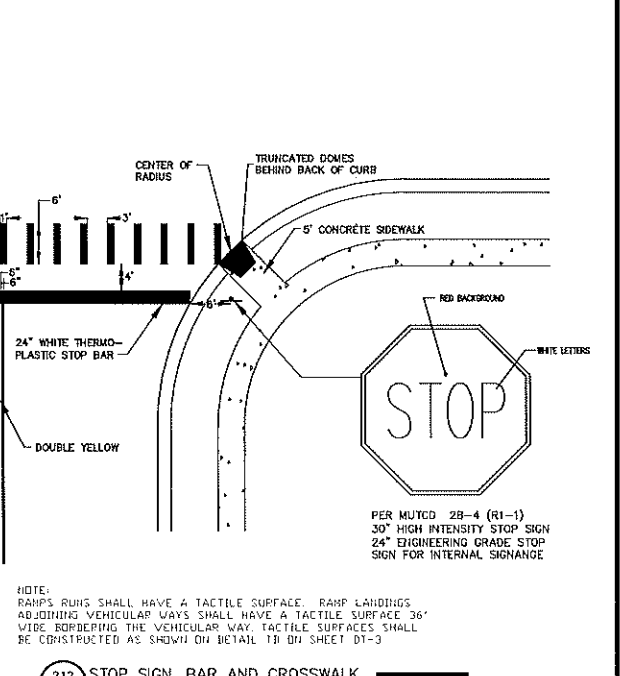
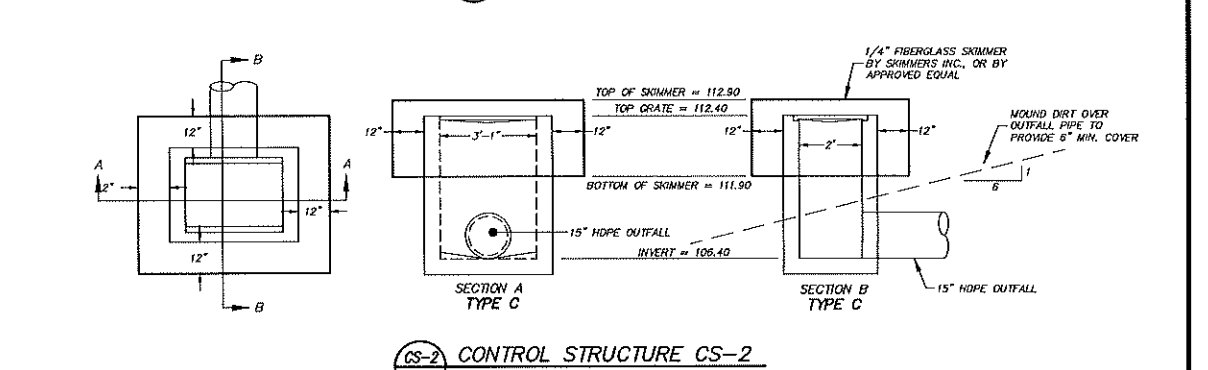
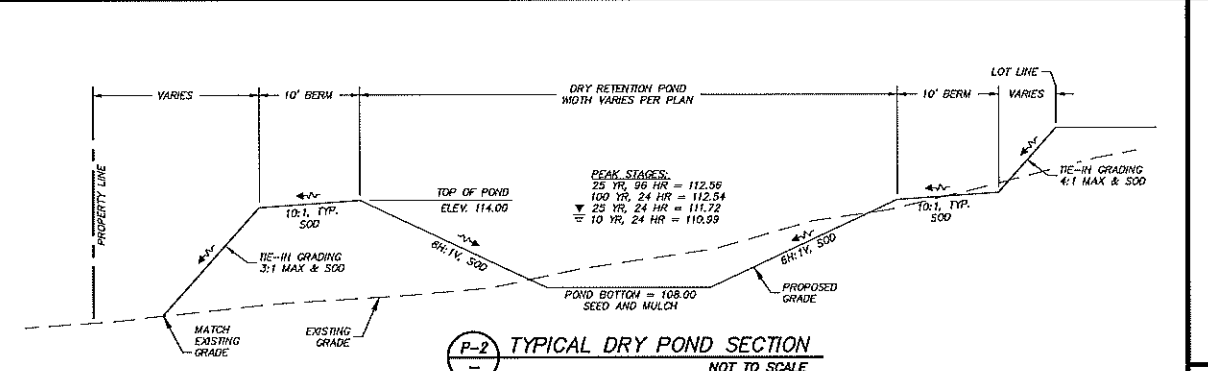
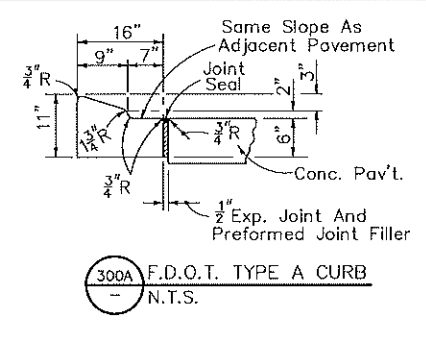
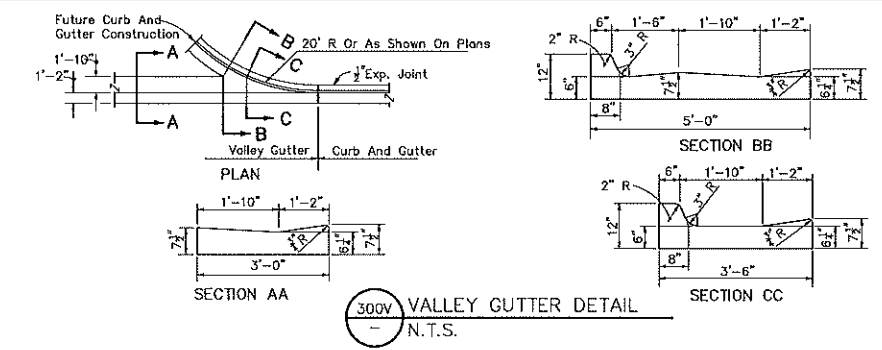
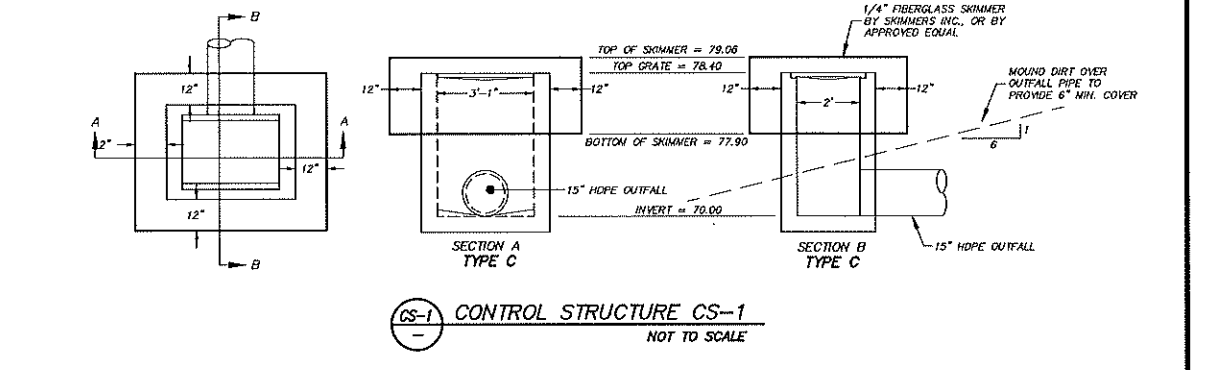
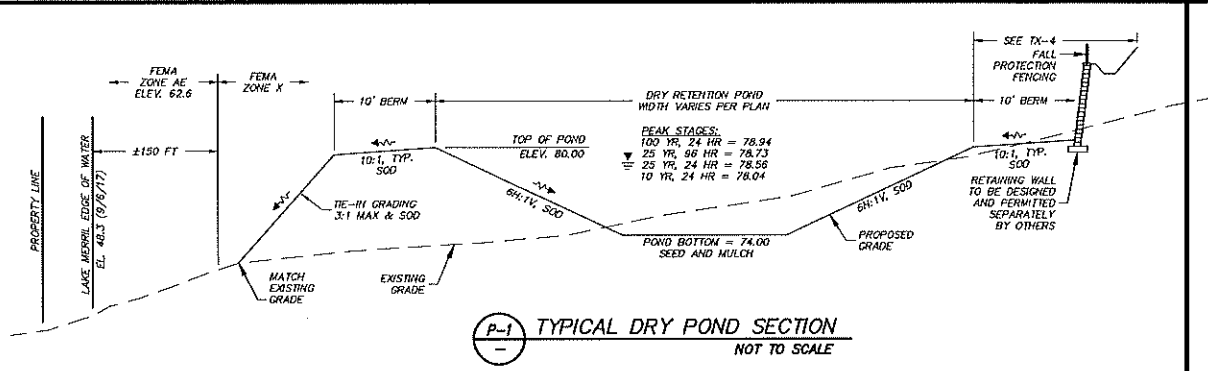
68 625" PANEL ASCOT 3-CH 42" COMMERCIAL	DATE: 08/22/2018
ALUMI-GUARD®	ITEM: PANEL
QUOTE NO. VISTA RESERVE	HINGE TYPE: ---
COLOR: BLACK	DAYLIGHT OPENING: ---
APPROVAL SIGNATURE (REQUIRED):	
NOTE: OR APPROVED EQUAL	

DATE	REVISIONS

JOB # 17051  
DATE: 06/22/2018  
SCALE: N.T.S.  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB

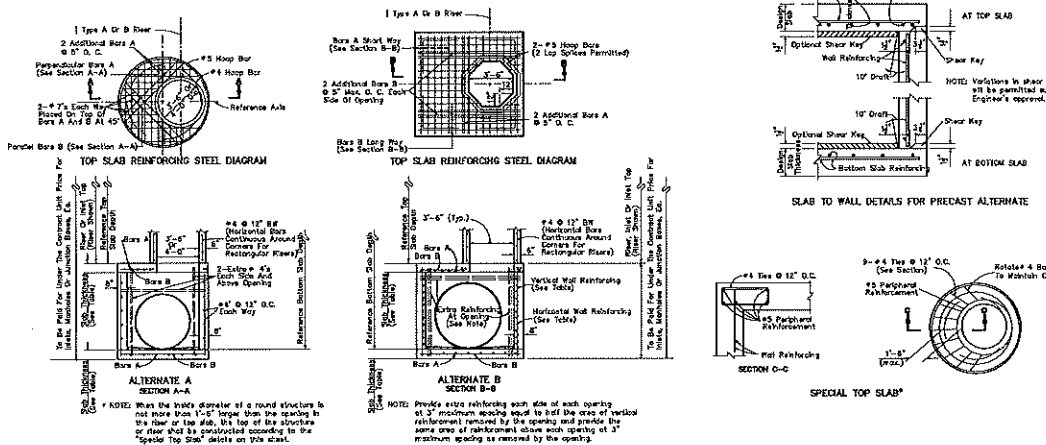


- ① 1.5' TYPE SP-9.5 STRUCTURAL COURSE (1 LIFT)  
STANDARD: 6" LIMEROCK BASE COMPACTED TO 98% MAX DENSITY PER ASTM D1557 AND LBR 100. ALTERNATE: 7" CRUSHED CONCRETE BASE COMPACTED TO 98% MAX DENSITY PER ASTM D1557 AND LBR 160.
- ② 6" LIMEROCK OR CRUSHED CONCRETE BASE
- ③ 12" STABILIZED SUBGRADE, COMPACTED TO 98% MAX DENSITY PER ASTM D1557, LBR 40, FBV 75



NOTE: RAMP'S RUNS SHALL HAVE A TACTILE SURFACE. RAMP LANDINGS ADJOINING VEHICULAR WAYS SHALL HAVE A TACTILE SURFACE 36" WIDE BORDERING THE VEHICULAR WAY. TACTILE SURFACES SHALL BE CONSTRUCTED AS SHOWN ON DETAIL TB 01 SHEET DT-3

PER MUTCD 2B-4 (R1-1)  
30" HIGH INTENSITY STOP SIGN  
24" ENGINEERING GRADE STOP SIGN FOR INTERNAL SIGNAGE



**GENERAL NOTES**

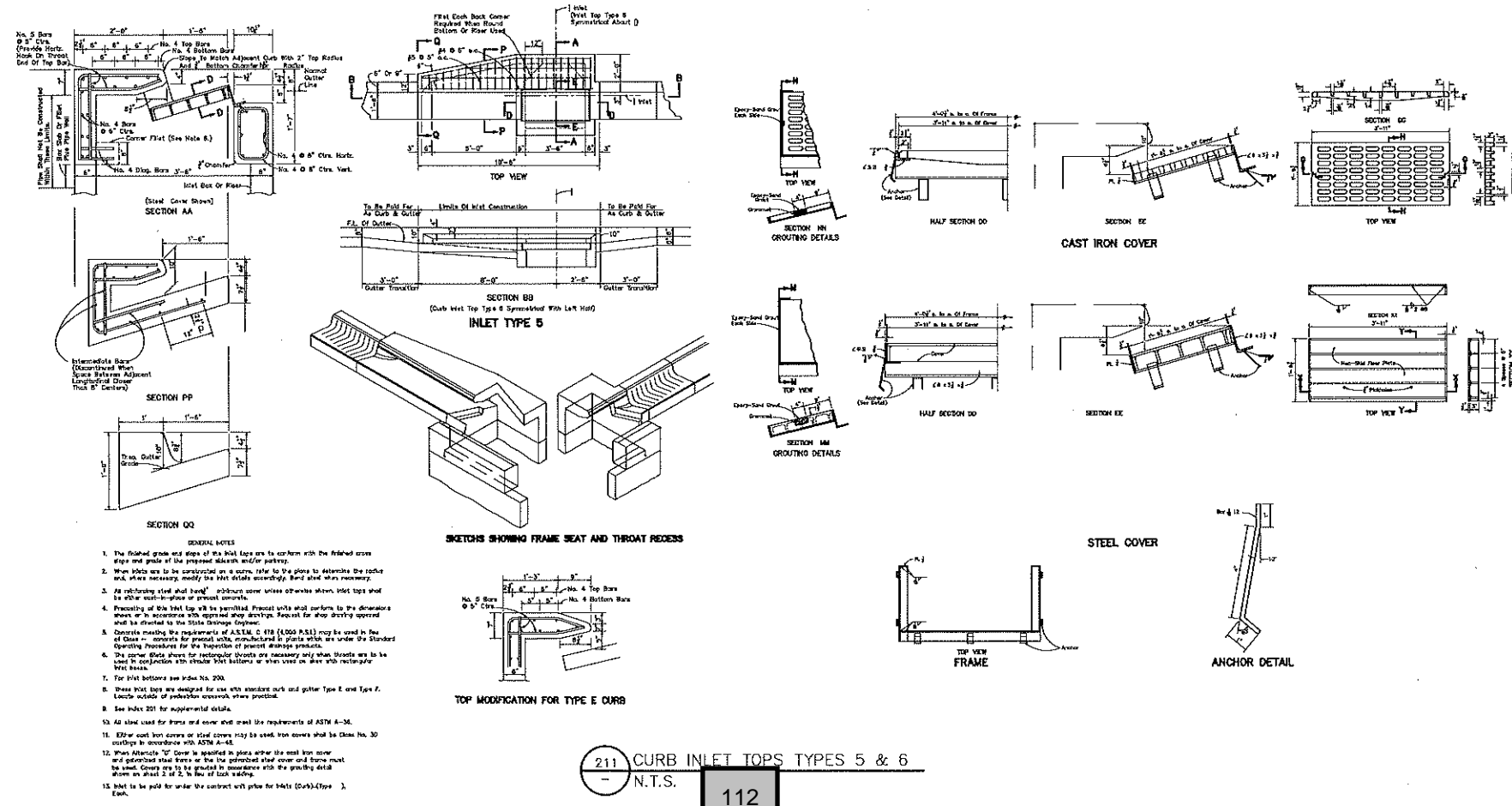
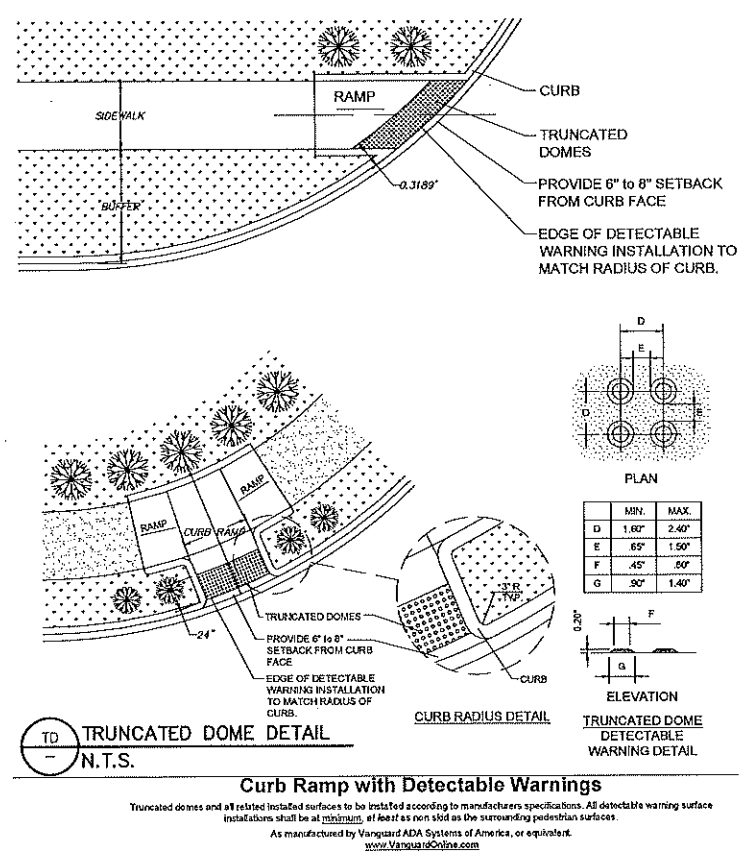
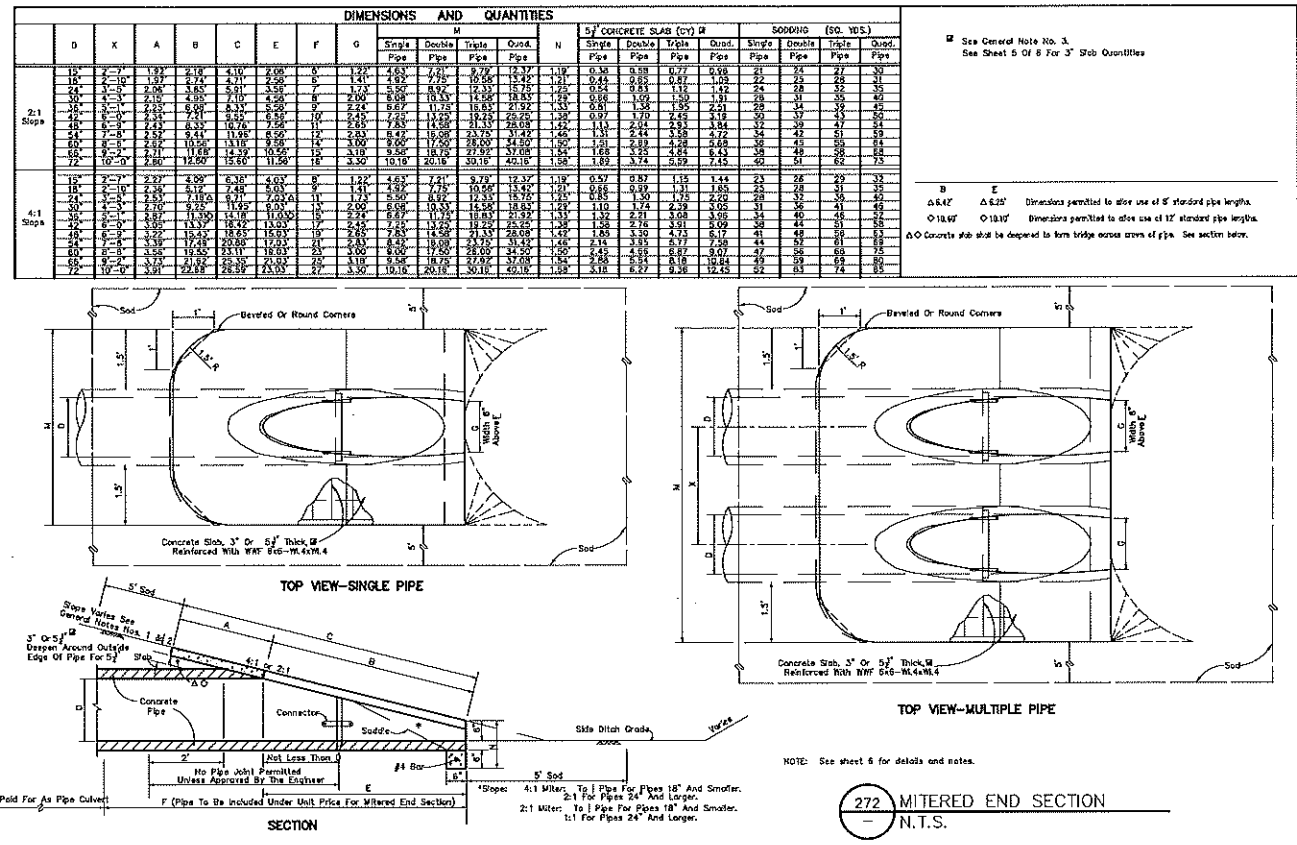
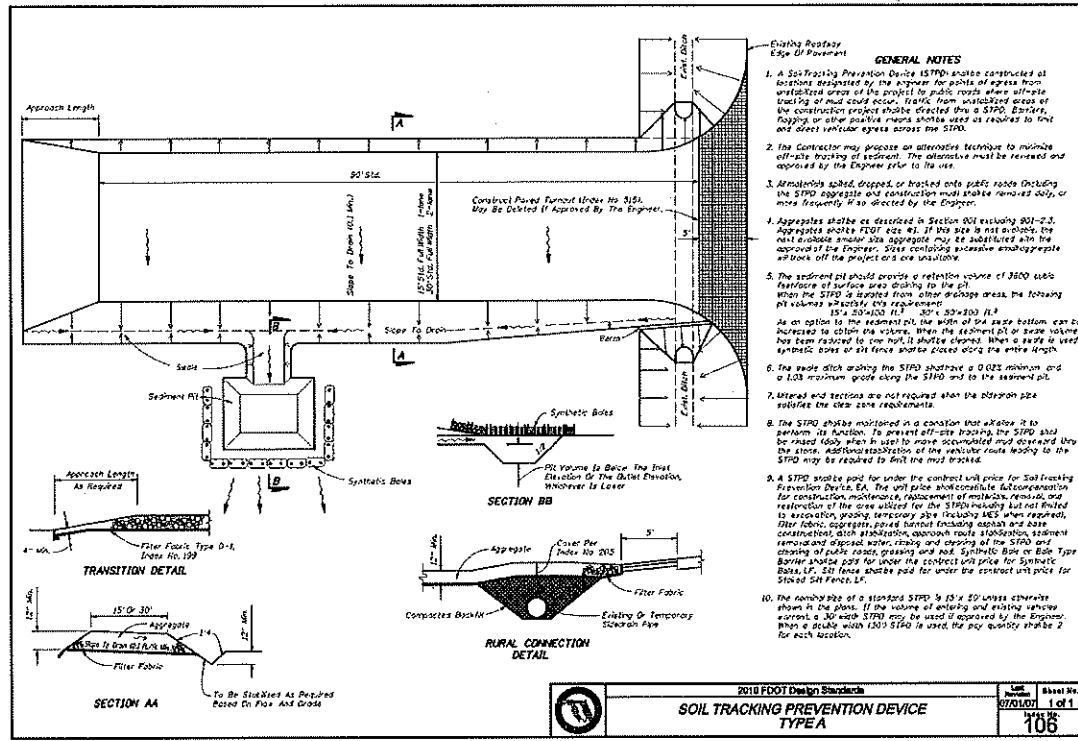
- Standard structure bottoms 4'-0" diameter and smaller (All A) units... (See Section A-A)
- Note of circular structures (Alternate A) constructed in place may be... (See Section A-A)
- Wall thickness and reinforcement on all exterior walls... (See Section A-A)
- Top and bottom reinforcement on all precast and cast... (See Section A-A)
- All reinforcement shall be ASTM A615, Grade 60 or 65 FR steel... (See Section A-A)

**SLAB DESIGNS - SQUARE AND RECTANGULAR STRUCTURES**  
(ALL SLABS 6" THICK - REINFORCING PARALLEL TO SHORT WAY AND LONG WAY)

SHORT-WAY		LONG-WAY		SHORT-WAY		LONG-WAY		SHORT-WAY		LONG-WAY	
SLAB DEPTH	SCHEDULE	SLAB DEPTH	SCHEDULE	SLAB DEPTH	SCHEDULE	SLAB DEPTH	SCHEDULE	SLAB DEPTH	SCHEDULE	SLAB DEPTH	SCHEDULE
2'-0"	1	2'-0"	1	2'-0"	1	2'-0"	1	2'-0"	1	2'-0"	1
2'-6"	2	2'-6"	2	2'-6"	2	2'-6"	2	2'-6"	2	2'-6"	2
3'-0"	3	3'-0"	3	3'-0"	3	3'-0"	3	3'-0"	3	3'-0"	3
3'-6"	4	3'-6"	4	3'-6"	4	3'-6"	4	3'-6"	4	3'-6"	4
4'-0"	5	4'-0"	5	4'-0"	5	4'-0"	5	4'-0"	5	4'-0"	5
4'-6"	6	4'-6"	6	4'-6"	6	4'-6"	6	4'-6"	6	4'-6"	6
5'-0"	7	5'-0"	7	5'-0"	7	5'-0"	7	5'-0"	7	5'-0"	7
5'-6"	8	5'-6"	8	5'-6"	8	5'-6"	8	5'-6"	8	5'-6"	8
6'-0"	9	6'-0"	9	6'-0"	9	6'-0"	9	6'-0"	9	6'-0"	9
6'-6"	10	6'-6"	10	6'-6"	10	6'-6"	10	6'-6"	10	6'-6"	10
7'-0"	11	7'-0"	11	7'-0"	11	7'-0"	11	7'-0"	11	7'-0"	11
7'-6"	12	7'-6"	12	7'-6"	12	7'-6"	12	7'-6"	12	7'-6"	12
8'-0"	13	8'-0"	13	8'-0"	13	8'-0"	13	8'-0"	13	8'-0"	13
8'-6"	14	8'-6"	14	8'-6"	14	8'-6"	14	8'-6"	14	8'-6"	14
9'-0"	15	9'-0"	15	9'-0"	15	9'-0"	15	9'-0"	15	9'-0"	15
9'-6"	16	9'-6"	16	9'-6"	16	9'-6"	16	9'-6"	16	9'-6"	16
10'-0"	17	10'-0"	17	10'-0"	17	10'-0"	17	10'-0"	17	10'-0"	17
10'-6"	18	10'-6"	18	10'-6"	18	10'-6"	18	10'-6"	18	10'-6"	18
11'-0"	19	11'-0"	19	11'-0"	19	11'-0"	19	11'-0"	19	11'-0"	19
11'-6"	20	11'-6"	20	11'-6"	20	11'-6"	20	11'-6"	20	11'-6"	20
12'-0"	21	12'-0"	21	12'-0"	21	12'-0"	21	12'-0"	21	12'-0"	21
12'-6"	22	12'-6"	22	12'-6"	22	12'-6"	22	12'-6"	22	12'-6"	22
13'-0"	23	13'-0"	23	13'-0"	23	13'-0"	23	13'-0"	23	13'-0"	23
13'-6"	24	13'-6"	24	13'-6"	24	13'-6"	24	13'-6"	24	13'-6"	24
14'-0"	25	14'-0"	25	14'-0"	25	14'-0"	25	14'-0"	25	14'-0"	25
14'-6"	26	14'-6"	26	14'-6"	26	14'-6"	26	14'-6"	26	14'-6"	26
15'-0"	27	15'-0"	27	15'-0"	27	15'-0"	27	15'-0"	27	15'-0"	27
15'-6"	28	15'-6"	28	15'-6"	28	15'-6"	28	15'-6"	28	15'-6"	28
16'-0"	29	16'-0"	29	16'-0"	29	16'-0"	29	16'-0"	29	16'-0"	29
16'-6"	30	16'-6"	30	16'-6"	30	16'-6"	30	16'-6"	30	16'-6"	30
17'-0"	31	17'-0"	31	17'-0"	31	17'-0"	31	17'-0"	31	17'-0"	31
17'-6"	32	17'-6"	32	17'-6"	32	17'-6"	32	17'-6"	32	17'-6"	32
18'-0"	33	18'-0"	33	18'-0"	33	18'-0"	33	18'-0"	33	18'-0"	33
18'-6"	34	18'-6"	34	18'-6"	34	18'-6"	34	18'-6"	34	18'-6"	34
19'-0"	35	19'-0"	35	19'-0"	35	19'-0"	35	19'-0"	35	19'-0"	35
19'-6"	36	19'-6"	36	19'-6"	36	19'-6"	36	19'-6"	36	19'-6"	36
20'-0"	37	20'-0"	37	20'-0"	37	20'-0"	37	20'-0"	37	20'-0"	37
20'-6"	38	20'-6"	38	20'-6"	38	20'-6"	38	20'-6"	38	20'-6"	38
21'-0"	39	21'-0"	39	21'-0"	39	21'-0"	39	21'-0"	39	21'-0"	39
21'-6"	40	21'-6"	40	21'-6"	40	21'-6"	40	21'-6"	40	21'-6"	40
22'-0"	41	22'-0"	41	22'-0"	41	22'-0"	41	22'-0"	41	22'-0"	41
22'-6"	42	22'-6"	42	22'-6"	42	22'-6"	42	22'-6"	42	22'-6"	42
23'-0"	43	23'-0"	43	23'-0"	43	23'-0"	43	23'-0"	43	23'-0"	43
23'-6"	44	23'-6"	44	23'-6"	44	23'-6"	44	23'-6"	44	23'-6"	44
24'-0"	45	24'-0"	45	24'-0"	45	24'-0"	45	24'-0"	45	24'-0"	45
24'-6"	46	24'-6"	46	24'-6"	46	24'-6"	46	24'-6"	46	24'-6"	46
25'-0"	47	25'-0"	47	25'-0"	47	25'-0"	47	25'-0"	47	25'-0"	47
25'-6"	48	25'-6"	48	25'-6"	48	25'-6"	48	25'-6"	48	25'-6"	48
26'-0"	49	26'-0"	49	26'-0"	49	26'-0"	49	26'-0"	49	26'-0"	49
26'-6"	50	26'-6"	50	26'-6"	50	26'-6"	50	26'-6"	50	26'-6"	50
27'-0"	51	27'-0"	51	27'-0"	51	27'-0"	51	27'-0"	51	27'-0"	51
27'-6"	52	27'-6"	52	27'-6"	52	27'-6"	52	27'-6"	52	27'-6"	52
28'-0"	53	28'-0"	53	28'-0"	53	28'-0"	53	28'-0"	53	28'-0"	53
28'-6"	54	28'-6"	54	28'-6"	54	28'-6"	54	28'-6"	54	28'-6"	54
29'-0"	55	29'-0"	55	29'-0"	55	29'-0"	55	29'-0"	55	29'-0"	55
29'-6"	56	29'-6"	56	29'-6"	56	29'-6"	56	29'-6"	56	29'-6"	56
30'-0"	57	30'-0"	57	30'-0"	57	30'-0"	57	30'-0"	57	30'-0"	57
30'-6"	58	30'-6"	58	30'-6"	58	30'-6"	58	30'-6"	58	30'-6"	58
31'-0"	59	31'-0"	59	31'-0"	59	31'-0"	59	31'-0"	59	31'-0"	59
31'-6"	60	31'-6"	60	31'-6"	60	31'-6"	60	31'-6"	60	31'-6"	60
32'-0"	61	32'-0"	61	32'-0"	61	32'-0"	61	32'-0"	61	32'-0"	61
32'-6"	62	32'-6"	62	32'-6"	62	32'-6"	62	32'-6"	62	32'-6"	62
33'-0"	63	33'-0"	63	33'-0"	63	33'-0"	63	33'-0"	63	33'-0"	63
33'-6"	64	33'-6"	64	33'-6"	64	33'-6"	64	33'-6"	64	33'-6"	64
34'-0"	65	34'-0"	65	34'-0"	65	34'-0"	65	34'-0"	65	34'-0"	65
34'-6"	66	34'-6"	66	34'-6"	66	34'-6"	66	34'-6"	66	34'-6"	66
35'-0"	67	35'-0"	67	35'-0"	67	35'-0"	67	35'-0"	67	35'-0"	67
35'-6"	68	35'-6"	68	35'-6"	68	35'-6"	68	35'-6"	68	35'-6"	68
36'-0"	69	36'-0"	69	36'-0"	69	36'-0"	69	36'-0"	69	36'-0"	69
36'-6"	70	36'-6"	70	36'-6"	70	36'-6"	70	36'-6"	70	36'-6"	70
37'-0"	71	37'-0"	71	37'-0"	71	37'-0"	71	37'-0"	71	37'-0"	71
37'-6"	72	37'-6"	72	37'-6"	72	37'-6"	72	37'-6"	72	37'-6"	72
38'-0"	73	38'-0"	73	38'-0"	73	38'-0"	73	38'-0"	73	38'-0"	73
38'-6"	74	38'-6"	74	38'-6"	74	38'-6"	74	38'-6"	74	38'-6"	74
39'-0"	75	39'-0"	75	39'-0"	75	39'-0"	75	39'-0"	75	39'-0"	75
39'-6"	76	39'-6"	76	39'-6"	76	39'-6"	76	39'-6"	76	39'-6"	76
40'-0"	77	40'-0"	77	40'-0"	77	40'-0"	77	40'-0"	77	40'-0"	77
40'-6"	78	40'-6"	78	40'-6"	78	40'-6"	78	40'-6"	78	40'-6"	78
41'-0"	79	41'-0"	79	41'-0"	79	41'-0"	79	41'-0"	79	41'-0"	79
41'-6"	80	41'-6"	80	41'-6"	80	41'-6"	80	41'-6"	80	41'-6"	80
42'-0"	81	42'-0"	81	42'-0"	81	42'-0"	81	42'-0"	81	42'-0"	81
42'-6"	82	42'-6"	82	42'-6"	82	42'-6"	82	42'-6"	82	42'-6"	82
43'-0"	83	43'-0"	83	43'-0"	83	43'-0"	83	43'-0"	83	43'-0"	83
43'-6"	84	43'-6"	84	43'-6"	84	43'-6"	84	43'-6"	84	43'-6"	84
44'-0"	85	44'-0"	85	44'-0"	85	44'-0"	85	44'-0"	85	44'-0"	85
44'-6"	86	44'-6"	86	44'-6"	86	44'-6"	86	44'-6"	86	44'-6"	86
45'-0"	87	45'-0"	87	45'-0"	87	45'-0"	87	45'-0"	87	45'-0"	87
45'-6"	88	45'-6"	88	45'-6"	88	45'-6"	88	45'-6"	88	45'-6"	88
46'-0"	89	46'-0"	89	46'-0"	89	46'-0"	89	46'-0"	89	46'-0"	89
46'-6"	90	46'-6"	90	46'-6"	90	46'-6"	90	46'-6"	90	46'-6"	90
47'-0"	91	47'-0"	91	47'-0"	91	47'-0"	91	47'-0"	91	47'-0"	91
47'-6"	92	47'-6"	92	47'-6"	92	47'-6"	92	47'-6"	92	47'-6"	92
48'-0"	93	48'-0"	93	48'-0"	93	48'-0"	93	48'-0"	93	48'-0"	93
48'-6"	94	48'-6"	94	48'-6"	94	48'-6"	94	48'-6"	94	48'-6"	94
49'-0"	95	49'-0"	95	49'-0"	95	49'-0"	95	49'-0"	95	49'-0"	95
49'-6"	96	49'-6"	96	49'-6"	96	49'-6"	96	49'-6"	96	49'-6"	96
50'-0"	97	50'-0"	97	50'-0"	97	50'-0"	97	50'-0"	97	50'-0"	97
50'-6"	98	50'-6"	98	50'-6"	98	50'-6"	98	50'-6"	98	50'-6"	98
51'-0"	99	51'-0"	99	51'-0"	99	51'-0"	99	51'-0"	99	51'-0"	99
51'-6"	100	51'-6"	100	51'-6"	100	51'-6"	100	51'-6"	100	51'-6"	100

**SLAB DESIGNS - ROUND STRUCTURES**

SLAB DEPTH	SLAB THICKNESS	REINFORCING (2 WAYS) SCHEDULE
2'-0"	6"	1
2'-6"	6"	2
3'-0"	6"	3
3'-6"	6"	4
4'-0"	6"	5
4'-6"	6"	6
5'-0"	6"	7
5'-6"	6"	8
6'-0"	6"	9
6'-6"	6"	10
7'-0"	6"	11
7'-6"		



**MADDEN**  
 MOORHEAD & STOKES, INC.  
 CIVIL ENGINEERS  
 431 E. Horatio Avenue  
 Suite 260  
 Maitland, Florida 32751  
 (407) 629-8330

**CONSTRUCTION DETAILS**  
 FOR  
**VISTA RESERVE**  
 CITY OF APOPKA, FLORIDA

**THE PULTE GROUP**  
 4901 VINELAND ROAD, SUITE 500  
 ORLANDO, FLORIDA 32811  
 (407) 681-1514

**ENGINEER/ARCHITECT**  
 BENJAMIN S. BOCKHAM \* REGISTERED PROFESSIONAL ENGINEER  
 NO. 75462  
 STATE OF FLORIDA  
 BENJAMIN S. BOCKHAM \* REGISTERED ARCHITECT  
 NO. 779452  
 STATE OF FLORIDA  
 CERTIFICATE OF REGISTRATION NO. CE-0007723

**DATE REVISIONS**  
 17051  
 06/22/2018  
 N.T.S.  
 DESIGNED BY: BSB  
 DRAWN BY: BSB  
 APPROVED BY: BSB

**DT-3**  
 32 of 39







**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 250  
Maitland, Florida 32751  
(407) 629-8330

CITY OF APOPKA DETAILS  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

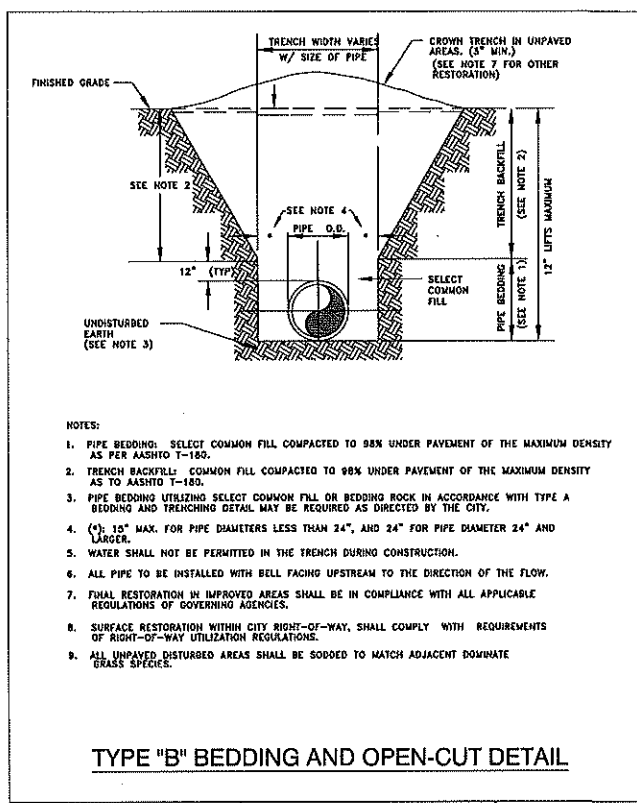
THE PULTE GROUP  
4001 VINELAND ROAD, SUITE 500  
ORLANDO, FLORIDA 32811  
(407) 661-1514

ENGINEER-IN-CHARGE:  
BENJAMIN S. BRACKHAM  
LICENSE No. 79452  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
EXPIRES 12/31/2018  
CERTIFICATION NUMBER: 13-0007723

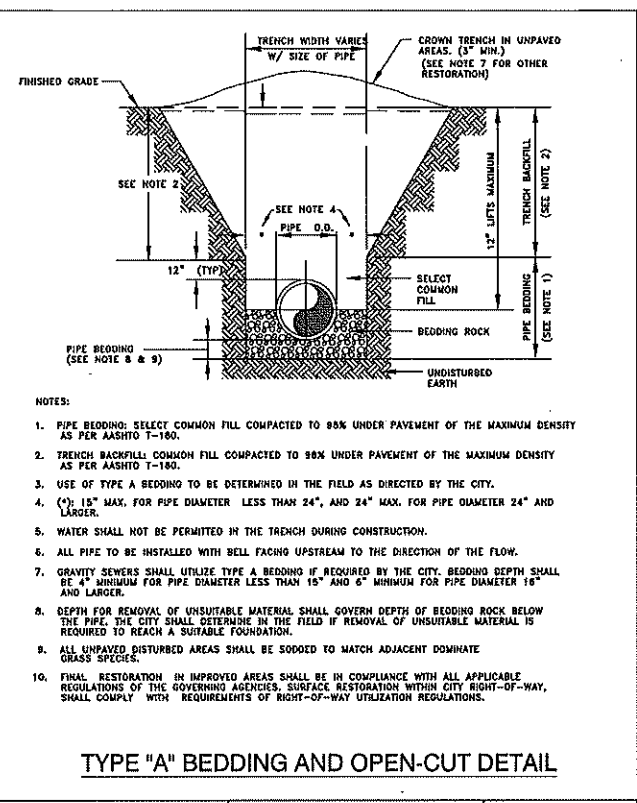
NO.	DATE	REVISIONS

JOB # 17051  
DATE: 06/22/2018  
SCALE: N.T.S.  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB

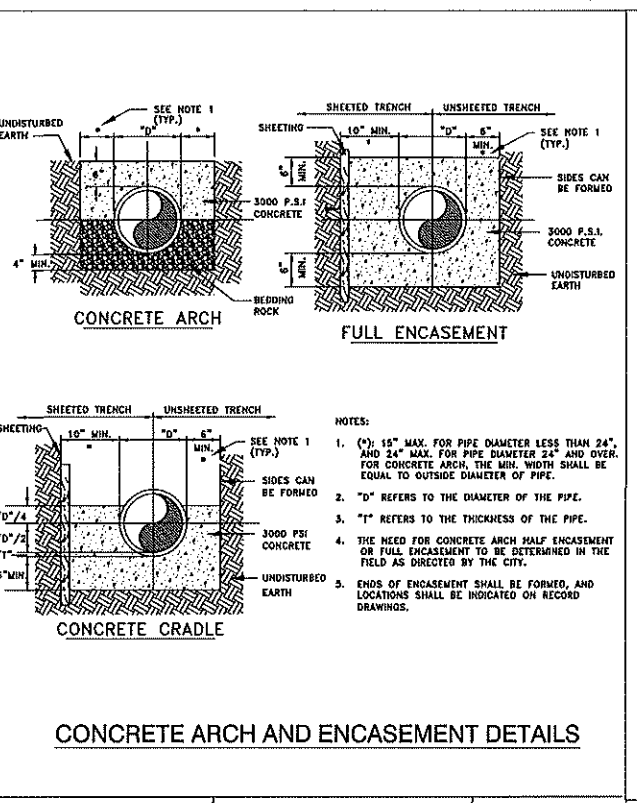
CD-1  
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CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 100



CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 101



CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 102

MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S). \*

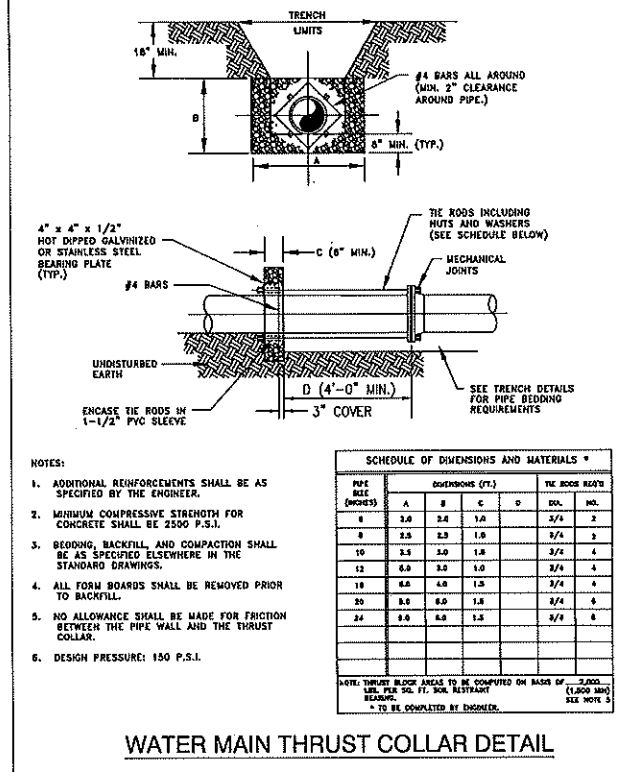
	PIPE SIZE										
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	48"
90° BEND	33	43	51	60							
45° BEND	14	18	22	25							
22-1/2° BEND	7	9	11	12							
11-1/4° BEND	4	5	6	6							
TEE**	1	7	24	44							
REDUCER (ONE SIZE SMALLER)		41	39	40							
DEAD END	74	96	115	136							

\* ONLY RESTRAIN BRANCH PIPE FOR TEES, ONLY RESTRAIN LARGER PIPE FOR REDUCERS  
\*\* LENGTH ALONG RUN ASSUMED TO BE 18'

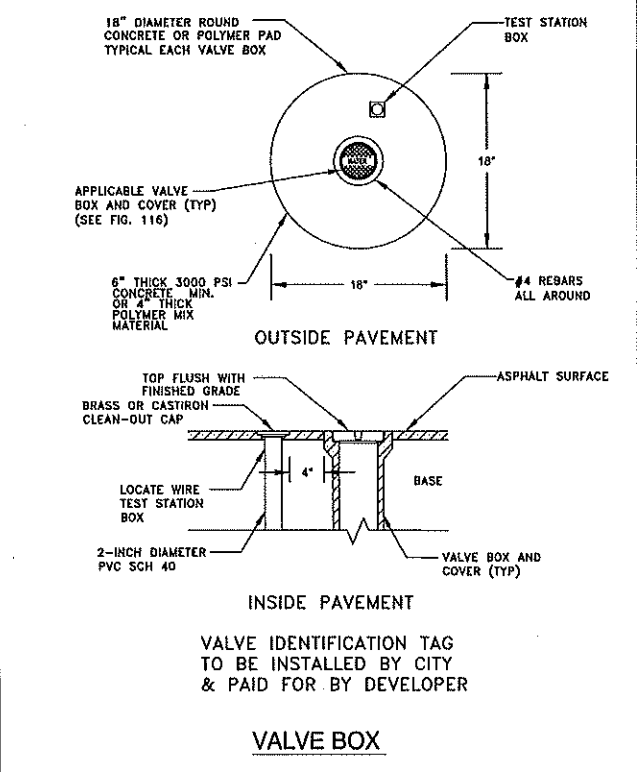
NOTES:  
1. FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE. FM FITTINGS TO BE LINED WITH PROTECTO 401.  
2. INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.  
3. WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.  
4. IN LINE VALVES AND THROUGH RUN OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.  
5. LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED IN "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, FOR PVC WITH THE FOLLOWING ASSUMPTIONS:  
TYPE OF PIPE: PVC  
WORKING PRESSURE: 150 P.S.I.\*\*  
SOIL DESIGNATION: SUGGESTED  
LAYING CONDITIONS: 3  
\*\* FM = 100 P.S.I. / WM OR RWM = 150 P.S.I.  
6. FOR PIPE ENCASED IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.  
7. VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.

**RESTRAINED PIPE TABLE (PVC)**

CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 105



CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 107



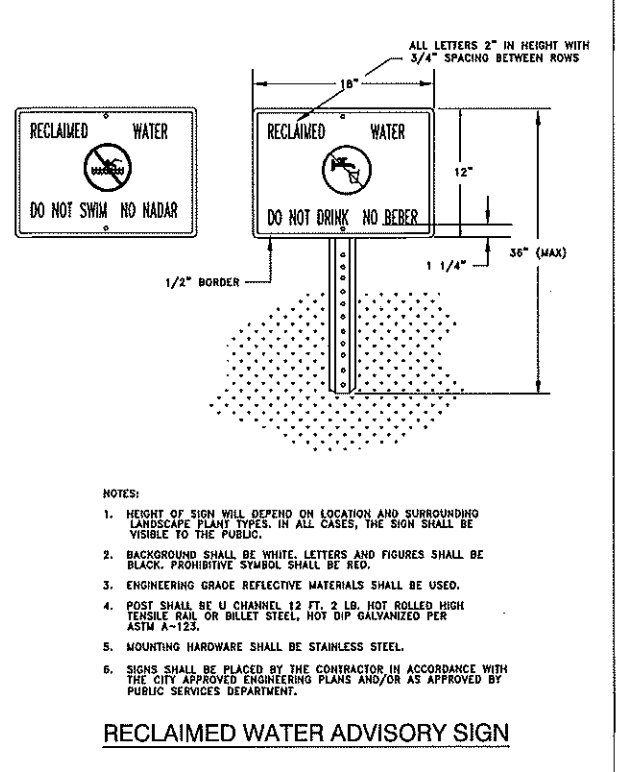
CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 109

MINIMUM PRESSURE RATING

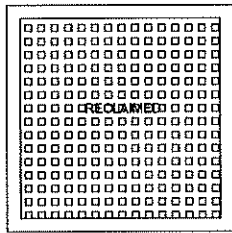
PSI	DI FITTINGS		PIPE MATERIAL*			GATE VALVE**		FORCEMAIN*	
	≤24"	>24"	PVC	DI	HDPE	≤12"	>12"	PVC	HDPE
100									
150									
200									
250									
350									

\* PVC SHALL HAVE A MAXIMUM DIMENSION RATIO (DR) OF 18 AND HDPE SHALL BE MAX DR11. FORCEMAIN: PVC SHALL BE MAX DR18 UNLESS DESIGN REQUIRES OTHERWISE AND HDPE SHALL BE MAX DR17.  
\*\* BUTTERFLY VALVES SHALL BE CLASS 150B

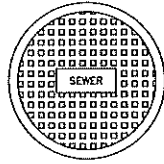
CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 110



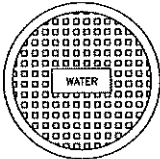
CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 115



RECLAIMED WATER



SEWER



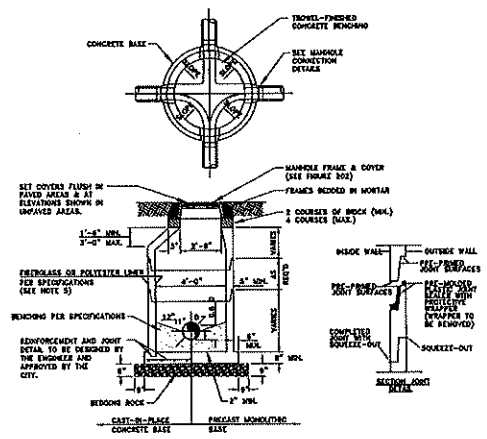
POTABLE WATER

TYPICAL VALVE BOX COVER DETAILS

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 116



THICKNESS (INCHES)	HEIGHT (FEET)	MATERIAL	MANUFACTURER	
48	3-6	7-12	13-17	
60				
72				

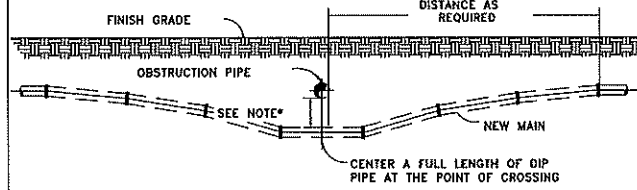
- NOTES:
- MANHOLE SHOWN IS FOR SEWER SIZE 8" THRU 24". SEE SECTION 20.4 OF THE MANUAL FOR MANHOLE DIAMETER FOR SEWERS LARGER THAN 24".
  - DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE MANHOLE CONNECTION DETAILS.
  - THE THICKNESS OF THE LINER SHALL BE 3/8" MINIMUM.
  - EACH BENCH WALL SHALL BE A MINIMUM OF 18 INCHES LONG FROM THE WALL OF THE MANHOLE TOWARD THE CENTER.
  - SANITARY SEWER MANHOLES MAY BE REQUIRED TO BE LINED IN ACCORDANCE WITH THE CITY OF APOPKA LIST OF APPROVED MATERIALS AND PRODUCTS AS DIRECTED BY THE CITY.

TYPICAL MANHOLE

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2015

FIG. 200



NOTES:

- 18" MINIMUM CLEARANCE FOR WATER, SEWER AND RECLAIMED WATER MAIN CROSSINGS
- 12" MINIMUM CLEARANCE REQUIRED FOR OTHER TYPE UTILITY CROSSINGS.
- SEE ENCASUREMENT DETAIL IF MINIMUM CLEARANCE CANNOT BE OBTAINED.

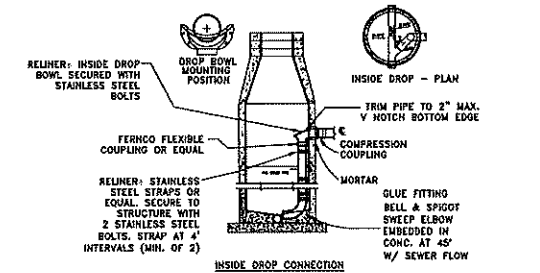
\* CONSTRUCT UNIFORM PIPE DEFLECTION NOT TO EXCEED 75% OF MANUFACTURER RECOMMENDED MAXIMUM DEFLECTION PER PIPE JOINT

UTILITY CROSSING PIPE DEFLECTION DETAIL

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

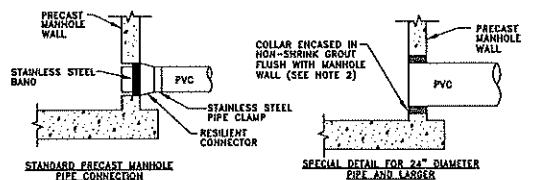
JANUARY 2014

FIG. 117



NOTES:

- ALL INSIDE DROP CONNECTIONS FOR SERVICES AND COLLECTOR SEWERS SHALL USE THE DROP BOWL AS PRODUCED BY: RELINER-DURAN, INC. 55 MT. ARCHER RD. L.W.E., CT 06371 (860)434-0277 FAX: (860)434-3195 OR EQUAL.
- SECURE DROP PIPE TO MANHOLE WALL WITH RELINER-DURAN, INC STAINLESS STEEL ADJUSTABLE CLAMPING BRACKETS.
- FORCE MAIN RECEIVING MANHOLES MAY BE REQUIRED TO BE LINED IN ACCORDANCE WITH THE CITY OF APOPKA LIST OF APPROVED MATERIALS AND PRODUCTS AS DIRECTED BY THE CITY.



NOTES:

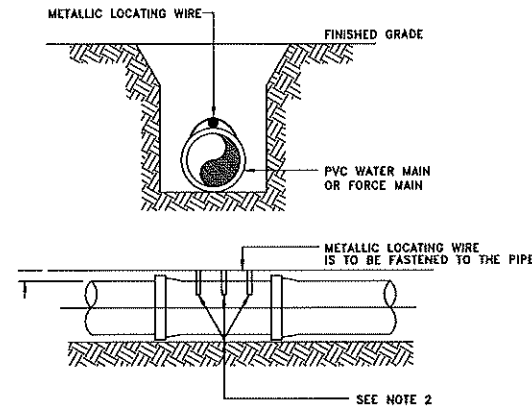
- DROP PIPE AND FITTINGS SHALL BE OF EQUAL SIZE AND MATERIAL AS THE INFLUENT SEWER.
- THE CITY MAY APPROVE ALTERNATE WATERTIGHT CONNECTION DETAILS FOR CONNECTION OF 24" DIAMETER PIPES AND LARGER.
- AN INSIDE DROP CONNECTION SHALL BE REQUIRED FOR ALL INFLUENT WHICH HAVE AN INVERT 24" OR MORE ABOVE THE OUTFLOW PIPE INVERT.
- CONCRETE TO BE MINIMUM OF 3000 PSI.

MANHOLE CONNECTION DETAILS

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2015

FIG. 201



NOTES:

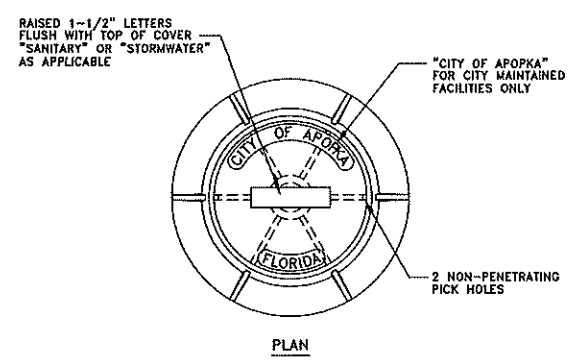
- PVC PIPE SHALL REQUIRE INSULATED METALLIC LOCATING WIRE (10 AWG-SOLID CCS REINFORCED TRACER WIRE-INSULATED 30 MIL HOPE - 30 VOLT MFG. BY COPPERHEAD INDUSTRIES, LLC OR EQUAL) CAPABLE OF DETECTION BY A CABLE LOCATOR.
- SHALL BE BURIED DIRECTLY ABOVE THE CENTERLINE OF THE PIPE AND ATTACHED WITH DUCT TAPE OR NYLON STRAPS AT 3 LOCATIONS PER JOINT. LOCATING WIRE SHALL TERMINATE AT THE TEST STATION BOX AS SHOWN IN FIG. 109.
- BE CAPABLE OF EXTENDING 12" ABOVE TOP OF TEST STATION BOX IN SUCH A MANNER SO AS NOT TO INTERFERE WITH VALVE OPERATION.
- SPLICES SHOULD BE MADE USING STANDARDS AND PRODUCTS DESIGNED FOR DIRECT BURIAL CONDUCTORS.
- WIRE INSULATION SHALL BE COLOR CODED FOR THE TYPE OF PIPE BEING INSTALLED.

PVC PIPE LOCATING WIRE DETAIL

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

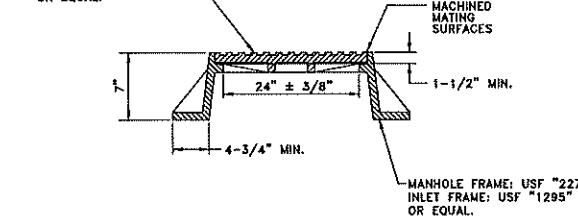
FIG. 118



RAISED 1-1/2" LETTERS FLUSH WITH TOP OF COVER "SANITARY" OR "STORMWATER" AS APPLICABLE

PLAN

PROFILE



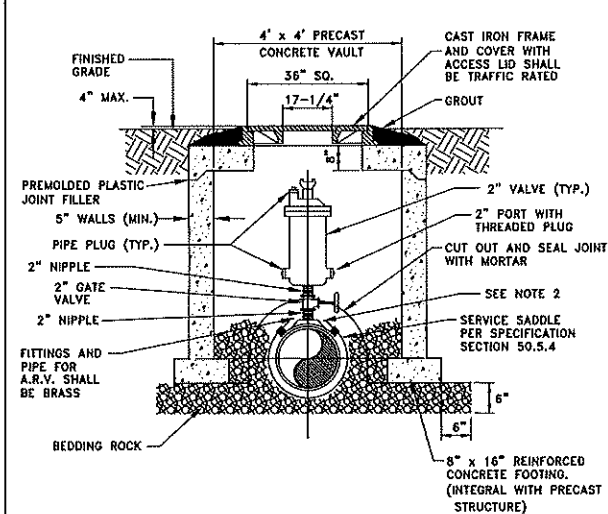
- NOTES:
- MANHOLE FRAME AND COVER ARE TO BE TRAFFIC BEARING RATED H-20, CLASS 30 MEETING ASTM A 48.

STANDARD MANHOLE FRAME AND COVER

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 202



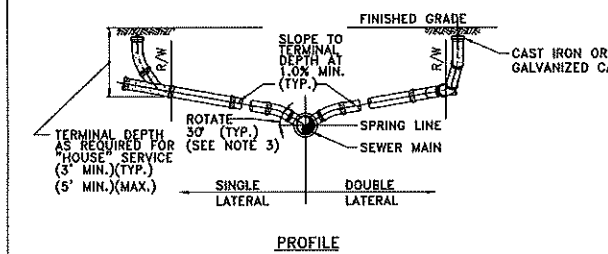
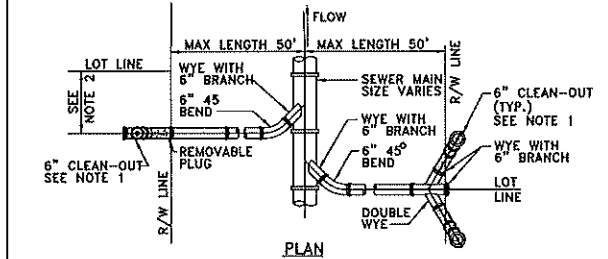
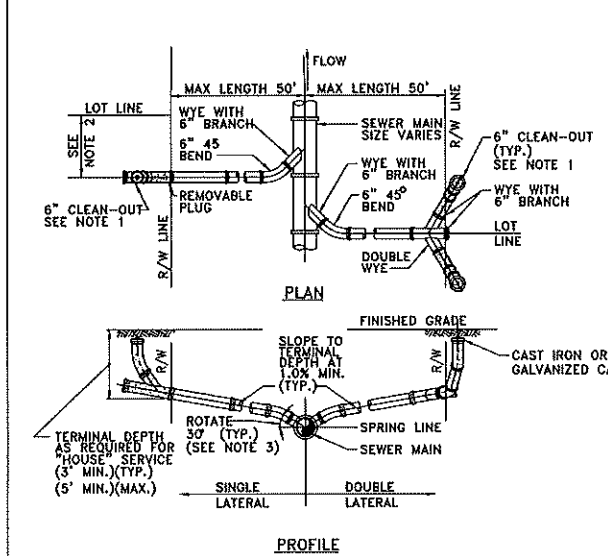
- NOTES:
- ABOVE DETAIL IS BASED ON 2 INCH COMBINATION AIR/VACUUM RELEASE VALVE. CHANGE PIPE AND FITTINGS ACCORDINGLY FOR OTHER VALVE SIZES AND TYPES. VALVE SIZES TO BE DETERMINED BY THE ENGINEER AND APPROVED BY THE CITY PRIOR TO INSTALLATION.
  - THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 4.0 FEET.
  - ALL STRUCTURES TO BE TRAFFIC BEARING RATED.

AIR OR COMBINATION AIR/VACUUM RELEASE VALVE DETAIL - UNDERGROUND

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 119



- NOTES:
- CLEAN-OUT (SHOWN SHADED) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
  - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE.
  - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
  - RESIDENTIAL SERVICES SHALL BE 4 INCHES & NON-RESIDENTIAL SERVICES SHALL BE 6 INCHES IN DIAMETER AS A MINIMUM.
  - GALVANIZED, OR CAST IRON CLEAN-OUT CAP SHALL BE USED ON THE STUBOUT FOR EACH SERVICE.
  - LATERAL SHALL BE MARKED WITH AN "S" STAMPED OR CUT IN THE CURB.

SERVICE LATERAL DETAIL

CITY OF APOPKA  
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 204

**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 260  
Maitland, Florida 32751  
(407) 629-8330

CITY OF APOPKA DETAILS  
FOR  
**VISTA RESERVE**  
CITY OF APOPKA, FLORIDA

THE PULTE GROUP  
4901 WINDLAND ROAD, SUITE 800  
ORLANDO, FLORIDA 32811  
(407) 681-1514

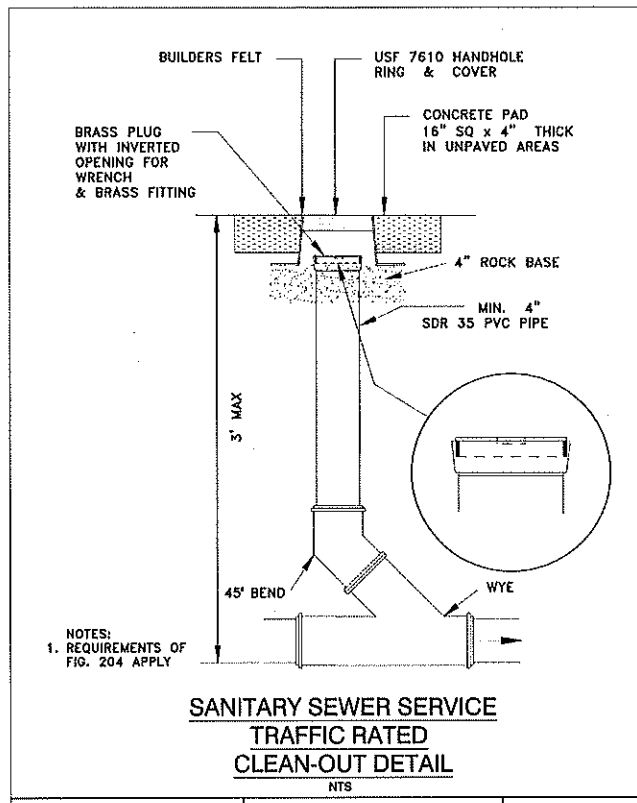
ENGINEER/ARCHITECT  
BENJAMIN S. BECKHAM  
No. 79462  
STATE OF FLORIDA  
REGISTERED PROFESSIONAL ENGINEER  
EXPIRES 12/31/15  
F.L.E. #79452  
CERTIFICATION NO. BE-000723

NO.	DATE	REVISIONS

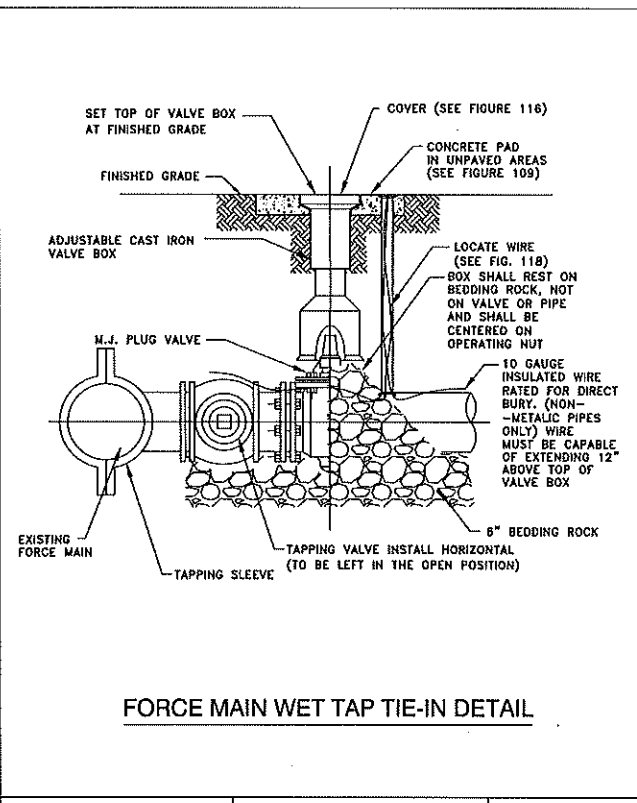
JOB # 17051  
DATE: 06/22/2018  
SCALE: N.T.S.  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB

NO.	DATE	REVISIONS

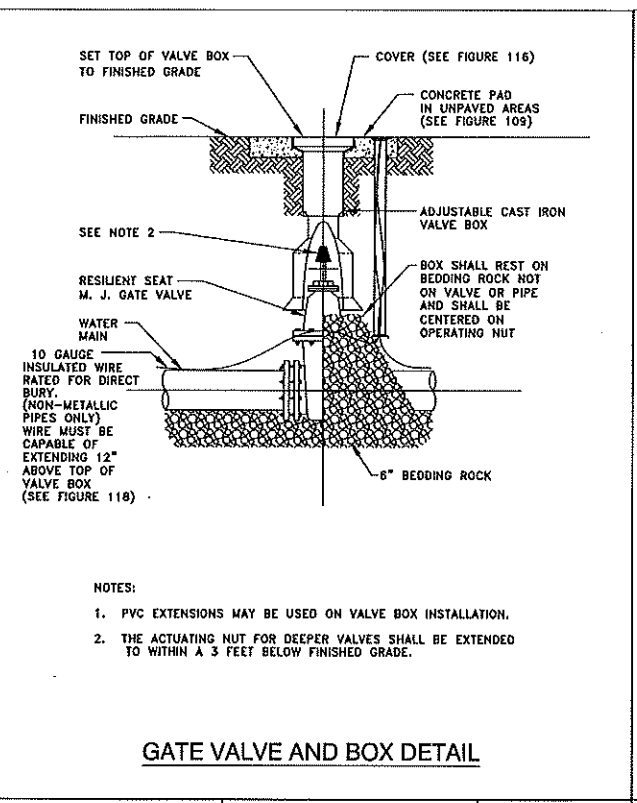
JOB #	17051
DATE	06/22/2018
SCALE	N.T.S.
DESIGNED BY	BSB
DRAWN BY	BSB
APPROVED BY	BSB



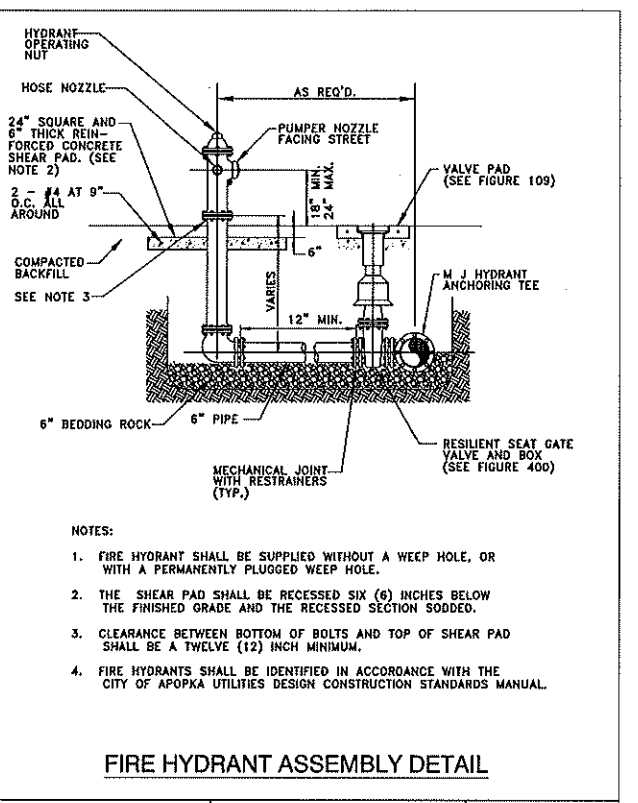
CITY OF APOKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 205



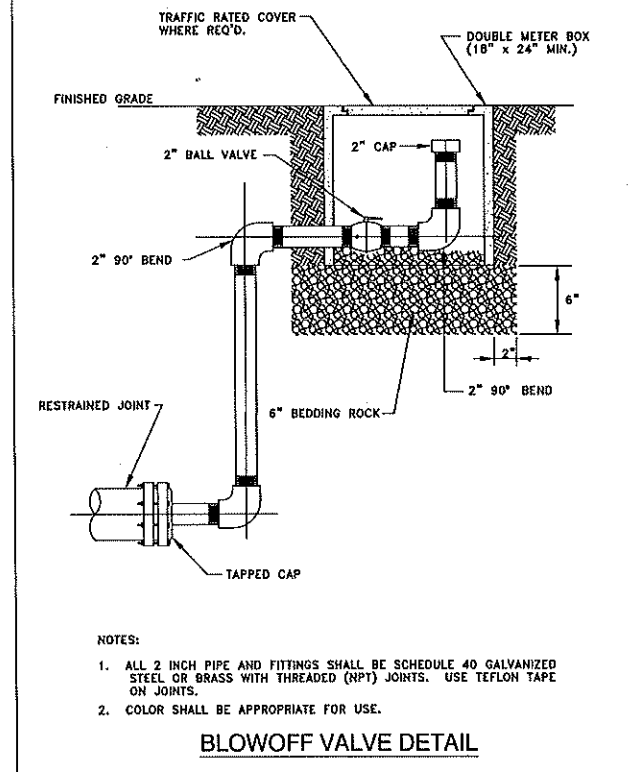
CITY OF APOKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 206



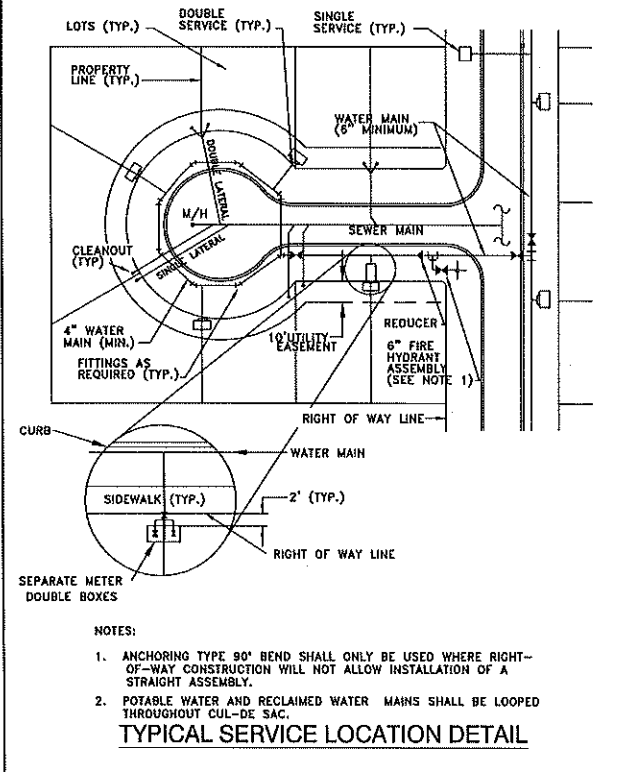
CITY OF APOKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 400



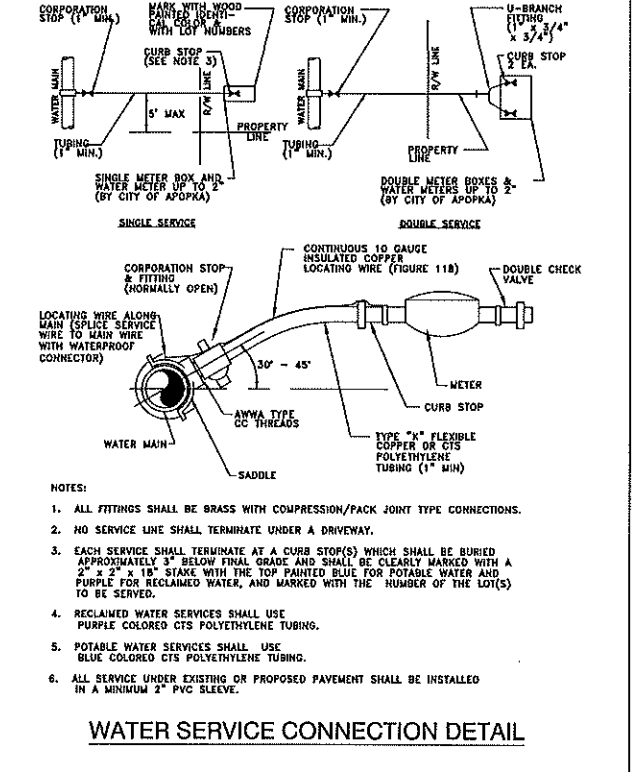
CITY OF APOKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 402



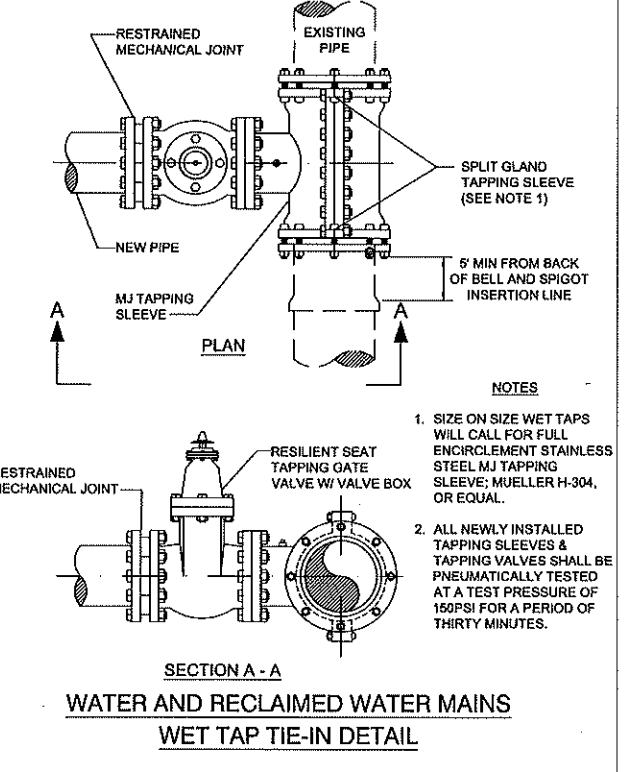
CITY OF APOKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 403



CITY OF APOKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 404



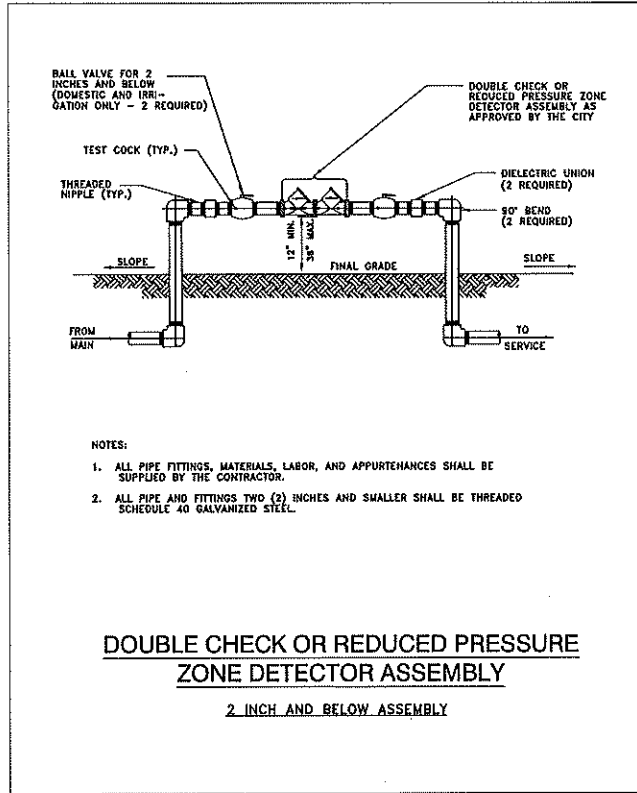
CITY OF APOKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 405



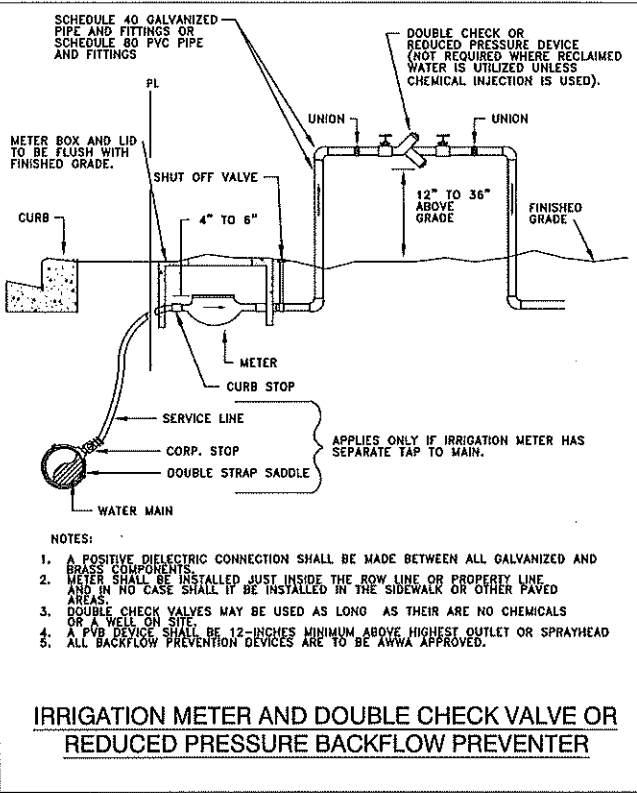
CITY OF APOKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 406

NO.	DATE	REVISIONS

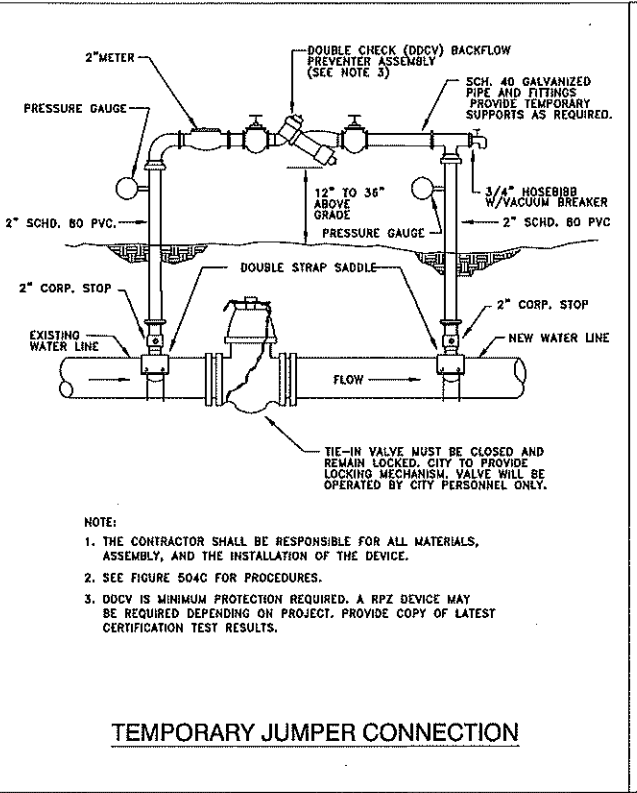
JOB #	17051
DATE	06/22/2019
SCALE	N.T.S.
DESIGNED BY	BSB
DRAWN BY	BSB
APPROVED BY	BSB



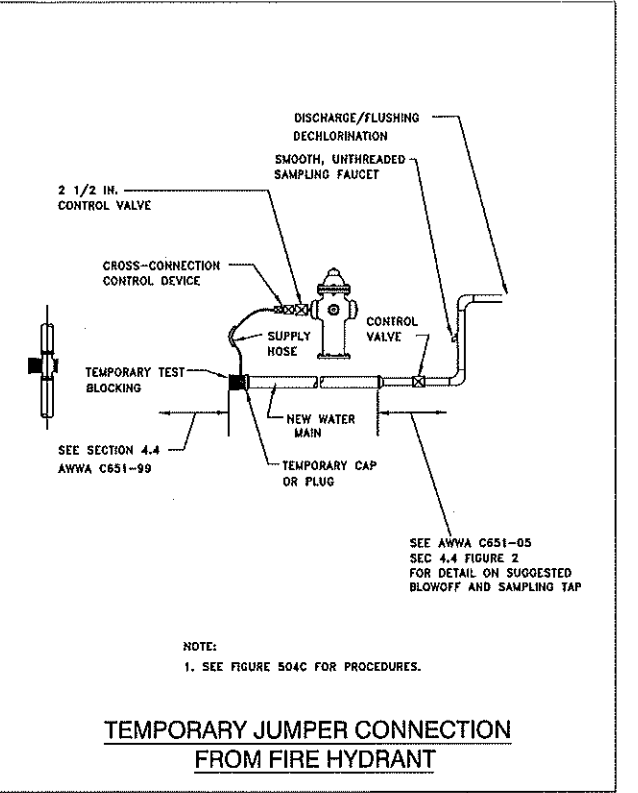
CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 500 A



CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 502



CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 504 A



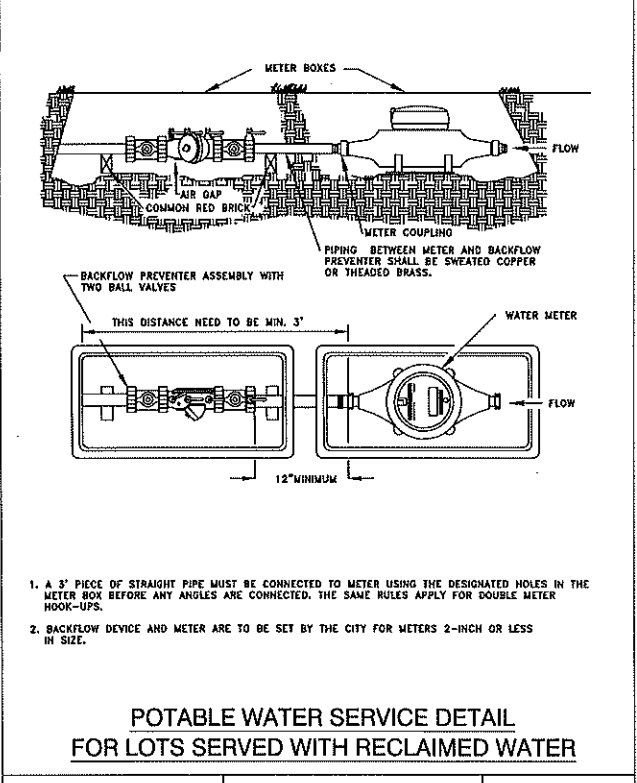
CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 504 B

**TEMPORARY JUMPER CONNECTION NOTES:**

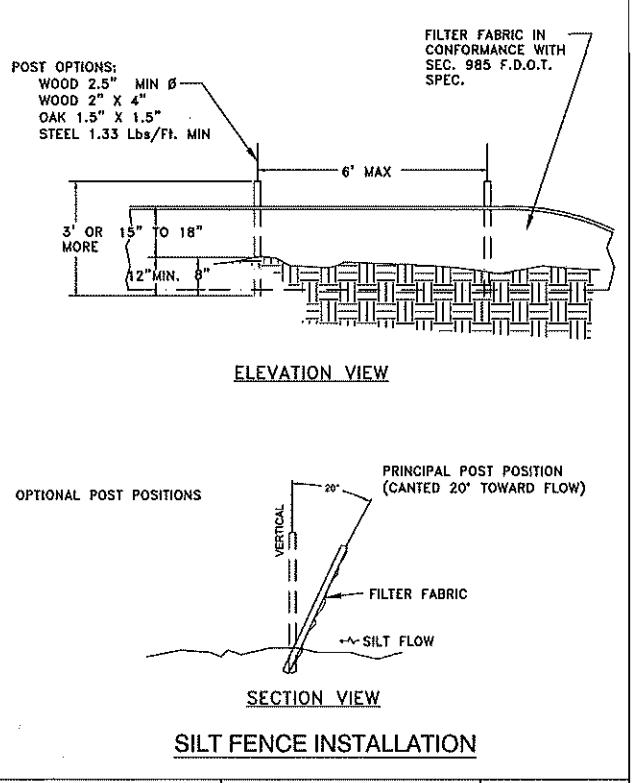
- A temporary jumper connection is required at all connections between existing water mains and proposed new water main improvements.
- Figures 504 A and 504 B to be used for filling any new water main of any size from existing water mains and for flushing of new mains up to 8 inches in diameter (1.5 FPS minimum velocity) and for pulling bacteriological samples from any new water main of any size. The jumper connection shall be maintained until after filling, flushing testing and disinfection of the new main has been successfully completed and cleared for use from the Florida Department of Environmental Protection (FDEP) and other pertinent agencies have been received. The jumper connection shall also be used to maintain a minimum pressure of 20 psi in the new main after disinfection and until the FDEP clearance letter is obtained. Thrust blocking and/or restraints shall be provided temporarily, as required. Pipe and fittings used for connecting the new pipe to the existing pipe shall be disinfected prior to installation in accordance with AWWA C651, 2005 edition. The lapping sleeve and the exterior of the main to be lapped shall be disinfected by spraying or scrubbing per section II of AWWA C651-05.
- Flushing of 10 inches in diameter and larger water mains may be done through the tie-in valve under very controlled conditions. The following procedures shall be followed:
  - The tie-in valves shall be opened and pressure tested in the presence of the City engineer to verify water tightness prior to tie-in. Valves which are not water tight shall be replaced with a new valve installed immediately adjacent to the leaking valve.
  - The temporary jumper connection shall be constructed as detailed. The jumper connection shall be used to fill the new water main and for providing water for bacteriological sampling of the new main as required by the FDEP permit.
    - Flushing shall not be attempted during peak demand hours of the existing water mains.
    - All downstream valves in the system must be open prior to opening the tie-in valve.
    - Provide for and monitor the pressure in the tie-in point. The pressure in the existing main must not drop below 35 psi.
    - The tie-in valve shall be opened a few turns only, ensuring a pressure drop across the valve is greater than 10 psi.
    - The tie-in valve shall be locked closed by the City personnel until flushing begins.
    - The tie-in valve shall be opened only for flushing of the new main. The procedure shall be directed by the City and observed by the engineer.
  - After flushing, the tie-in valve shall be closed and locked in the closed position by the City personnel.
- The contractor shall provide documentation demonstrating that the double check backflow prevention device has been tested and is in good working order at the time of installation.
- Except as required to flush sizes of greater than 8 inches in diameter, the tie-in valve shall remain closed and shall be locked in the closed position by the City. The tie-in valve shall remain locked closed until the new system has been cleared for use by FDEP and all other pertinent agencies.
- Upon receipt of clearance for use from FDEP and all other pertinent agencies, the contractor shall remove the temporary jumper connection. The corporation steps are to be closed and plugged with 2 inch brass plugs.
- All installation and maintenance of the temporary jumper connection and associated backflow prevention device, fittings, valves, etc. shall be the responsibility of the contractor.

**PROCEDURES FOR TEMPORARY JUMPER CONNECTION**

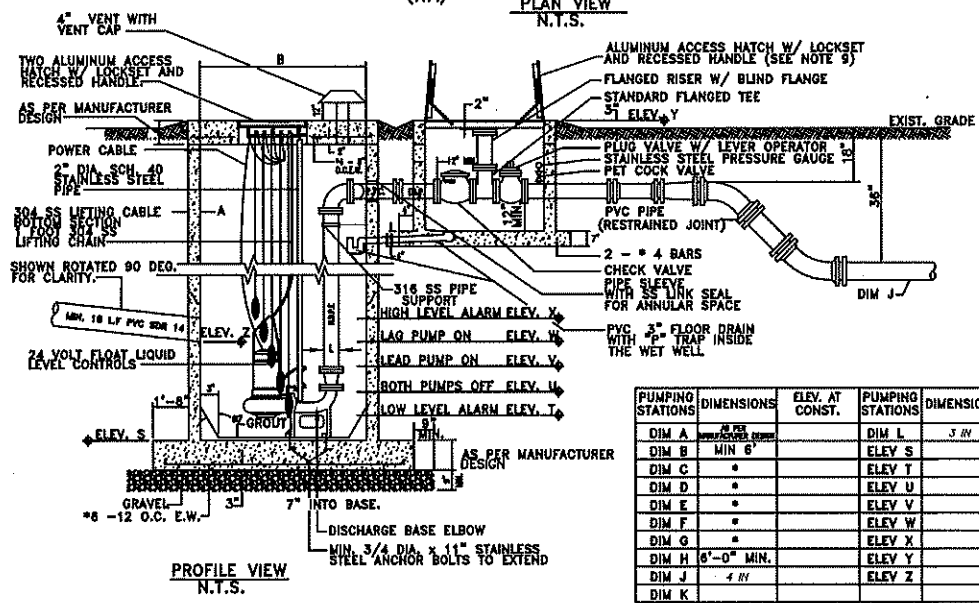
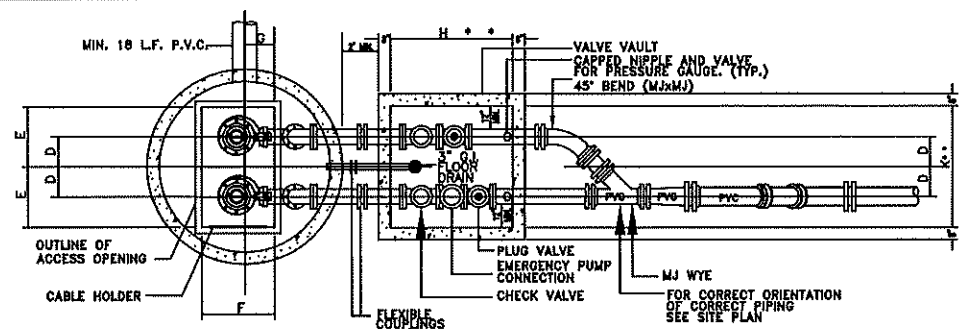
CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 504 C



CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 505



CITY OF APOPKA DESIGN ENGINEERING DIVISION  
JANUARY 2014  
FIG. 602



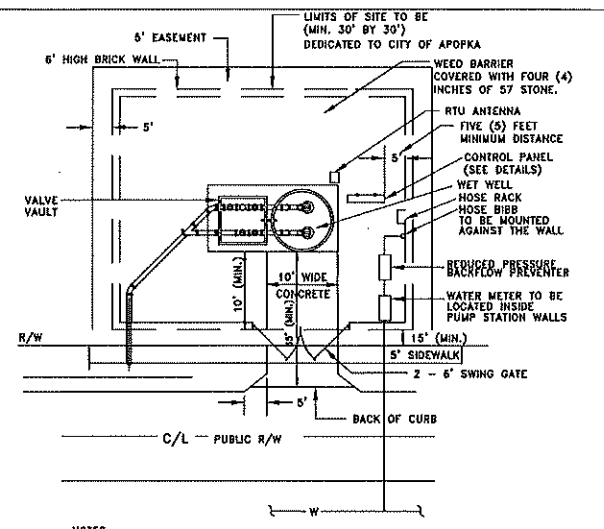
PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.	PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.
DIM A	MIN 6'		DIM L	3' BY	
DIM B		ELEV S			79.99
DIM C		ELEV T			89.99
DIM D		ELEV U			81.49
DIM E		ELEV V			83.59
DIM F		ELEV W			84.09
DIM G		ELEV X			84.59
DIM H	6'-0" MIN.	ELEV Y			91.70
DIM J	4' BY	ELEV Z			84.99
DIM K					

\* PER PUMP MANUFACTURERS REQUIREMENT

- GENERAL NOTES:**
- VALVE VAULT AND WET WELL LIDS SHALL BE COATED WITH 1 COAT OF TNEPEC SERIES 66, COLOR EN03, (2-3 MILS), FOLLOWED BY TOP COAT OF TNEPEC SERIES 73, COLOR EN03, (2-3 MILS) OR EQUAL.
  - THE WET WELL SHALL BE CONSTRUCTED OF FIBERGLASS REINFORCED POLYESTER (RFP) AND MANUFACTURED FROM COMMERCIAL GRADE POLYESTER RESIN OR VINYL ESTER RESIN, WITH FIBERGLASS REINFORCEMENTS. THE WET WELL SHALL BE A ONE PIECE UNIT AND MANUFACTURED BY L.F. MANUFACTURER, INC. OR EQUAL.
  - IN LIEU OF RFP THE WET WELL MAY BE CONSTRUCTED OF PRECAST CONCRETE HAVING A MINIMUM WALL THICKNESS OF 8 INCHES. THE INTERIOR WALLS SHALL BE LINED USING A HIGH DENSITY POLYETHYLENE PRODUCT AS MANUFACTURED BY AGRU SURE GRIP, OR EQUAL.
  - PIPING IN THE WET WELL TO BE HDPE WITH FUSED 45 DEGREE FITTINGS FROM WET WELL TO VALVE VAULT.
  - INTERIOR OF THE VALVE VAULT AND PIPING IN THE VALVE VAULT WITH ConSol CS-35 (OR EQUAL), TWO COATS, 4 MILS EACH. PIPING SHALL BE COATED AFTER INSTALLATION.
  - VALVE VAULT SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE SPINDLES WITH MINIMUM CLEARANCES AS SHOWN FOR 6" DIAMETER PIPE AND SMALLER. CLEARANCES SHALL INCREASE AS REQUIRED FOR LARGER PIPE SIZES.
  - VALVE VAULT SHALL HAVE SEALED FLOOR AND DRAIN.
  - ALL LOCATIONS WHERE PIPES ENTER OR LEAVE THE WET WELL OR VALVE VAULT SHALL BE MADE WATERTIGHT WITH WALL SLEEVE AND STAINLESS STEEL LINK SEAL.
  - THERE SHALL BE NO VALVES OR ELECTRICAL JUNCTION BOXES IN WET WELL.
  - WET WELL AND VALVE VAULT COVERS SHALL BE ALUMINUM WITH 316 S.S. HARDWARE LOCK BRACKET. SIZE AS REQUIRED BY PUMP MANUFACTURER AND APPROVED BY THE CITY.
  - FLEXIBLE COUPLING SHALL BE SLEEVE TYPE, EPOXY COATED.
  - PUMPS SHALL BE:  
MANUFACTURER: FLYGT; MODEL: HP 3127 S1; DIA: 180 MM; SPEED: 3,000 RPM; DISCHARGE SIZE: 3.125 IN.; VOLTAGE: 480 V; HZ: 60 HZ; PHASE: 3 PHASE; H.P.: 11.4 HP; MIN. SOLID SIZE: 3 IN.
  - OPERATING CONDITIONS SHALL BE 103 GPM AT 115 FEET TDH.
  - ALL HARDWARE IN WET WELL AND VALVE BOX TO BE 316 STAINLESS STEEL.
  - "P" TRAP TO BE INSTALLED IN WET WELL.
  - ALL PUBLIC LIFT STATIONS SHALL BE EQUIPPED WITH SCADA SYSTEM. THE DEVELOPER SHALL PAY THE CITY COST OF THE UNIT. THE CITY WILL BE RESPONSIBLE FOR INSTALLATION.
  - ALL LIFT STATIONS SHALL BE FENCED WITH DECORATIVE STONE OR BRICK OR AS DIRECTED BY THE CITY.
  - ALL LIFT STATIONS SHALL HAVE A 10 FEET WIDE CONCRETE ACCESS DRIVEWAY, 35' LONG FROM EDGE OF WET WELL TO BACK OF CURB.
  - ENGINEER SHALL PROVIDE A SCALED (1" = 20' MIN.) SITE SPECIFIC DETAIL.

**PUMP STATION DETAIL**

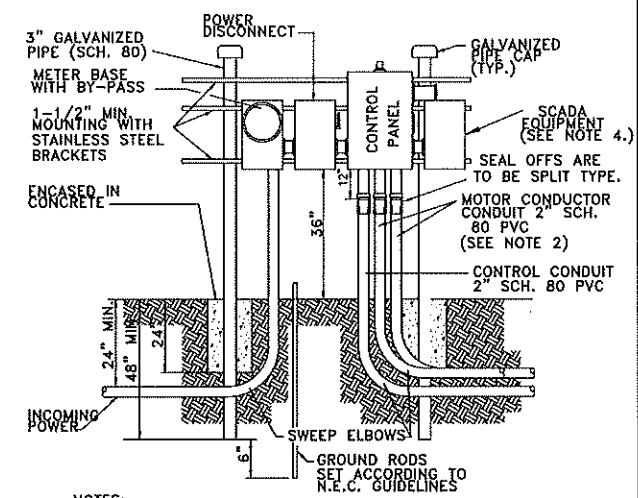
CITY OF APOPKA DESIGN ENGINEERING DIVISION      JANUARY 2014      FIG. 301



- NOTES:**
- DRIVEWAY AND APRON SHALL BE SIX (6) INCH THICK, 3000 P.S.I. CONCRETE WITH NO. 6X6 WIRE MESH OR FIBER MESH.
  - POWER TO THE PUMP STATION SHALL BE THROUGH UNDERGROUND CONDUIT FROM SUPPLY SOURCE IN RIGHT-OF-WAY.
  - DATE TO BE DECORATIVE BLACK POWDER COATED ALUMINUM W/PICKET SPACING = OR < 4"
  - WALLS ARE TO BE BRICK OR DECORATIVE STONE.
  - WET WELL LID MUST OPEN TOWARD CONTROL PANEL (HINGE SIDE TOWARD PANEL).
  - LIFT STATION WALL TO BE PLACED AT LEAST 15FT. BEHIND THE R/W LINE.

**PUMP STATION TYPICAL SITE PLAN**

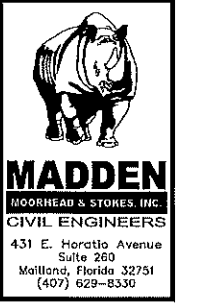
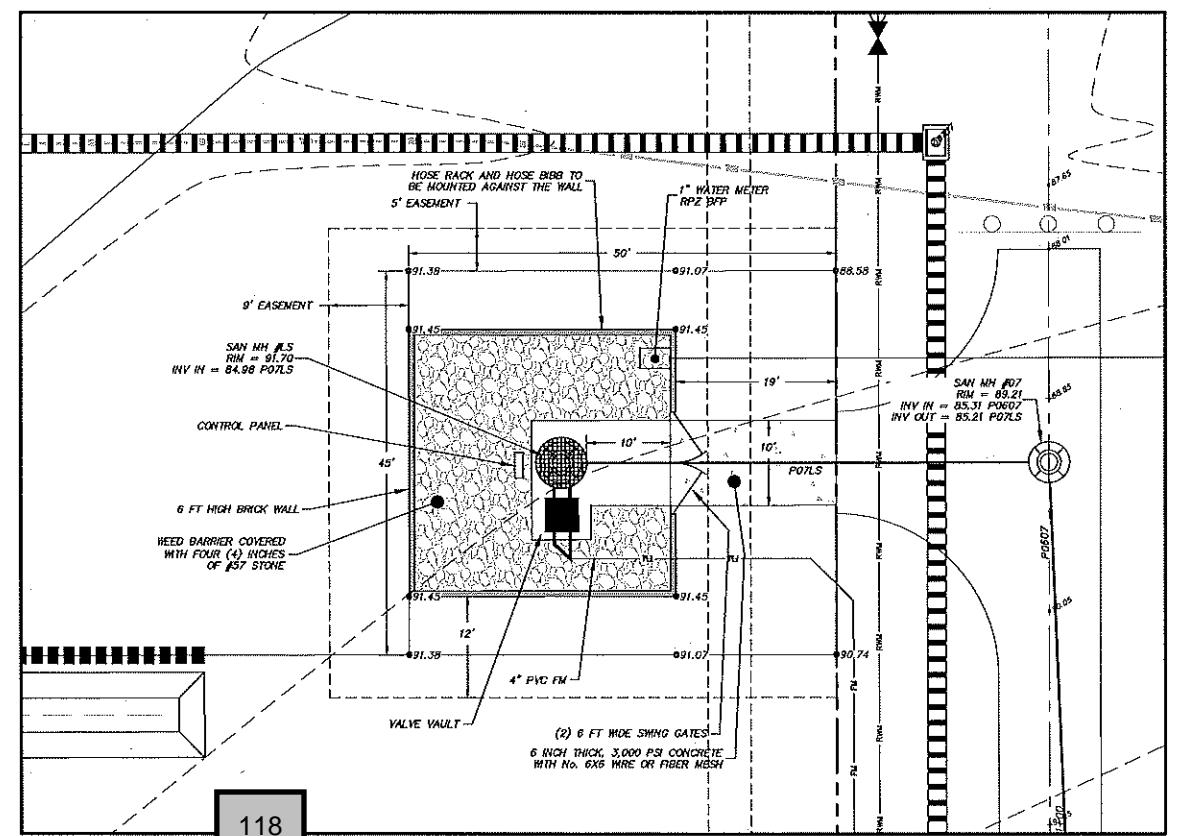
CITY OF APOPKA DESIGN ENGINEERING DIVISION      JANUARY 2014      FIG. 300



- NOTES:**
- DRAWING IS SHOWN FOR 230 VOLT POWER SUPPLY. THE LOCATION OF METER AND MAIN POWER DISCONNECT SHALL BE REVERSED FOR 480 VOLT SUPPLY.
  - WHEN TWO (2) SEPARATE CONDUCTOR-TYPE MOTORS ARE USED, CONDUIT SHALL BE INCREASED TO THREE (3) INCH.
  - POWER SUPPLY SHALL BE UNDERGROUND TO THE PUMP STATION AND SHALL BE THREE (3) PHASE FROM A THREE (3) PHASE SOURCE ONLY.
  - STUB OUT UNISTRUT LONG ENOUGH TO ACCOMMODATE A 24"x24" SCADA EQUIPMENT CABINET. CITY TO INSTALL SCADA EQUIPMENT CABINET.

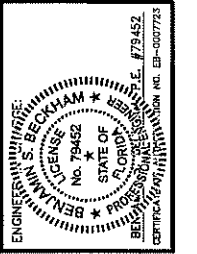
**DUPLEX PUMP STATION CONTROL PANEL INSTALLATION DETAIL**

CITY OF APOPKA DESIGN ENGINEERING DIVISION      JANUARY 2014      FIG. 302



LIFT STATION DETAILS FOR VISTA RESERVE FLORIDA CITY OF APOPKA

THE PULTE GROUP  
4901 WINDLAND ROAD, SUITE 500  
ORLANDO, FLORIDA 32811  
(407) 681-1514



NO.	DATE	REVISIONS
1	06/22/2018	REVISED PER CITY COMMENTS

JOB # 17051  
DATE: 06/22/2018  
SCALE: N.T.S.  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB

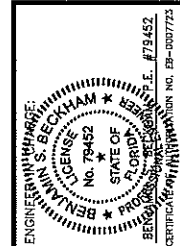




**MADDEN**  
MOORHEAD & STOKES, INC.  
CIVIL ENGINEERS  
431 E. Horatio Avenue  
Suite 250  
Maitland, Florida 32751  
(407) 629-8330

LIFT STATION DETAILS  
FOR  
**VISTA RESERVE**  
FLORIDA  
CITY OF APOPKA

THE PULTE GROUP  
4001 VINELAND ROAD, SUITE 500  
ORLANDO, FLORIDA 32811  
(407) 661-1514

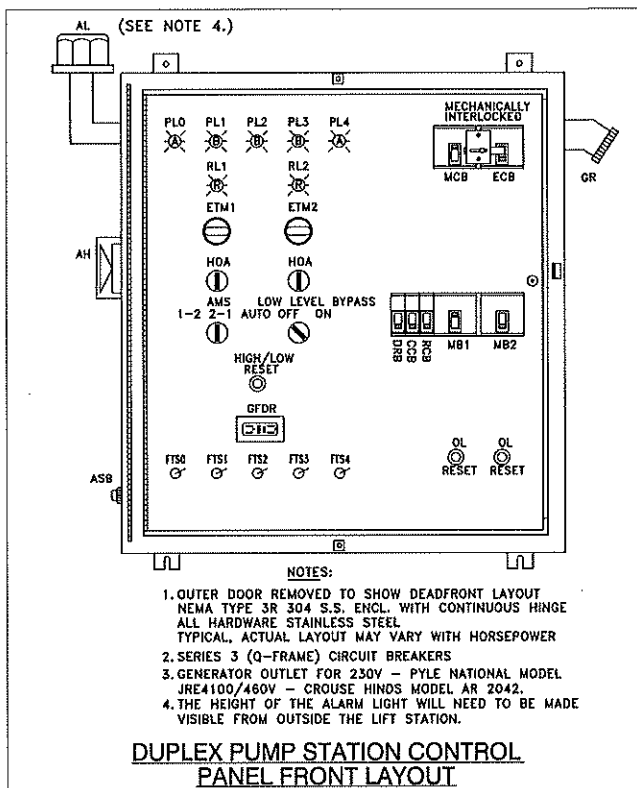


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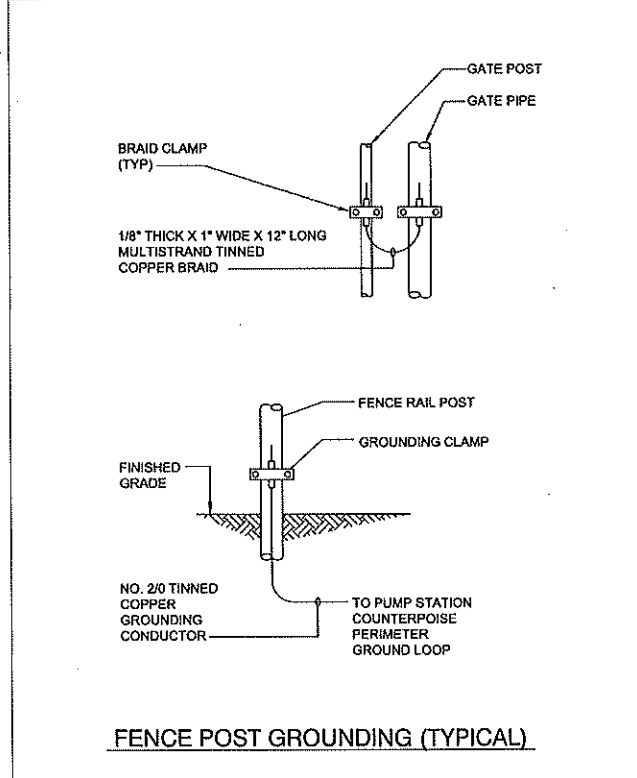
JOB # 17051  
DATE: 06/22/2018  
SCALE: N.T.S.  
DESIGNED BY: BSB  
DRAWN BY: BSB  
APPROVED BY: BSB

LS-2  
39 of 39

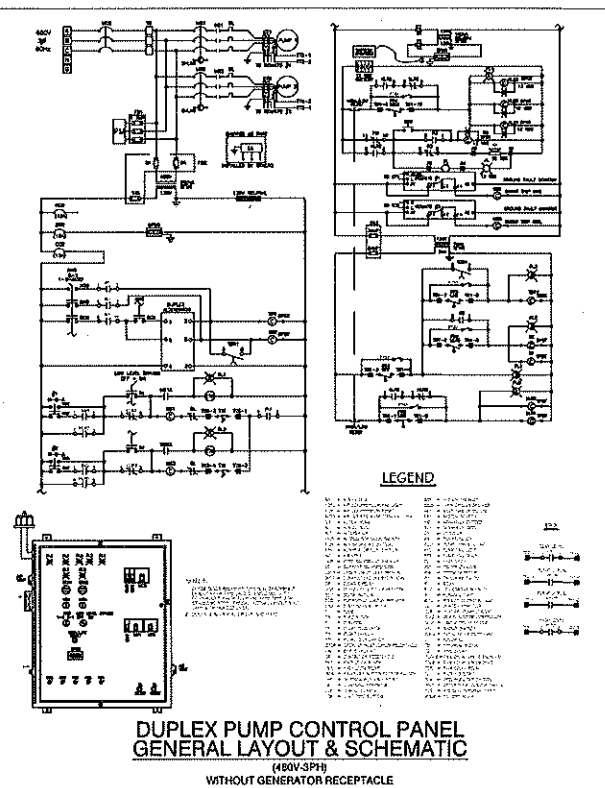
DATE | REVISIONS  
New 01, 2018-01-16-13:33 am



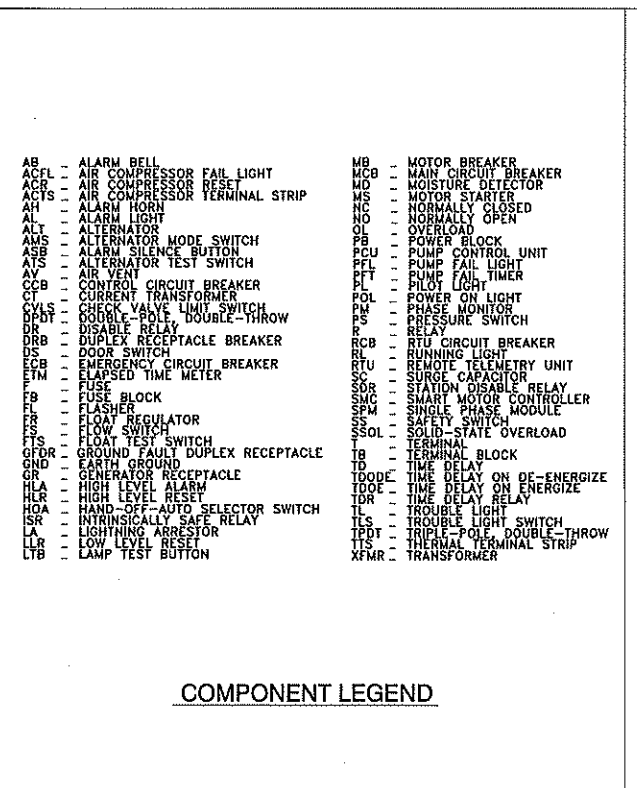
CITY OF APOPKA JANUARY 2014 FIG. 303  
DESIGN ENGINEERING DIVISION



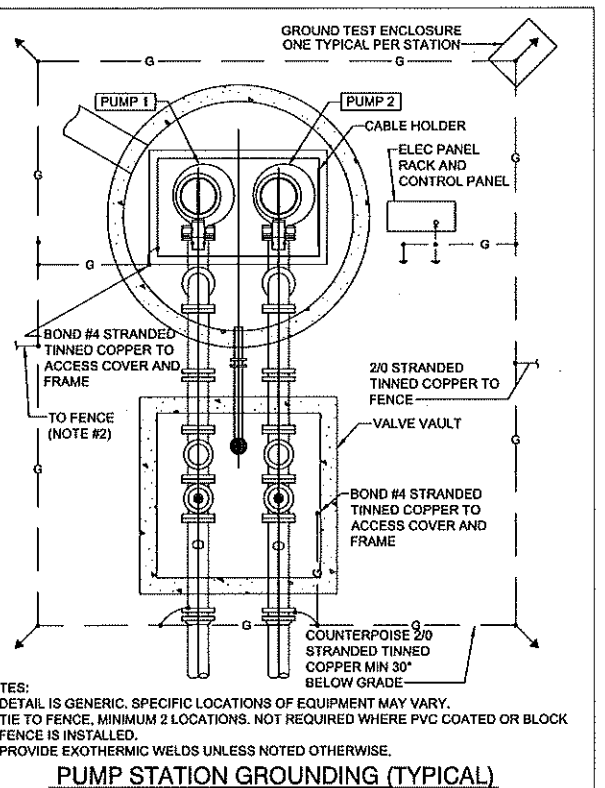
CITY OF APOPKA JANUARY 2014 FIG. 307 A  
DESIGN ENGINEERING DIVISION



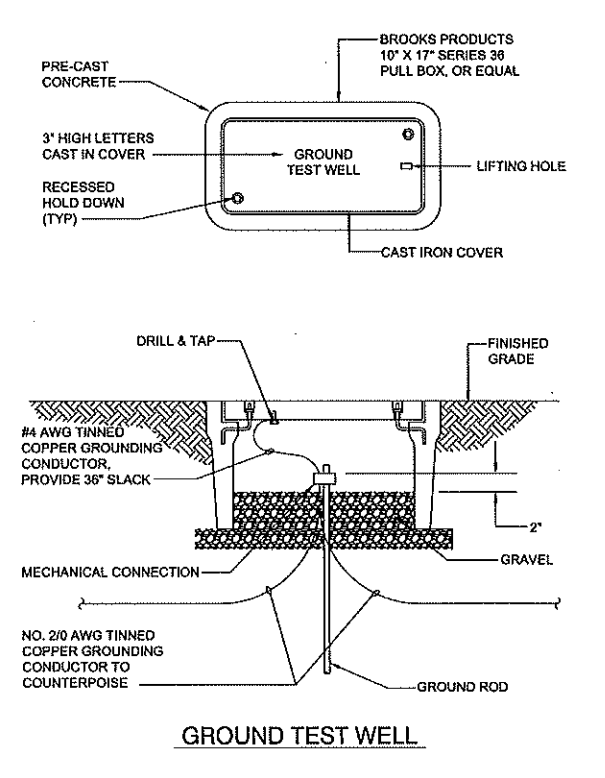
CITY OF APOPKA JANUARY 2014 FIG. 305 D  
DESIGN ENGINEERING DIVISION



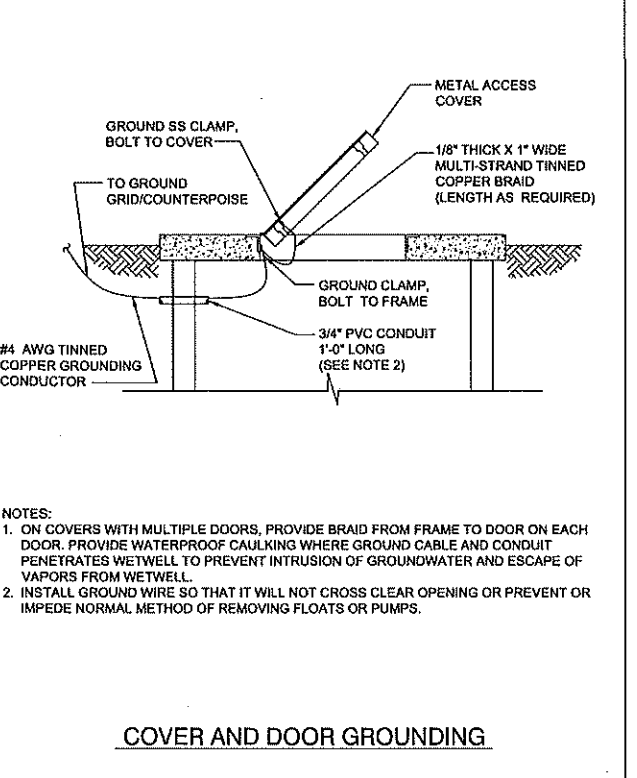
CITY OF APOPKA JANUARY 2014 FIG. 306  
DESIGN ENGINEERING DIVISION



CITY OF APOPKA JANUARY 2014 FIG. 307  
DESIGN ENGINEERING DIVISION



CITY OF APOPKA JANUARY 2014 FIG. 307 B  
DESIGN ENGINEERING DIVISION



CITY OF APOPKA JANUARY 2014 FIG. 307 C  
DESIGN ENGINEERING DIVISION

# VISTA RESERVE

CITY OF APOPKA, FLORIDA

## LANDSCAPE ARCHITECTURAL DRAWINGS

FINAL DEVELOPMENT PLAN

ISSUED FOR PERMIT - 04.05.18

REVISED: 04.30.18

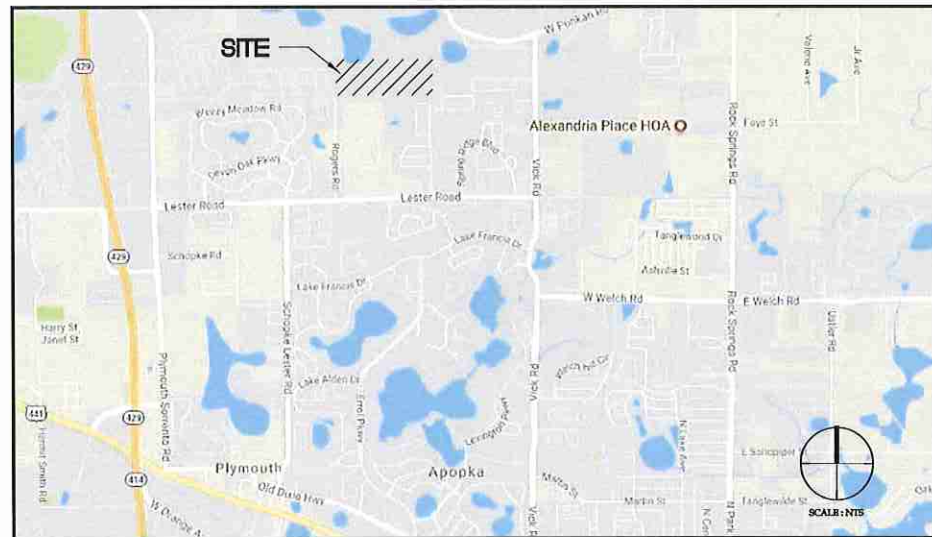
REVISED: 06.27.18

REVISED: 07.27.18

REVISED: 08.21.18

REVISED: 11.19.18

### VICINITY MAP



### INDEX OF DRAWINGS

SHT. NO.	ISSUE DATE	REV. NO.	REV. DATE	SHEET TITLE
LP-001	04/05/18	5	11.19.18	KEY PLAN
LP-002	04/05/18	---	---	TREE MITIGATION PLAN
LP-003	04/05/18	---	---	TREE MITIGATION PLAN
LP-004	04/05/18	---	---	TREE MITIGATION PLAN
LP-005	04/27/18	5	11.19.18	RECREATION/OPEN SPACE PLAN
LP-100	04/05/18	1	04.30.18	LANDSCAPE PLAN
LP-101	04/05/18	5	11.19.18	LANDSCAPE PLAN
LP-102	04/05/18	1	04.30.18	LANDSCAPE PLAN
LP-103	04/05/18	5	11.19.18	LANDSCAPE PLAN
LP-104	04/05/18	2	06.27.18	LANDSCAPE PLAN
LP-105	04/05/18	1	04.30.18	LANDSCAPE NOTES & DETAILS
LP-200	04/05/18	3	07.27.18	HARDSCAPE DETAILS
LP-201	04/05/18	2	06.27.18	HARDSCAPE IMAGES
LP-300	04/05/18	1	04.30.18	IRRIGATION PLAN
LP-301	04/05/18	5	11.19.18	IRRIGATION PLAN
LP-302	04/05/18	---	---	IRRIGATION PLAN
LP-303	04/05/18	5	11.19.18	IRRIGATION PLAN
LP-304	04/05/18	1	04.30.18	IRRIGATION PLAN
LP-305	04/05/18	5	11.19.18	IRRIGATION NOTES AND DETAILS
LP-306	04/05/18	---	---	IRRIGATION DETAILS
LP-307	04/05/18	---	---	IRRIGATION DETAILS
LP-308	04/05/18	---	---	IRRIGATION DETAILS



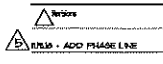
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

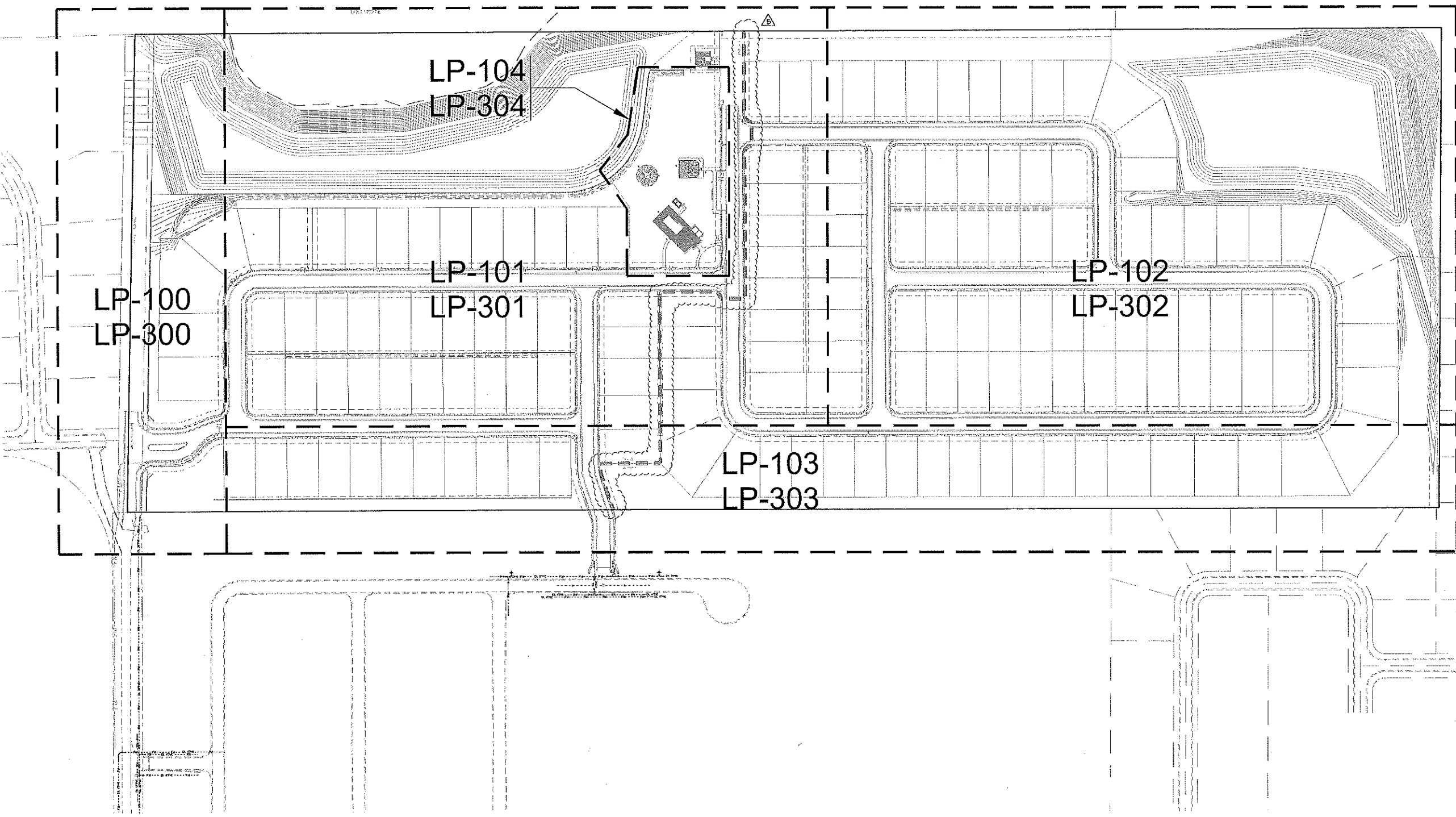


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Phone (407) 648-2225  
www.fosterconant.com

Sd



Legend table with multiple empty rows for symbols and descriptions.

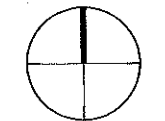


VISTA RESERVE

CITY OF APOPKA, FL

KEY PLAN

Date: 04/05/18  
Scale: 1" = 100'  
Drawn: CFB  
Checked: RRC  
File No: SAMALP001DWG



Sheet

LP-001

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

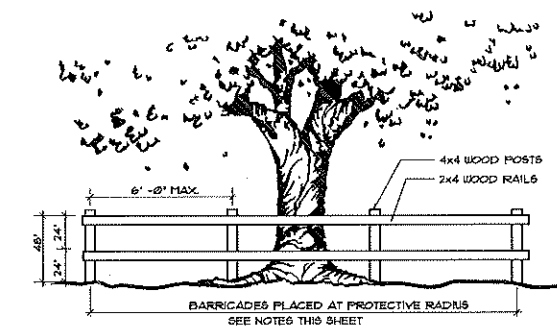
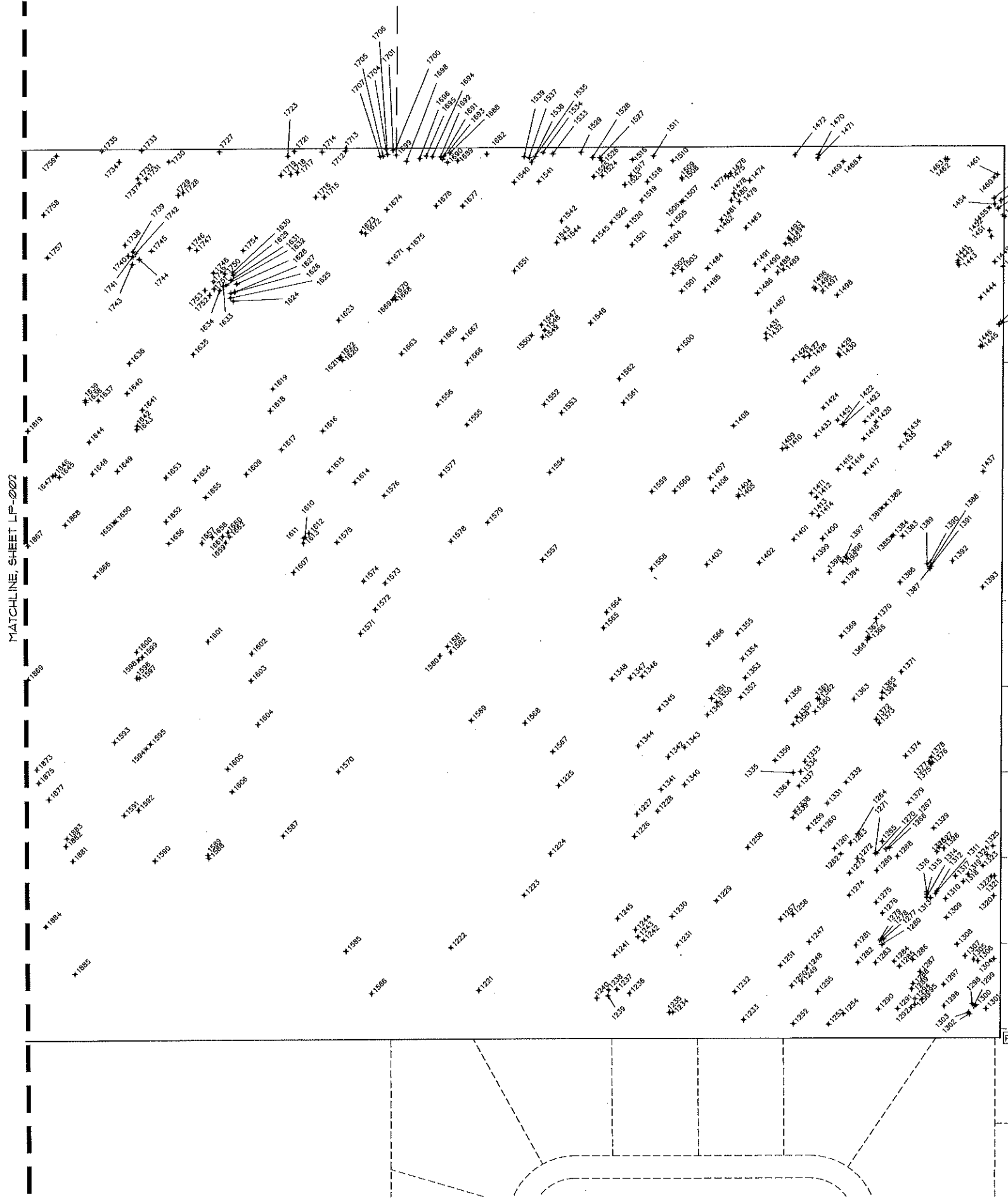


**TREE PROTECTION REQUIREMENTS**

- PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
  - UNNECESSARY CUTTING, BREAKING, OR SKIPPING OF ROOTS
  - SKINNING AND BRUISING OF BARK
  - SPOILING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN DRIP-LINE
  - EXCESS FOOT OR VEHICULAR TRAFFIC
  - PARKING VEHICLES WITHIN DRIP-LINE
- ERECT TEMPORARY WOODEN BARRICADES AS SHOWN ON THIS SHEET (PLAN & DETAIL) BEFORE COMMENCEMENT OF ANY SITE CLEARING OR GRADING. FENCE TO BE 4' HIGH MINIMUM WITH 4 X 4 POSTS AND 2-2X4 RAILS AT 3' AND 4' ABOVE GRADE AND SHALL BE SET DEEP ENOUGH IN THE GROUND TO BE STABLE WITHOUT ADDITIONAL SUPPORT. ALL FENCING SHOULD BE A MINIMUM OF 10' CLEAR DISTANCE FROM THE FACE OF ANY TREES AND SHALL FULLY ENCLOSE ALL TREES SCHEDULED TO REMAIN. NOTHING SHALL BE PLACED INSIDE OF PROTECTIVE BARRICADES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, OR TEMPORARY SOIL DEPOSITS. ON TREES LARGER THAN 30" DBH BARRICADES SHALL BE NO CLOSER THAN 5' FROM FACE OF TREE WHEN PAVING, EXCAVATION, OR HARDSCAPE MUST BE DONE WITHIN BARRICADES, BARRICADES SHALL BE MOVED BACK TO A SECONDARY LOCATION AT EDGE OF WORK. EXTRA CARE MUST BE TAKEN AT THIS TIME BY THE CONTRACTOR TO INSURE THAT NO DAMAGE TO THE TREE OCCURS.
- PROVIDE WATER TO TREES AS REQUIRED TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION WORK.
- WHEN NECESSARY TO CUT ROOT OVER 1-1/2" DIAMETER OF TREES TO REMAIN, CUT MUST BE A CLEAN CUT, COAT CUT FACES OF ROOTS WITH AN EMBLISHED ASPHALT OR OTHER ACCEPTABLE COATING FORMULATED FOR USE ON DAMAGED PLANT TISSUE. TEMPORARILY COVER EXPOSED ROOTS WITH SET BURLAP TO PREVENT DRYING AND COVER WITH EARTH AS SOON AS POSSIBLE.
- NO GRADE CHANGES ARE TO BE MADE WITHIN THE BARRICADES WITHOUT PRIOR APPROVAL OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE.
- INTERFERING BRANCHES MAY BE REMOVED AT THE DIRECTION OF THE OWNER OR HIS DESIGNATED REPRESENTATIVE BY A QUALIFIED TREE SURGEON.
- REPAIR OR REPLACE TREES INDICATED TO REMAIN WHICH ARE DAMAGED IN THE CONSTRUCTION OPERATIONS IN A MANNER ACCEPTABLE TO THE OWNER. EMPLOY A QUALIFIED TREE SURGEON TO REPAIR MAJOR DAMAGES TO TREES AND SHRUBS PROMPTLY, TO PREVENT PROGRESSIVE DETERIORATION CAUSED BY THE DAMAGE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF TREES DAMAGED BEYOND REPAIR WITH 3 TREES OF SIMILAR QUALITY AND SPECIES, SIZED TO MATCH THE LARGEST TREES OF THAT SPECIES BEING PLANTED AS PER THE LANDSCAPE PLANS. IF TREES ARE HARMED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.



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1 TREE PROTECTION BARRICADE DETAIL  
SCALE: N.T.S.

**TREE MITIGATION SUMMARY**

TOTAL TREE INCHES ON SITE	16,004'
TOTAL PROTECTED TREE INCHES TO BE REMOVED	12,107'
MAX. PROTECTED TREE STOCK	2,661,310 6Q.F./1000 X 3.5 + 21 = 9336'
TOTAL SPECIMEN TREE INCHES TO BE REMOVED	3897'
MAX. SPECIMEN TREE STOCK	2,661,310 6Q.F./1000 X 3.5 + 30 = 13,337'
TOTAL TREE INCHES TO BE REMOVED	16,004'
TOTAL TREE INCHES TO BE MITIGATED	3897' (PROTECTED) + 9336' (SPECIMEN) = 13,233'
TOTAL TREE INCHES TO BE REPLACED*	1473'
MITIGATION DEFICIENCY	13,233' - 1473' = 11,760'
QUANTITY OF SPECIMEN TREES TO BE REMOVED	121
SITE CLEARING AREA	2,661,310 SQ. FT. (61.10 AC.)

\*THIS QUANTITY INCLUDES THE FOLLOWING PROPOSED TREES AT 3" CALIPER:  
1) TREES REQUIRED BY CODE  
2) STREET TREES  
3) LOT TREES @ 3 TREES PER LOT

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

123

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

VISTA RESERVE  
CITY OF APOPKA, FL  
TREE MITIGATION PLAN

Date: 04/05/18  
Scale: 1"=60'  
Drawn: CFB Checked: RRC  
By: SAMALP003.DWG  
Title: LP-003

LP-003

USER: CHERRYBROOK  
 FILE: C:\PROJECTS\18040\18040.DWG  
 TIME: 16 NOV 2018 - 15:09PM





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Scale

Table with 2 columns: Point Number, Description. Contains a list of trees with their respective numbers and species/size descriptions.

Point

VISTA RESERVE

CITY OF APOPKA, FL

TREE MITIGATION PLAN

Date: 04/05/18

Scale: N/A

Drawn: CFB

File Name: 5AMALP004.DWG

Sheet: 11 of 11

Scale

SIGNATURE

REG. NO.

DATE

LP-004

Table with 2 columns: POINT NUMBER, DESCRIPTION. Contains a list of trees with their respective numbers and species/size descriptions.

Table with 2 columns: POINT NUMBER, DESCRIPTION. Contains a list of trees with their respective numbers and species/size descriptions.

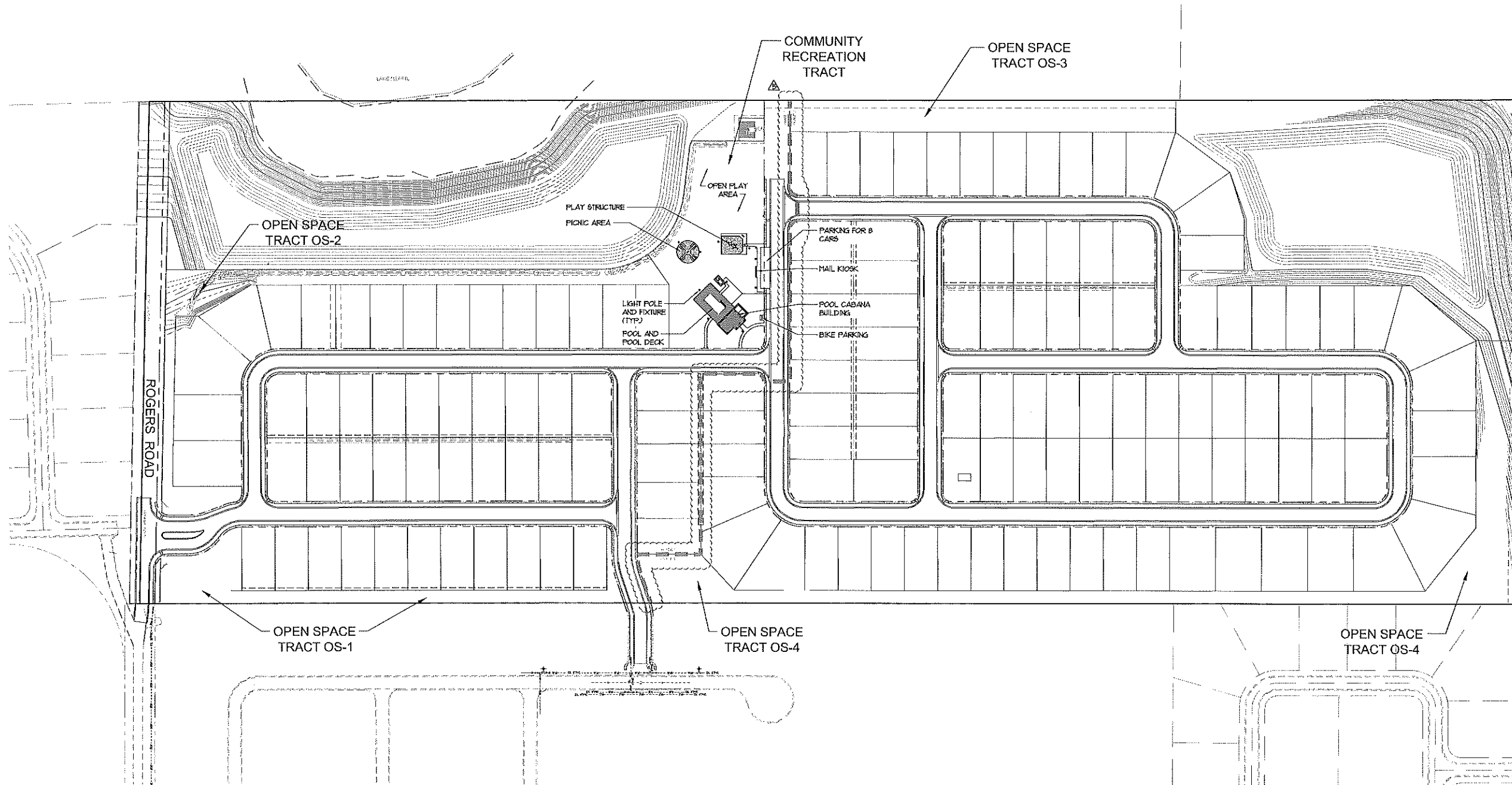
Table with 2 columns: POINT NUMBER, DESCRIPTION. Contains a list of trees with their respective numbers and species/size descriptions.

Table with 2 columns: POINT NUMBER, DESCRIPTION. Contains a list of trees with their respective numbers and species/size descriptions.

Table with 2 columns: POINT NUMBER, DESCRIPTION. Contains a list of trees with their respective numbers and species/size descriptions.

Table with 2 columns: POINT NUMBER, DESCRIPTION. Contains a list of trees with their respective numbers and species/size descriptions.

Table with 2 columns: POINT NUMBER, DESCRIPTION. Contains a list of trees with their respective numbers and species/size descriptions.



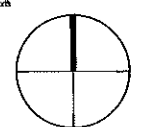
- ▲ 8'0"0" - CITY COEFFICIENT (0.4238)
- ▲ 60'2"0" - ADD MAIL KIOOK
- ▲ 8'0"0" - ADD PHASE L&I

VISTA RESERVE

CITY OF APOPKA, FL

RECREATION/OPEN  
SPACE PLAN

Date: 04/05/18  
Scale: 1"=100'  
Drawn: CPB Checked: RRC  
The Name: 5A1ALP005.DWG  
Rev:



Sheet  
**LP-005**

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_



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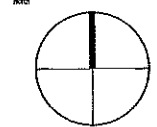
Revision	
043018 - CITY COMMENTS (043318)	

VISTA RESERVE

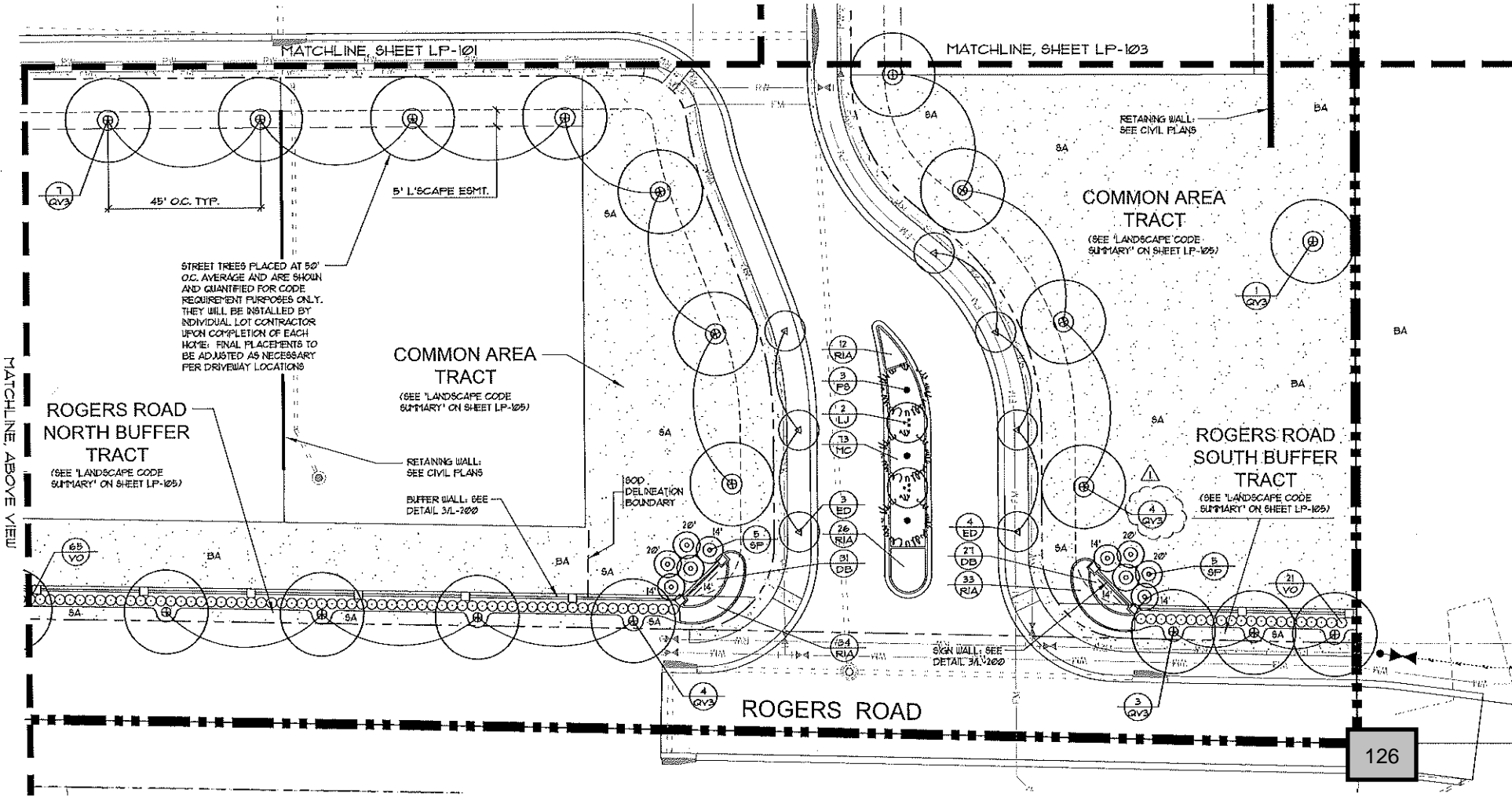
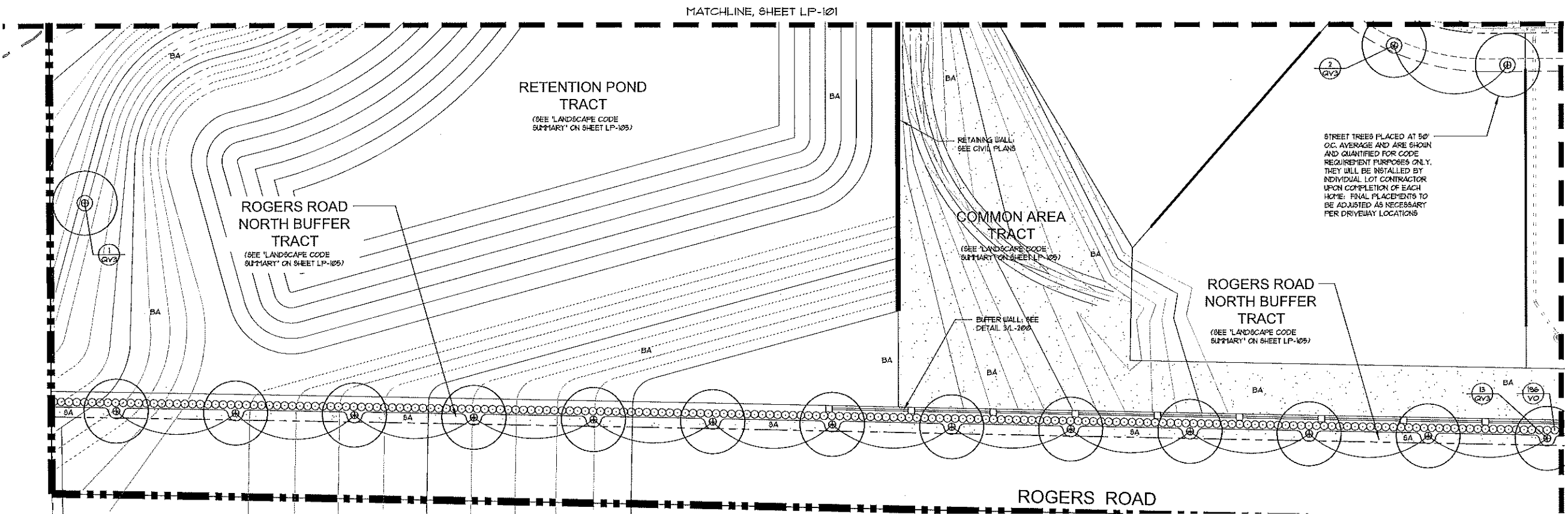
CITY OF APOPKA, FL.

LANDSCAPE PLAN

Date: 04/05/18  
Scale: 1"=20'  
Drawn: CPB Check: RRC  
In Reply: SERIAL PHOTOLOG  
Notes



LP-100



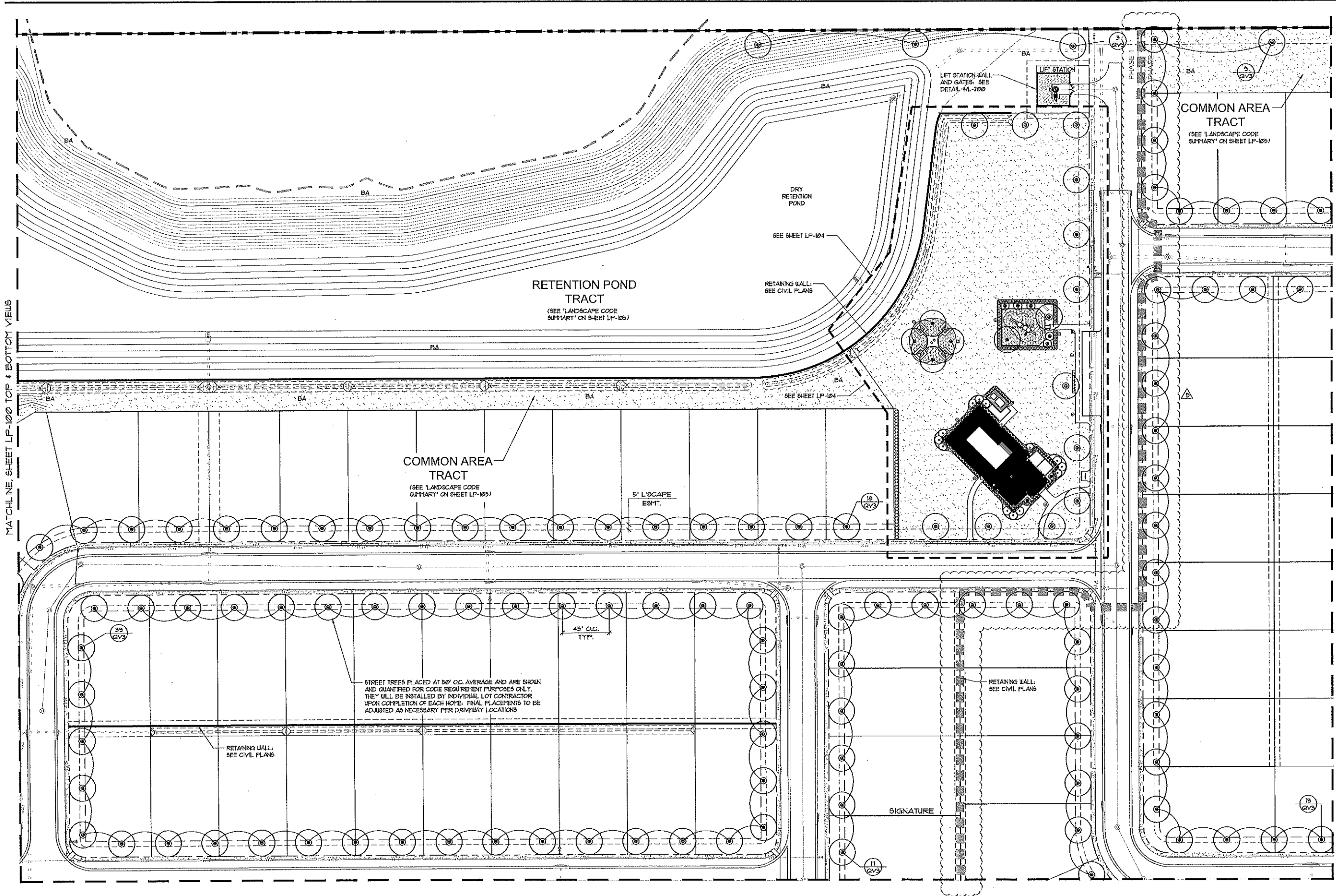
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

USER: J...  
FILE NAME: ...  
DATE: ...

Notes

- 1. ALL WORK - CITY EXISTING (042310)
- 2. ADD PHASE LINE



MATCHLINE, SHEET LP-100 TOP & BOTTOM VIEWS

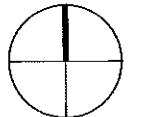
MATCHLINE, SHEET LP-102

VISTA RESERVE

CITY OF APOKA, FL.

LANDSCAPE PLAN

Date: 04/05/18  
 Scale: 1" = 40'  
 Drawn: CPB Overlaid: RRC  
 File Name: SAHALP101.DWG  
 North



LITERARY: C:\RESERVED\...  
 FILE NAME: P:\PLANS - SANTA MONICA\WP\05\00\01\LP-101.DWG  
 XREFS: TIME: 10/20/2018 11:27AM



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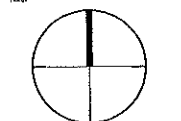
△ 043038 - CITY ORDINANCE (043038)

VISTA RESERVE

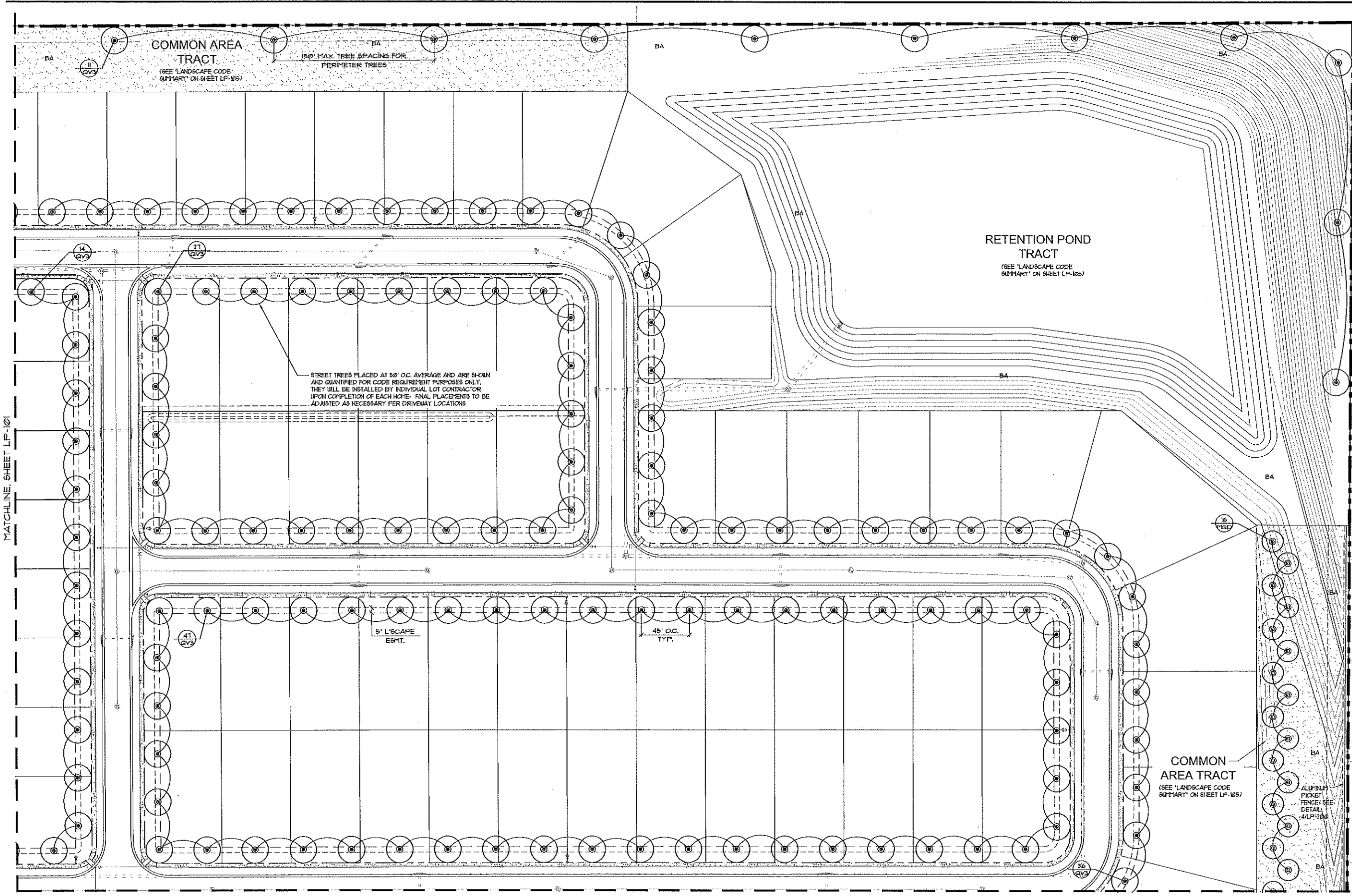
CITY OF APOPKA, FL

LANDSCAPE PLAN

Date: 04/05/18  
Scale: 1" = 40'  
Drawn: CPB Checked: RRC  
File No: 5A1ALP102.DWG  
Rev:



Sheet  
**LP-102**



MATCHLINE, SHEET LP-103 BOTTOM VIEW

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

128

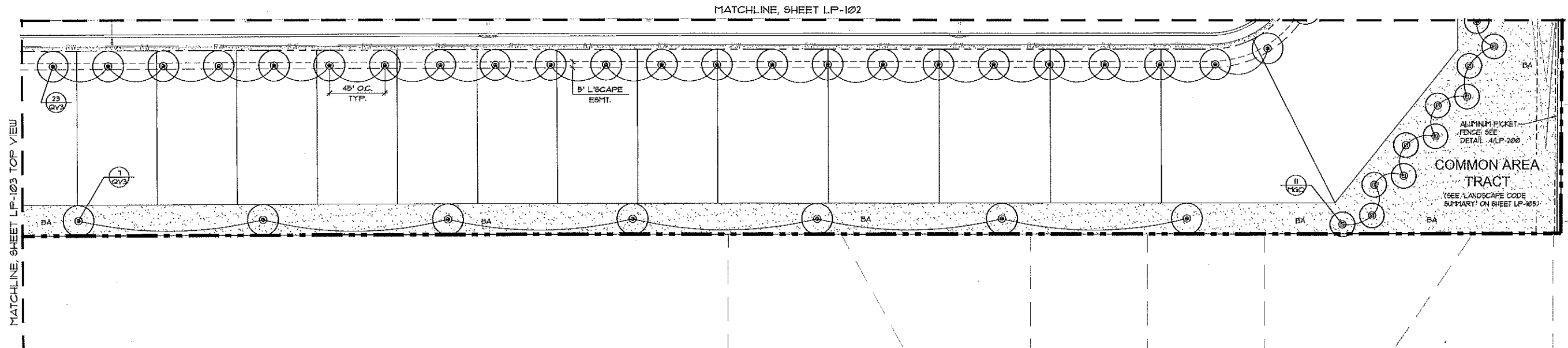
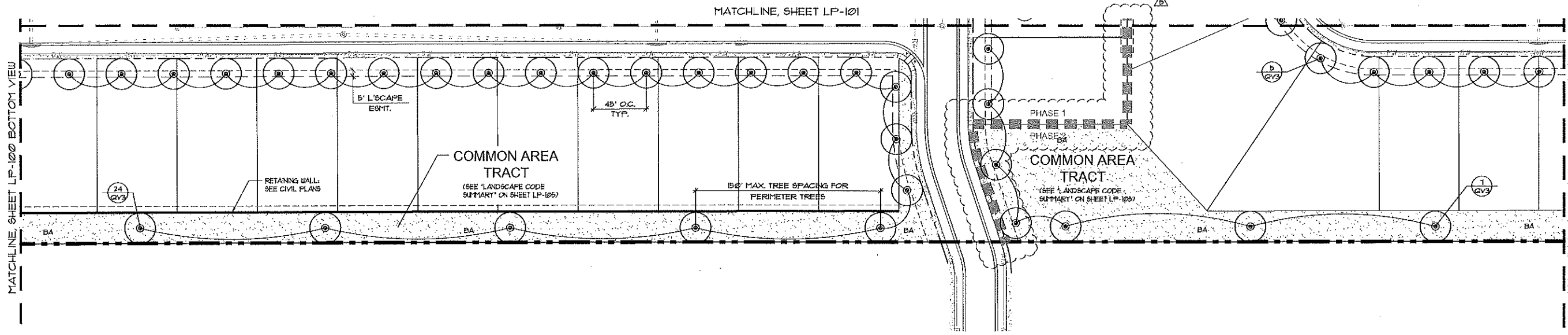
SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

USGNPW CH0805030  
 DATE: 04/05/18 11:57 AM  
 TIME: 11:57 AM





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**SOUTH PROPERTY BOUNDARY COMMON AREA TRACTS**

SCALE: 1"=40'

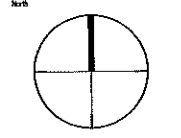
- △ - IRRI
- △ - 643018 - CITY COMMENTS (04/03/18)
- △ - 643018 - ADD PHASE LINE

VISTA RESERVE

CITY OF APOPKA, FL

LANDSCAPE PLAN

Date:	04/05/18
Scale:	1"=40'
Drawn:	CFB
Checked:	RRR
File Name:	5AMALP103.DWG
North	



Sheet  
**LP-103**

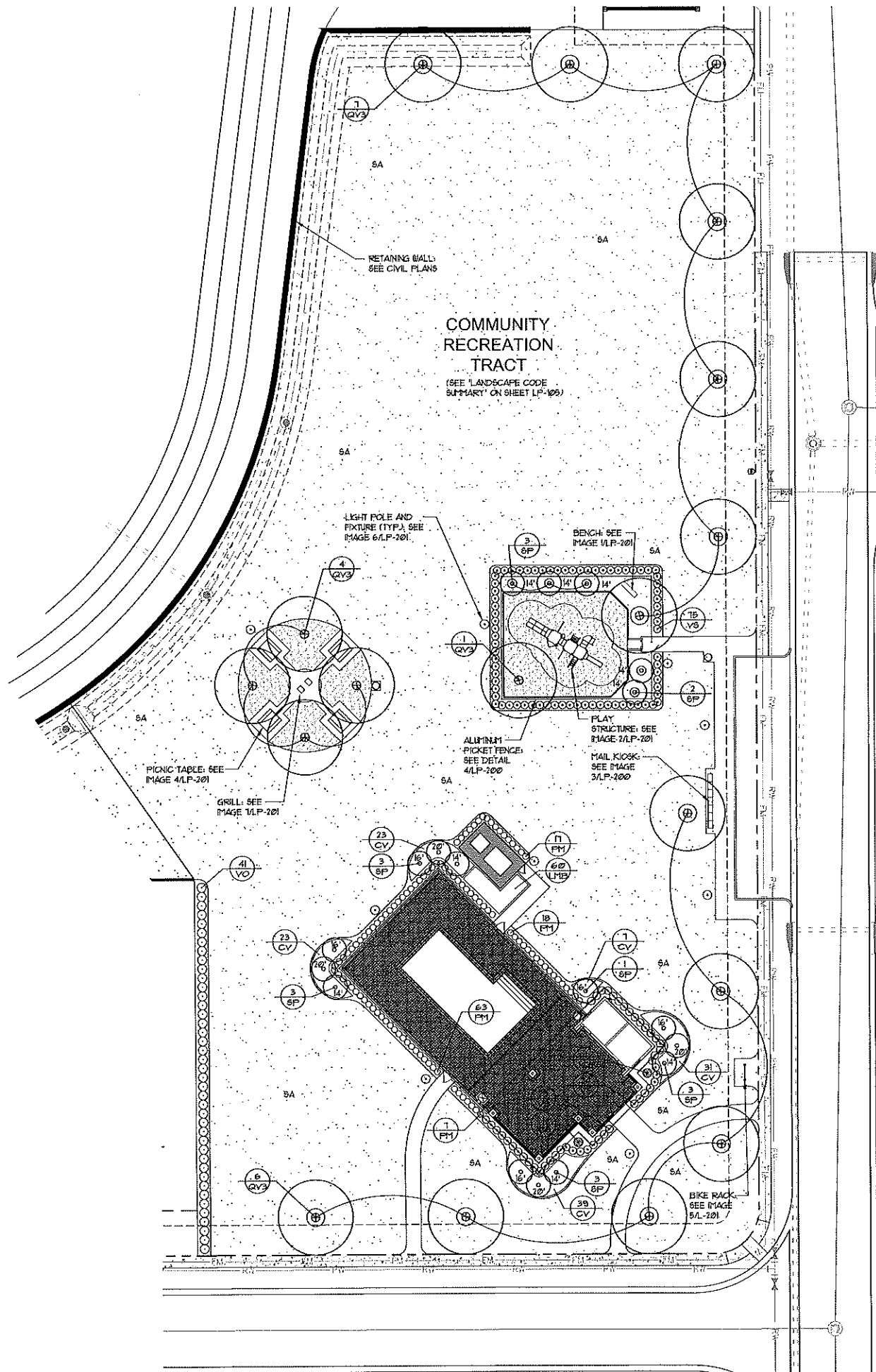
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_



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- Notes
- ▲ 04.10.18 - CITY COMMENTS (04.10.18)
  - ▲ 04.11.18 - ADD MAIL KIOSK AREA



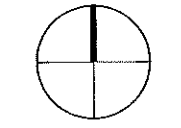
130

VISTA RESERVE

CITY OF APOPKA, FL

LANDSCAPE PLAN

Date: 04/05/18  
Scale: 1"=20'  
Drawn: CPB Checked: RRC  
Title: 5A.MAL.P104.DWG  
Rev:



I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

LP-104

USER: PAV: CHRIS/SRVS20  
 FILE NAME: P104.LP - SANTA MARSA/PP/DIG/MAL.P104.DWG  
 TIME: 19 NOV 2018 - 1:58PM



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### CITY OF APOPKA CODE SUMMARY

REQUIREMENT	CODE REFERENCE	CALCULATION	REQUIRED	PROVIDED	SIZE
<b>ROGERS ROAD NORTH BUFFER TRACT</b>					
ONE CANOPY TREE PER 45' ALONG ROGERS ROAD R.O.W.	SEC. 5.01.06(G) OF APOPKA CODE OF ORDINANCES (ACOO)	778 L.F./45 = 17.3	17 CANOPY TREES	17 CANOPY TREES	MIN 2 1/2" DBH & 8' HT.
CONTINUOUS HEDGE ALONG ROGERS ROAD R.O.W.	SEC. 5.01.06(G) OF APOPKA CODE OF ORDINANCES (ACOO)	N/A	CONTINUOUS ALONG ROAD R.O.W.	CONTINUOUS ALONG ROAD R.O.W.	MIN 24" HT. @ PLANTING & 36" O.C.
PROVIDE SCREEN WALL	SEC. 3.9 OF APOPKA DEVELOPMENT DESIGN GUIDELINES (ADGG)	N/A	CONTINUOUS ALONG ROAD R.O.W.	CONTINUOUS ALONG ROAD R.O.W.	MAX 6' HT. BRICK WALL
<b>ROGERS ROAD SOUTH BUFFER TRACT</b>					
ONE CANOPY TREE PER 25' ALONG ROGERS ROAD FRONTAGE R.O.W.	SEC. 5.01.06(G) OF APOPKA CODE OF ORDINANCES (ACOO)	578 L.F./25 = 2.68	3 CANOPY TREES	3 CANOPY TREES	MIN 2 1/2" DBH & 8' HT.
CONTINUOUS HEDGE	SEC. 5.01.06(G) OF APOPKA CODE OF ORDINANCES (ACOO)	N/A	CONTINUOUS ALONG ROAD R.O.W.	CONTINUOUS ALONG ROAD R.O.W.	MIN 24" HT. @ PLANTING & 36" O.C.
PROVIDE SCREEN WALL	SEC. 3.9 OF APOPKA DEVELOPMENT DESIGN GUIDELINES (ADGG)	N/A	CONTINUOUS ALONG ROAD R.O.W.	CONTINUOUS ALONG ROAD R.O.W.	MAX 6' HT. BRICK WALL
<b>OVERALL TREE REQUIREMENT</b>					
1 CANOPY TREE PER 6000 SQ. FT. OF SITE AREA	SEC. 5.01.06(A)	2,600,995 S.F./6000 = 332.52	333 CANOPY TREES	666 CANOPY TREES**	MIN 2 1/2" CAL. & 8' HT.
<b>PERIMETER TREE REQUIREMENT</b>					
1 CANOPY TREE PER 150 FT. OF SITE PERIMETER	SEC. 2.02.18(D)(2)(b)(1) OF APOPKA CODE OF ORDINANCES (ACOO)	6301 L.F./150 = 42.00	42 CANOPY TREES	50 CANOPY TREES	MIN 2 1/2" CAL. & 8' HT.
<b>COMMUNITY RECREATION TRACT</b>					
1 CANOPY TREE PER 4000 SQ. FT. OF TRACT AREA	SEC. 5.01.06(F) OF APOPKA CODE OF ORDINANCES (ACOO)	72,679 S.F./4000 = 18.16	18 CANOPY TREES	18 CANOPY TREES	MIN 2 1/2" CAL. & 8' HT.

\* Since a 6" wall is also being provided in this buffer, a 24" shrub height is being substituted for the normally required 36" high berm/hedge screen requirement.  
\*\* Prepared overall tree total consists of 249 canopy street trees, 131 canopy trees to be placed in common tract areas and 306 canopy trees at 2 trees per residential lot to be placed in single family lots.

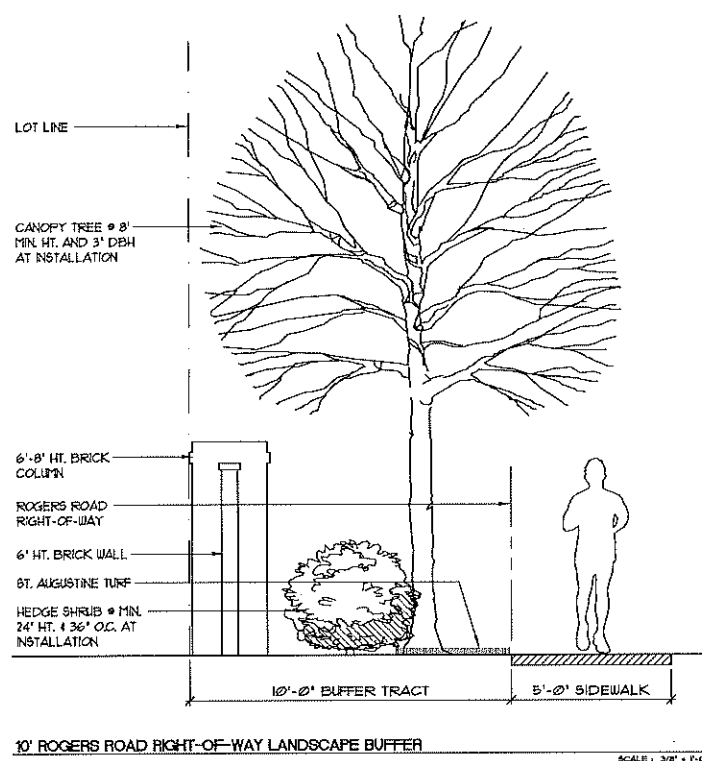
**NOTE:**  
ALL SPECIFIED PLANTS IN THE PLANT LIST ARE 'FLORIDA FRIENDLY' AS LISTED IN THE FLORIDA FRIENDLY LANDSCAPING GUIDE AS PUBLISHED BY THE UNIVERSITY OF FLORIDA/FAAS EXTENSION SERVICE AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

### PLANT SCHEDULE

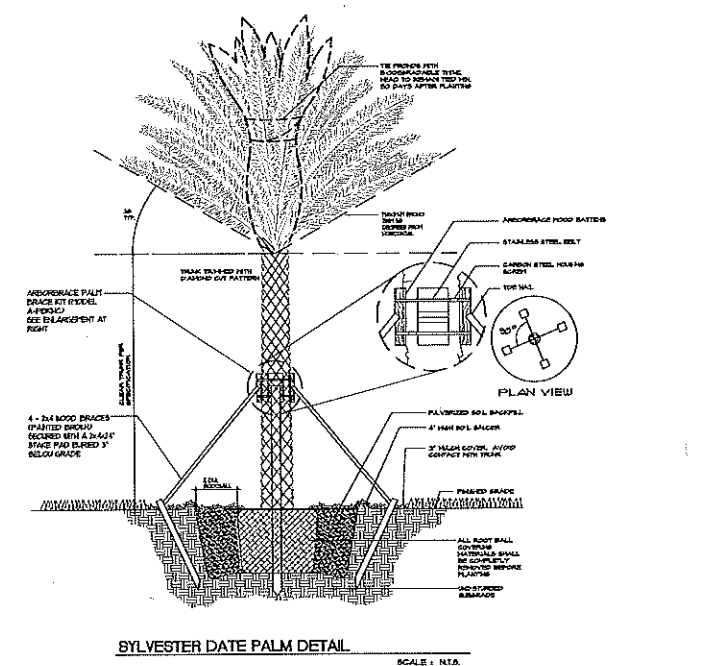
TREES						
SYM	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	WATER USE	NATIVE
ED	2	ELAEAGARUS DECIPENS	JAPANESE BLUEBERRY	MIN 8' HT. & 3" MIN CAL. FULL, 7' C.T.	LOW	NO
LI	2	LIQUSTRUM JAPONICUM	TREE LIQUSTRUM	MIN 8' HT., FULL, MULTI-STEM	MEDIUM	NO
MG	27	MAGNOLIA GRANDIFLORA D.D. BLANCHARD	D.D. BLANCHARD MAGNOLIA	MIN 8' HT. & 3" MIN CAL. FULL, SYMMETRICAL FORM	MEDIUM	YES
QV	350	QUERCUS VIRGINIANA	LIVE OAK	MIN 8' HT. & 3" MIN CAL. FULL, SYMMETRICAL FORM	LOW	YES
PALMS						
SYM	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	WATER USE	NATIVE
PS	3	PHOENIX SYLVESTRIS	SILVER DATE PALM	MIN 10' C.T. DIAMOND-CUT TRUNK, SPECIMEN QUALITY	LOW	NO
SP	28	SABAL PALMETTO	CABBAGE PALM	REMOVE ROOTS, C.T. HT. AS NOTED ON PLANS, REGENERATED ROOTS	LOW	YES
SHRUBS						
SYM	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	WATER USE	NATIVE
CV	123	CALLISTEMON VERNALIS LITTLE JOINT	DWARF BOTTLEBRUSH	3 GAL., 12"-14" HT. X 12"-14" SPRD, 24" O.C.	LOW	NO
DB	59	DIETES BICOLOR	YELLOW AFRICAN IRIS	1 GAL., 18"-24" HT., 3.4 PPP, 18" O.C.	MEDIUM	NO
ICS	2	LEX CRENATA 'SKY PENCIL'	SKY PENCIL HOLLY	3 GAL., 24"-28" HT. X 24"-28" SPRD, 30" O.C., FULL	MEDIUM	YES
LMB	60	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE BORDER GRASS	1 GAL., FULL IN POT, 18" O.C.	LOW	NO
MC	73	MULLEBERGIA CAPILLARIS	MULNY GRASS	3 GAL., 24"-28" HT. X 24"-28" SPRD, 30" O.C., FULL	LOW	YES
PM	105	PODOCARPUS MACROPHYLLUS	YEW PODOCARPUS	3 GAL., 20"-24" HT. X 14"-16" SPRD, 24" O.C.	LOW	NO
RIA	105	RHAPHIDOLEPIS INDICA 'ALBA'	WHITE INDIAN HAWTHORN	3 GAL., 12"-14" HT. X 12"-14" SPRD, 24" O.C.	LOW	NO
VO	323	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	MIN 24" HT., 7" O.C., FULL	MEDIUM	NO
VS	122	VIBURNUM SUSPENSUM	SANDHAWK VIBURNUM	3 GAL., 18"-20" HT. X 18"-20" SPRD, 30" O.C., FULL	MEDIUM	NO
GRASSES						
SYM	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	WATER USE	NATIVE
BA	TBD	PASPALUM NOTATUM 'ARGENTINE'	ARGENTINE BAMA	FULL, DENSE FOLIAGE, PEST AND DISEASE FREE	LOW	NO
SA	TBD	ISTENOTAPHRUM SECUNDATUM 'FLORATA'	FLORATA ST. AUGUSTINE	FULL, DENSE FOLIAGE, PEST AND DISEASE FREE	MEDIUM	NO

### GENERAL NOTES

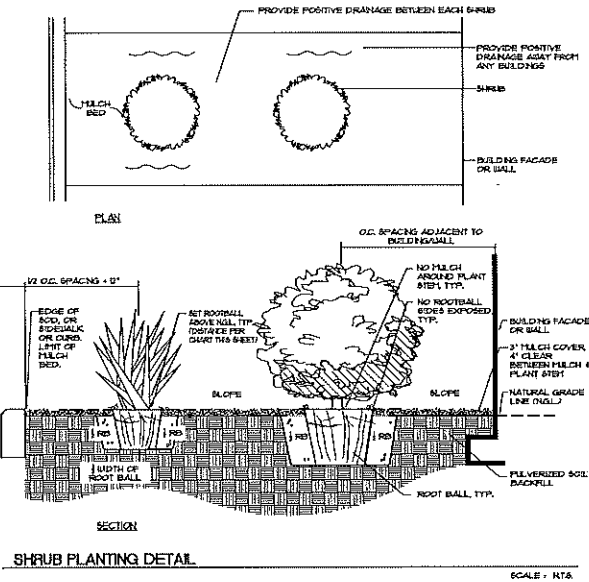
- ALL UNPAVED AREAS NOT DESIGNATED AS A LANDSCAPE SHRUB BED SHALL BE COVERED WITH 80# AS INDICATED ON PLANS.
- ALL SHRUBS SHALL BE PLANTED 1/2" IN AND TREES AT HEIGHT SPECIFIED IN TREE PLANTING DETAIL ABOVE GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER PLANT HEALTH IN ON-SITE SOILS.
- NEWLY INSTALLED TREES SHALL HAVE THEIR CALIPER MEASURED AT DIAMETER BREADTH HEIGHT (DBH) PER CITY OF APOPKA CODE.
- ALL PLANT MATERIAL SHALL MEET OR EXCEED THE GRADE STANDARDS OF FLORIDA NO. 1 AS PROVIDED IN 'GRADES AND STANDARDS FOR NURSERY PLANTS' (LATEST EDITION), STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, AND ANY AMENDMENTS THEREIN.
- THE LANDSCAPE ARCHITECT MAY REJECT ANY PLANT MATERIAL BROUGHT TO THE SITE WHICH HE DEEMES TO BE OF INFERIOR QUALITY, DOES NOT MEET FLORIDA NO. 1 GRADE OR THAT DOES NOT MEET SPECIFIED SIZE.
- ALL TREES WITH THE EXCEPTION OF PALMS SHALL BE EITHER CONTAINER GROWN OR FIELD GROWN. NO GROUP BAGS WILL BE ACCEPTED.
- ALL PLANT BEDS AND DESIGNATED 'MULCH' AREAS SHALL BE TOP-DRESSED WITH A MINIMUM OF 3" PINE BARK 'MULCH' MULCH.
- ALL TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL INSPECTION.
- ALL TREES SHALL HAVE ALL SYNTHETIC ENCLAMP REMOVED FROM THE ENTIRE ROOT BALL. THE TOP THREE ROWS OF SQUARES ON ALL CAGES AROUND THE ROOT BALLS SHALL BE CLIPPED OFF AND REMOVED.
- THE CONTRACTOR SHALL READ AND ADHERE TO ALL WRITTEN SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT UNIT PRICES FOR ALL BID ITEMS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTHS PRIOR TO LANDSCAPE INSTALLATION.
- THE CONTRACTOR SHALL VISUALLY INSPECT THE SOILS CONDITION OF THE SITE. HE SHALL DIG A MINIMUM OF 12 TEST HOLES 3 FEET DEEP RANDOMLY AROUND THE SITE. HE SHALL PERFORM PERCOLATION TESTS IN THESE HOLES FOR A PERIOD OF ONE HOUR EACH. THE HOLES SHALL BE FILLED WITH WATER AND IF THE HOLES HOLD MORE THAN 6" OF WATER AFTER ONE HOUR, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF THE PROBLEM. THE CONTRACTOR SHALL RECOMMEND SUBSTITUTIONS OF PLANT MATERIAL AND PLANTING INSTALLATION TO ACCOMMODATE POOR DRAINING SOILS.
- THE CONTRACTOR SHALL PROVIDE A SOIL TEST IN 4 LOCATIONS AND PROVIDE RECOMMENDATIONS FOR AMENDMENTS BASED ON THE RESULTS IN ORDER TO ACHIEVE A BALANCED PH FOR THE PLANTING BACKFILL. (SEE SECTION 2.02(B) OF THE LANDSCAPE SPECIFICATIONS). FERTILIZER SOIL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL RECTIFY ALL INCURRED DAMAGES AT NO ADDITIONAL COST TO THE OWNER.
- SUCCESSFUL BIDDER SHALL LOCK UP ALL MATERIALS IMMEDIATELY AFTER CONTRACT ASSIGNMENT. PLANTS SHALL BE HELD DURING THE PERIOD FROM CONTRACT TO INSTALLATION TO ALLOW FOR ADDITIONAL GROWTH. ALL PLANTS WILL BE REQUIRED TO BE FULL AND HEALTHY. CONTRACTOR SHALL ARRANGE FOR PLANT APPROVAL PRIOR TO DELIVERY EITHER BY SAMPLES, PHOTOS OR NURSERY VISITS.
- THE CONTRACTOR SHALL REVIEW THE SOILS REPORT ON FILE WITH THE OWNER.
- THE INSTALLATION OF PLANT MATERIAL SHALL BE VIEWED AS ACCEPTANCE BY THE CONTRACTOR OF EXISTING GRADES AS GIVEN TO HIM.
- THE CONTRACTOR SHALL PROVIDE TO THE LANDSCAPE ARCHITECT A WRITTEN LETTER OF ACCEPTABILITY OF GRADES. FAILURE TO DO SO WILL BE VIEWED AS AN ACCEPTANCE OF EXISTING GRADES BY THE CONTRACTOR.
- IN THE EVENT OF A VARIATION BETWEEN THE PLANT LIST AND THE ACTUAL QUANTITY OF PLANTS SHOWN ON THE PLAN DRAWINGS, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING A QUANTITY COUNT AS A CHECK FOR DISCREPANCIES.
- WHERE LIGHT POLES AND TREES OR STREET SIGNS AND TREES OCCUR IN PROXIMITY TO EACH OTHER, A MINIMUM SEPARATION OF 10 FEET SHALL BE MAINTAINED.
- THE CONTRACTOR WILL BE REQUIRED TO SAND AREAS OF SOIL THAT ARE NOT SMOOTHLY APPLIED TO ELIMINATE SMALL IRREGULARITIES IN GRADES. LARGE GRADE IRREGULARITIES WILL REQUIRE REGRADING AND RESODDING.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF THE SITE INCLUDING ALL MOUND, EDGINGS, TRIMMING, PRUNING AND SPRAYING OF PESTICIDES AND FUNGICIDES UNTIL THE TIME OF FINAL ACCEPTANCE BY THE OWNER. IF PROJECT IS INSTALLED IN PHASES, OWNER WILL PROVIDE PHASING INFORMATION AT TIME OF BIDDING PROCESS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING THE LANDSCAPE ARCHITECT'S APPROVAL OF ALL PLANT BED LAYOUTS AND TREE LOCATIONS PRIOR TO INSTALLATION. IF PLANT MATERIAL IS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL, CONTRACTOR WILL BE SUBJECT TO RELOCATING THE MATERIAL. AT THE LANDSCAPE ARCHITECT'S REQUEST AND AT THE CONTRACTOR'S OWN EXPENSE.
- PRIOR TO THE REMOVAL OF ANY TREES, THE TREES TO BE RETAINED SHALL HAVE PROTECTIVE TREE BARRIERS PER THE TREE PROTECTION DETAIL.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NORMAL HIGH WATER ELEVATION OF THE RETENTION POND(S) WITH THE CIVIL ENGINEER PRIOR TO PLANTING ANY SPECIFIED TREES OR LITTORAL PLANTING IN THE IMMEDIATE POND VICINITY. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IF THE NORMAL HIGH WATER ELEVATION IS NOT AS SHOWN ON THE LANDSCAPE PLANS SO THAT PROPER REVISIONS CAN BE MADE.
- CONTRACTOR IS EXPECTED TO CARRY OUT ALL RESPONSIBILITIES AS SET FORTH IN THESE LANDSCAPE NOTES AND IN THE LANDSCAPE SPECIFICATIONS. THEY WILL BE STRICTLY ENFORCED BY THE OWNER/LANDSCAPE ARCHITECT.



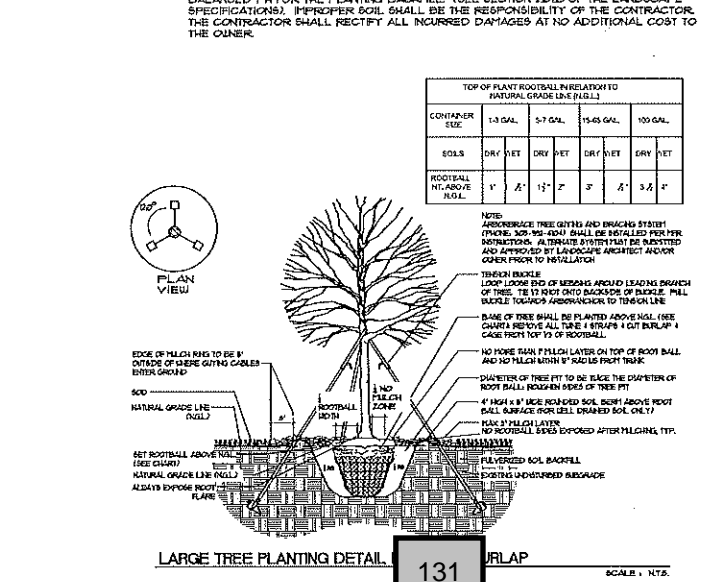
10' ROGERS ROAD RIGHT-OF-WAY LANDSCAPE BUFFER  
SCALE: 3/8" = 1'-0"



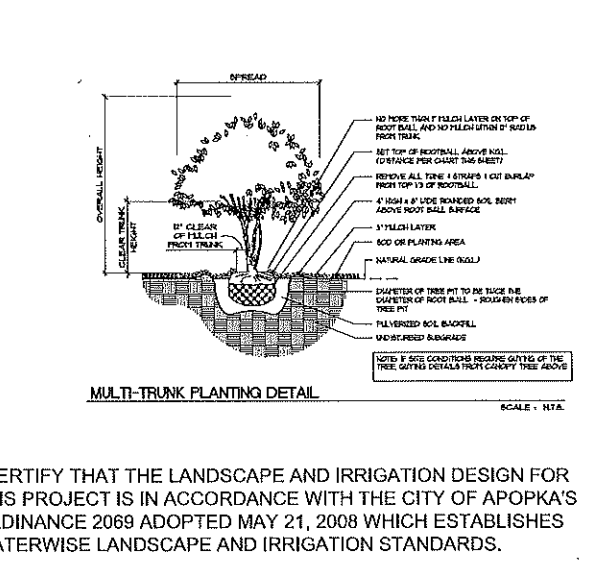
SYLVESTER DATE PALM DETAIL  
SCALE: N.T.A.



SHRUB PLANTING DETAIL  
SCALE: N.T.A.



LARGE TREE PLANTING DETAIL  
SCALE: N.T.A.



MULTI-TRUNK PLANTING DETAIL  
SCALE: N.T.A.

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

### VISTA RESERVE

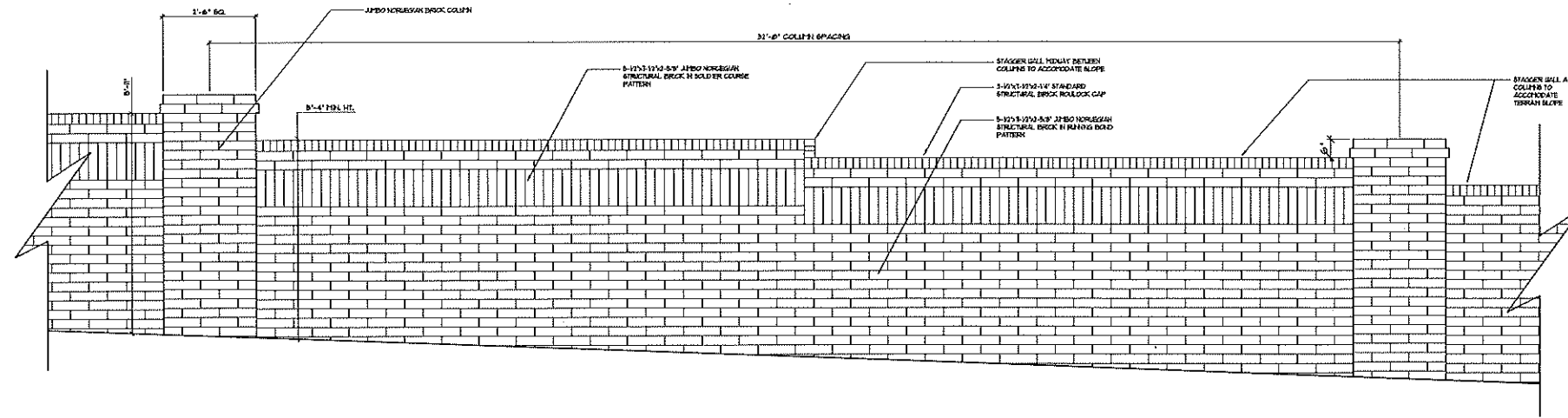
CITY OF APOPKA, FL

LANDSCAPE NOTES & DETAILS

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File Name: 5A1ALF105.DWG  
Rev:

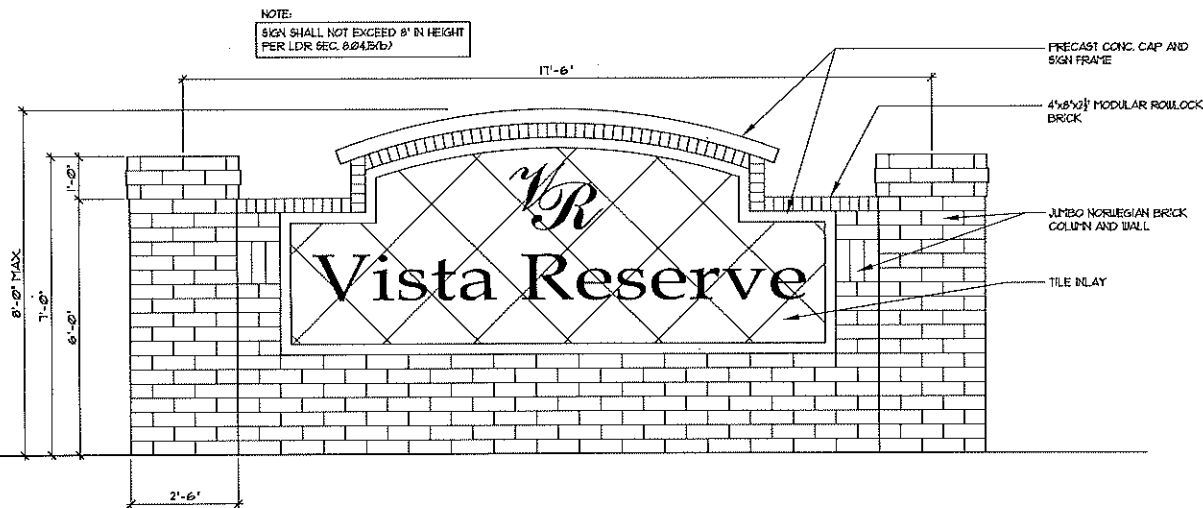
LP-105

USER: JAMES CHAMBERS  
FILE NAME: P:\ALF105 - SANTA MARINA\WORK\5A1ALF105.DWG  
DATE: 18 NOV 2018 11:52AM



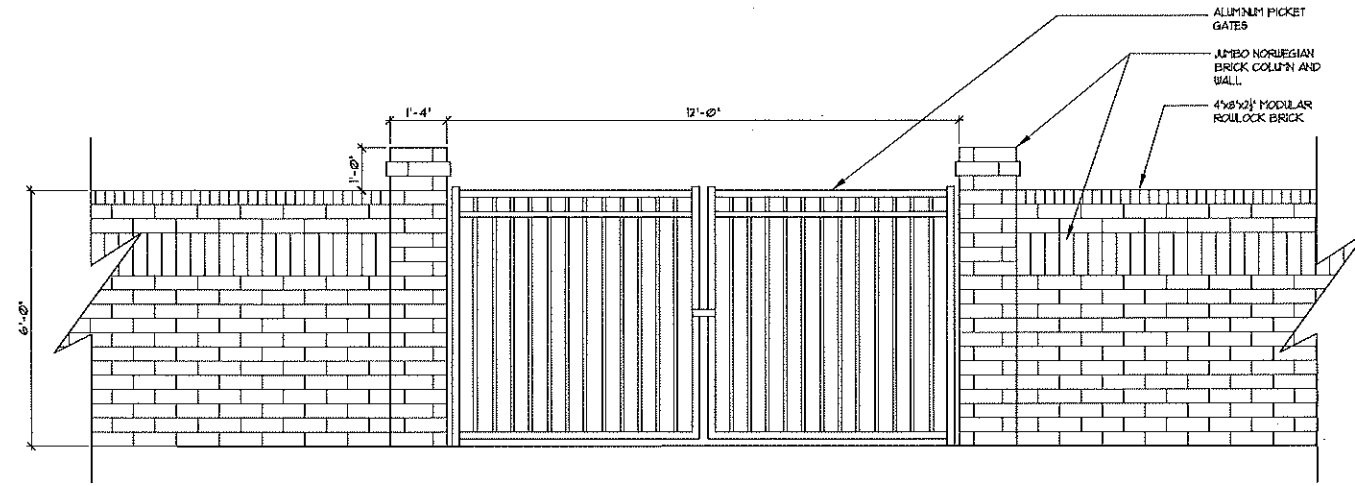
1 BUFFER WALL ELEVATION

SCALE: 1/2" = 1'-0"



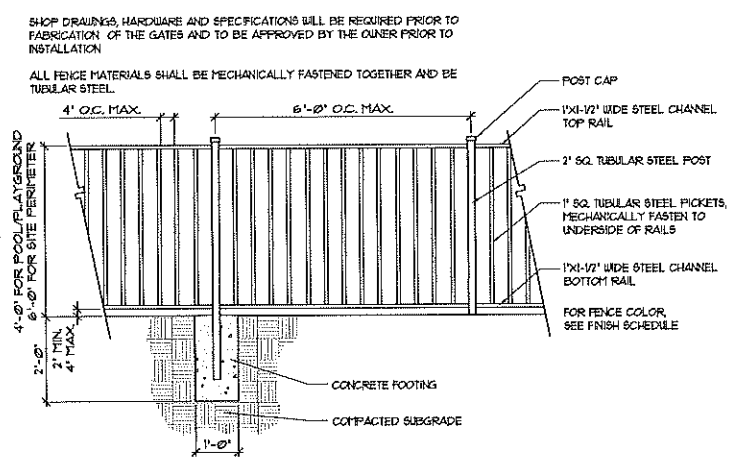
2 SIGN WALL ELEVATION

SCALE: 1/2" = 1'-0"



3 LIFT STATION WALL AND GATE ELEVATION

SCALE: 1/2" = 1'-0"



4 PLAYGROUND/SITE PERIMETER PICKET FENCE

SCALE: 1/2" = 1'-0"

Symbol	Description
△	Notes
△	04.20.08 - CITY COMMENTS (04.23.08)
△	07.12.08 - CITY COMMENTS (07.16.08)

VISTA RESERVE

CITY OF APOPKA, FL

HARDSCAPE  
DETAILS

Date: 04/05/18  
Scale: AS NOTED  
Drawn: CPB  
Checked: RRC  
In Charge: EMT/HP/200/DWG  
No.:

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

Sheet  
**LP-200**





1 BENCH N.T.S.



2 PLAY STRUCTURE N.T.S.



3 MAIL KIOSK N.T.S.



4 PICNIC TABLE N.T.S.



5 BIKE RACK N.T.S.



6 LIGHT FIXTURE AND POLE N.T.S.



7 GRILL N.T.S.

**FOSTER  
CONANT  
& ASSOCIATES**

120 West Roberson Street  
Orlando, Florida 32801-1617  
Phone (407) 648-2225  
www.fosterconant.com

Revisions  
04.2018 - CITY COMMENTS (04.23.18)  
06.21.18 - ADD MAIL KIOSK

Project

VISTA RESERVE

CITY OF APOPKA, FL

HARDSCAPE  
IMAGES

Date: 04/05/18  
Scale: AS NOTED  
Drawn: CFB Checked: RRC  
File No: E:\MTHLP2\DWG  
Rev:

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

Sheet  
**LP-201**





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ASCE 903 - CITY COMMENTS (04/23/18)

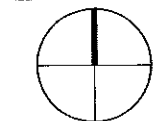
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VISTA RESERVE

CITY OF APOPKA, FL

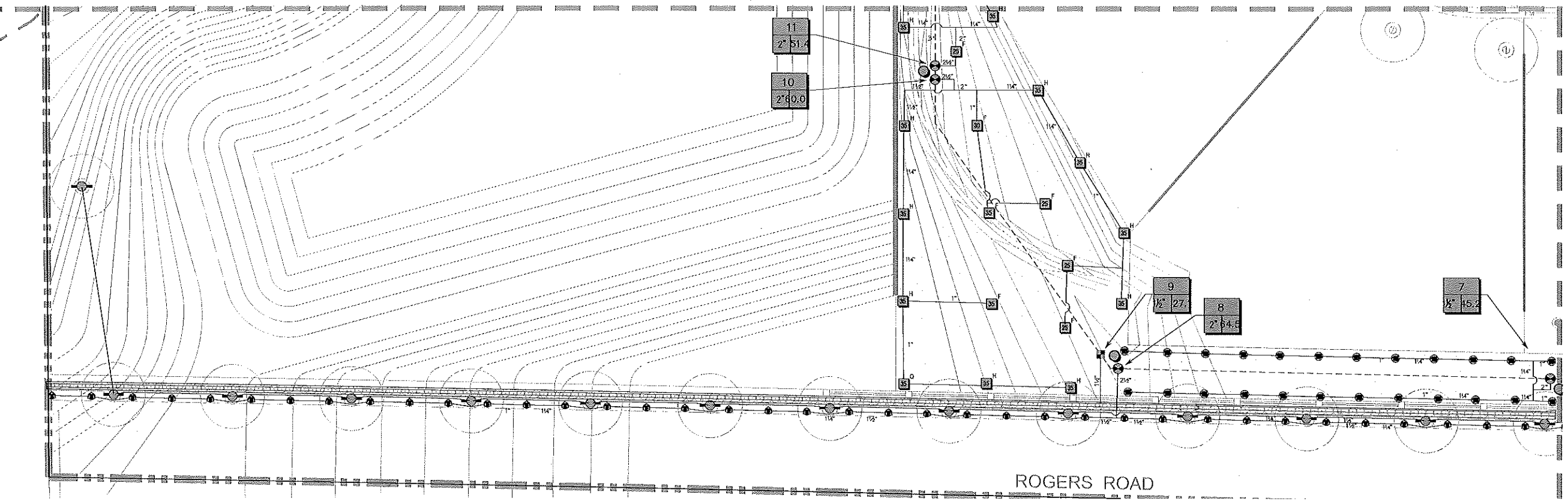
IRRIGATION PLAN

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File No: 5AMALP300DUG  
Rev:



Sheet  
LP-300

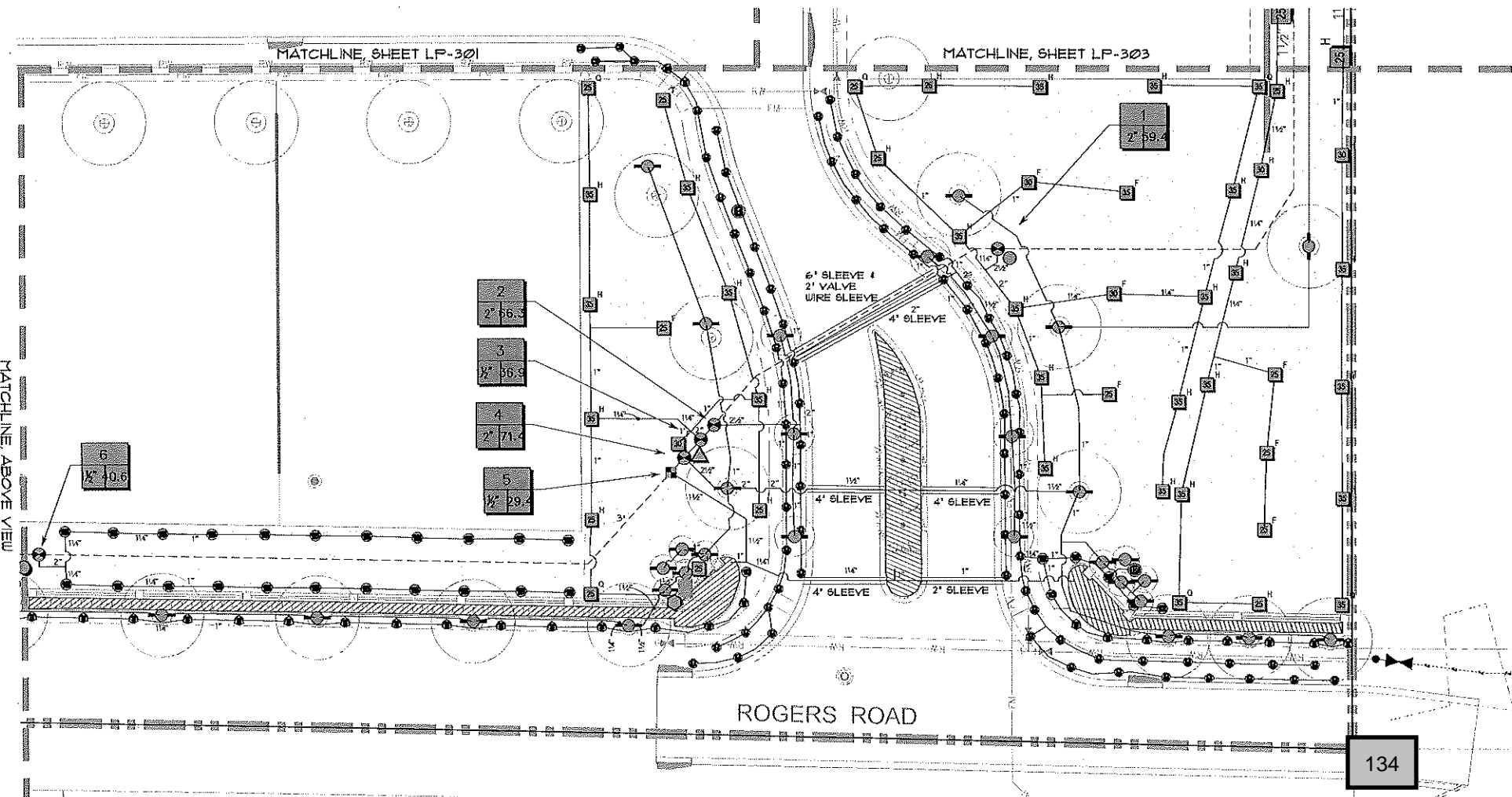
MATCHLINE, SHEET LP-301



ROGERS ROAD

MATCHLINE, SHEET LP-301

MATCHLINE, SHEET LP-303



ROGERS ROAD

134

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

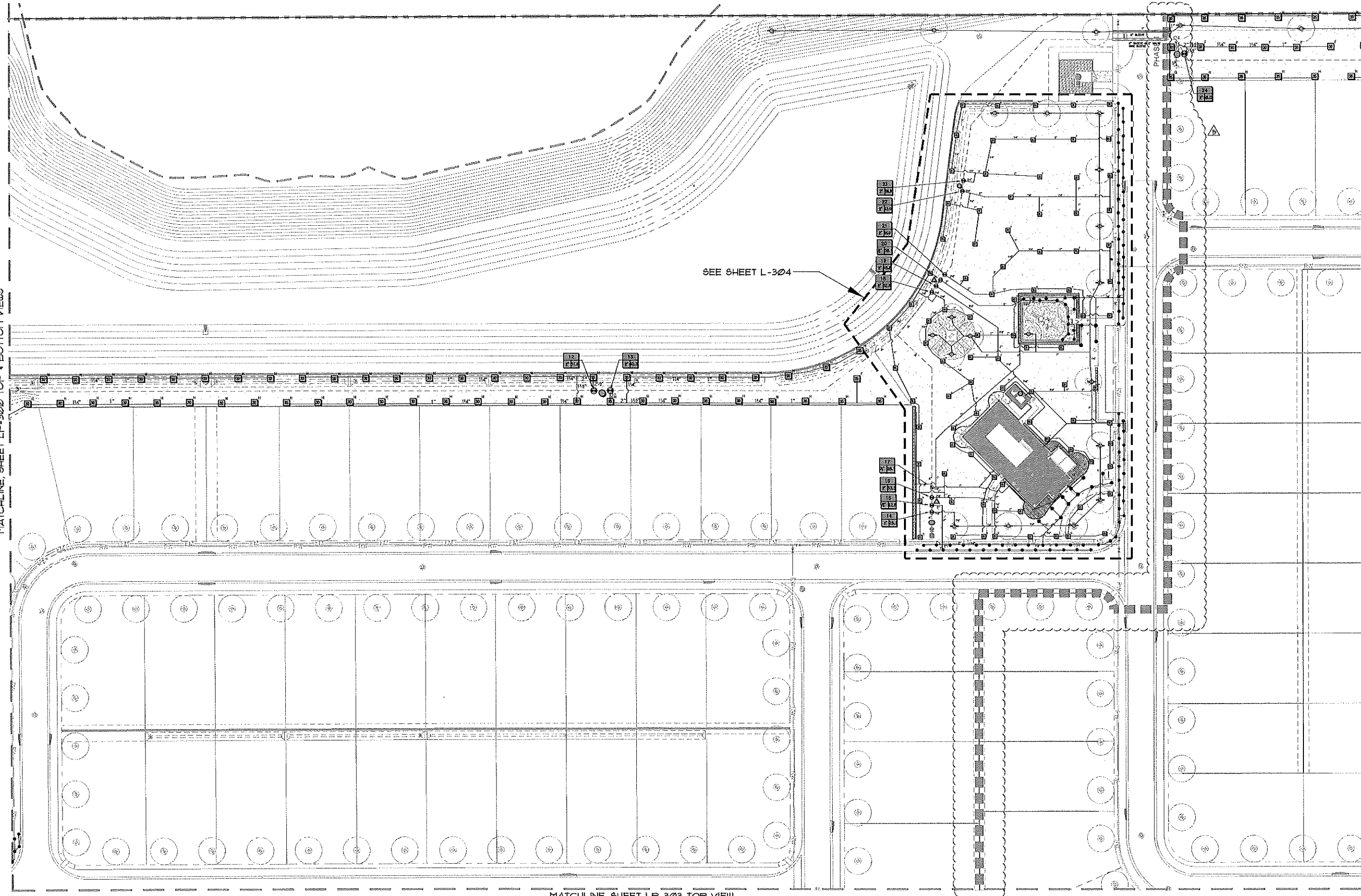
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TIME: 16 NOV 2018 - 12:33PM



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△	Notes
△	ADD PHASE L&S



MATCHLINE, SHEET LP-303 TOP VIEW

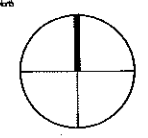
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135

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

VISTA RESERVE  
CITY OF APOPKA, FL  
IRRIGATION PLAN

Date: 04/05/18  
Scale: 1"=40'  
Drawn: CFB Check: RRC  
File No: SAMALP301DWG



Sheet  
**LP-301**

LICENSED PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 12847  
 DATE: 10 NOV 2014 1:24PM



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I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

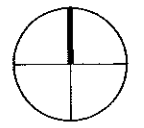
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VISTA RESERVE

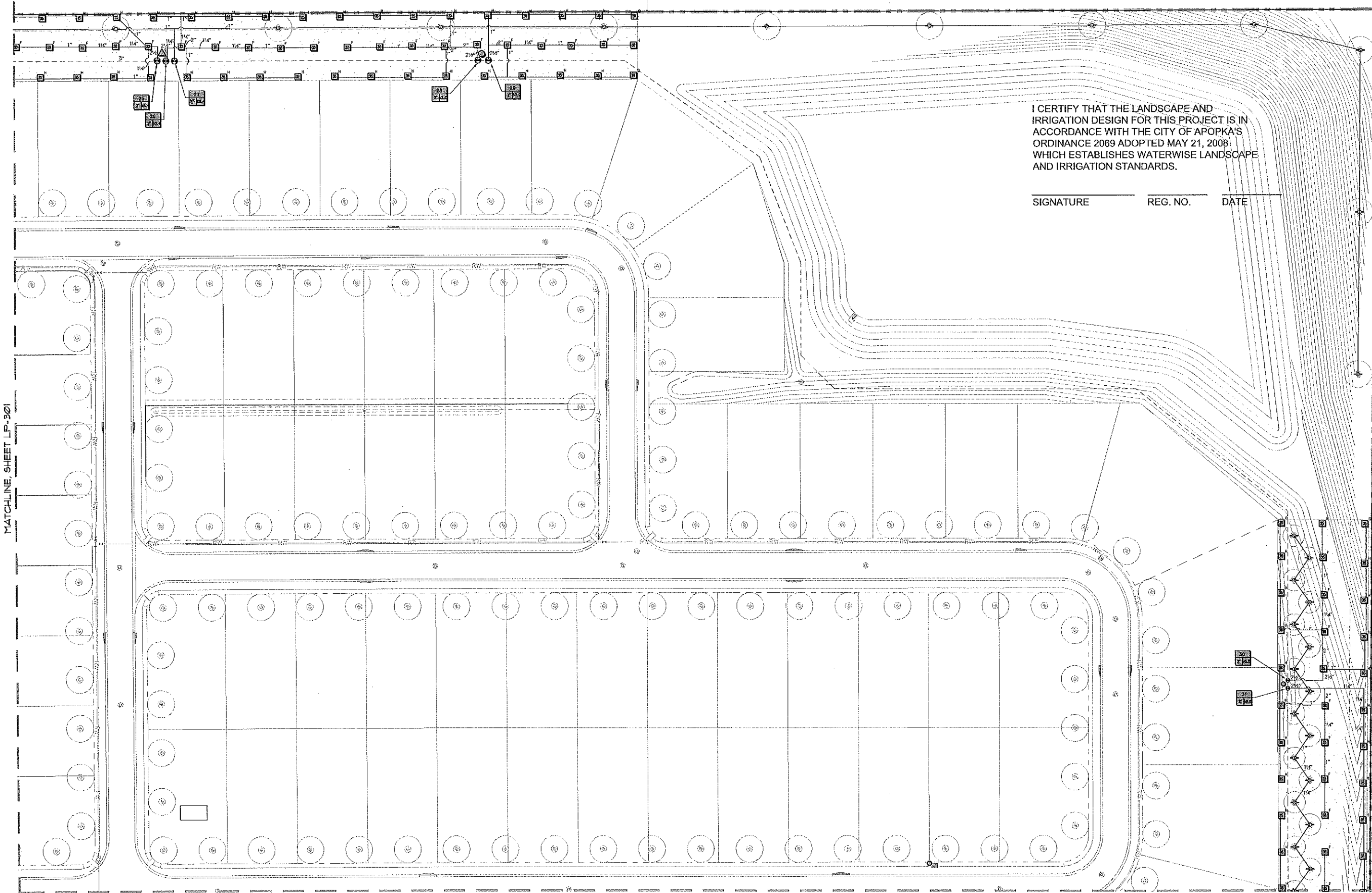
CITY OF APOPKA, FL

IRRIGATION PLAN

Date: 04/05/18  
Scale: 1" = 40'  
Drawn: CPB Checked: RRC  
File Name: SAMAL P302.DWG  
North



LP-302



MATCHLINE, SHEET LP-301

MATCHLINE, SHEET LP-303 BOTTOM VIEW

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

136

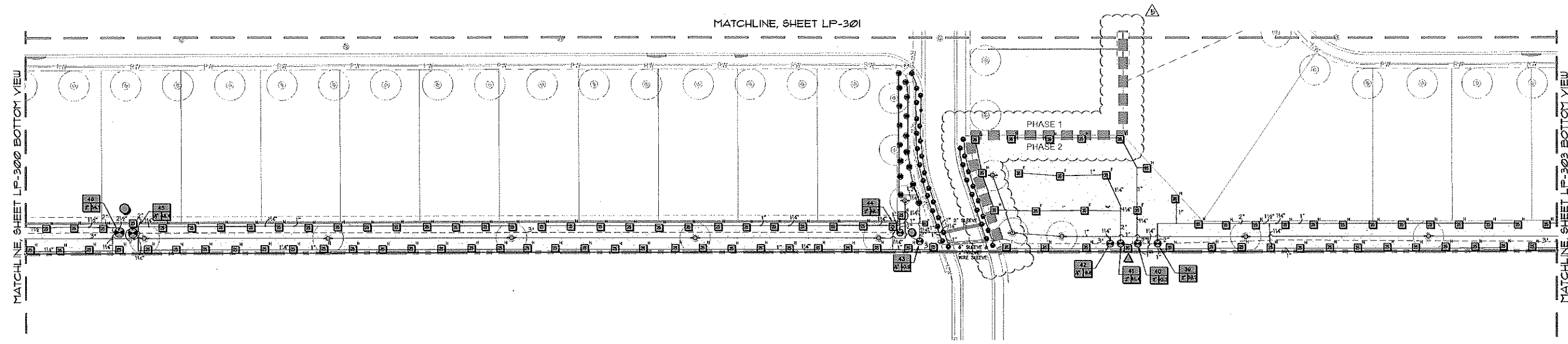
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USER: CHRISBY203  
FILE NAME: PFILE - SANTA MARINA P302.DWG  
TIME: 10 NOV 2018 - 12:38PM



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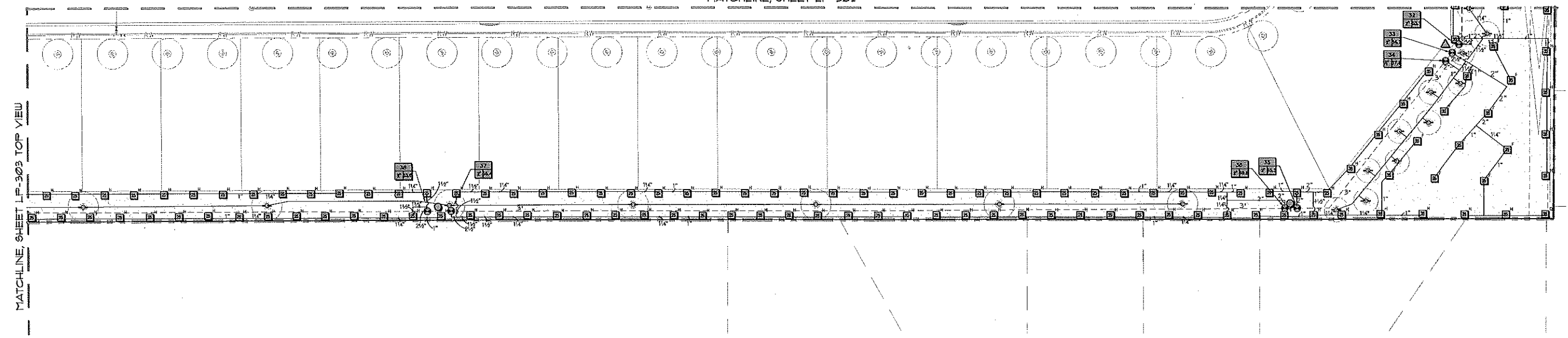
MATCHLINE, SHEET LP-301



MATCHLINE, SHEET LP-300 BOTTOM VIEW

MATCHLINE, SHEET LP-303 BOTTOM VIEW

MATCHLINE, SHEET LP-302



MATCHLINE, SHEET LP-303 TOP VIEW

SOUTH PROPERTY BOUNDARY COMMON AREA TRACTS

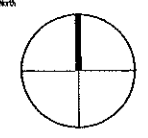
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VISTA RESERVE

CITY OF APOPKA, FL

IRRIGATION PLAN

DATE: 04/05/18  
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DRAWN: CPB CHECKED: RRC  
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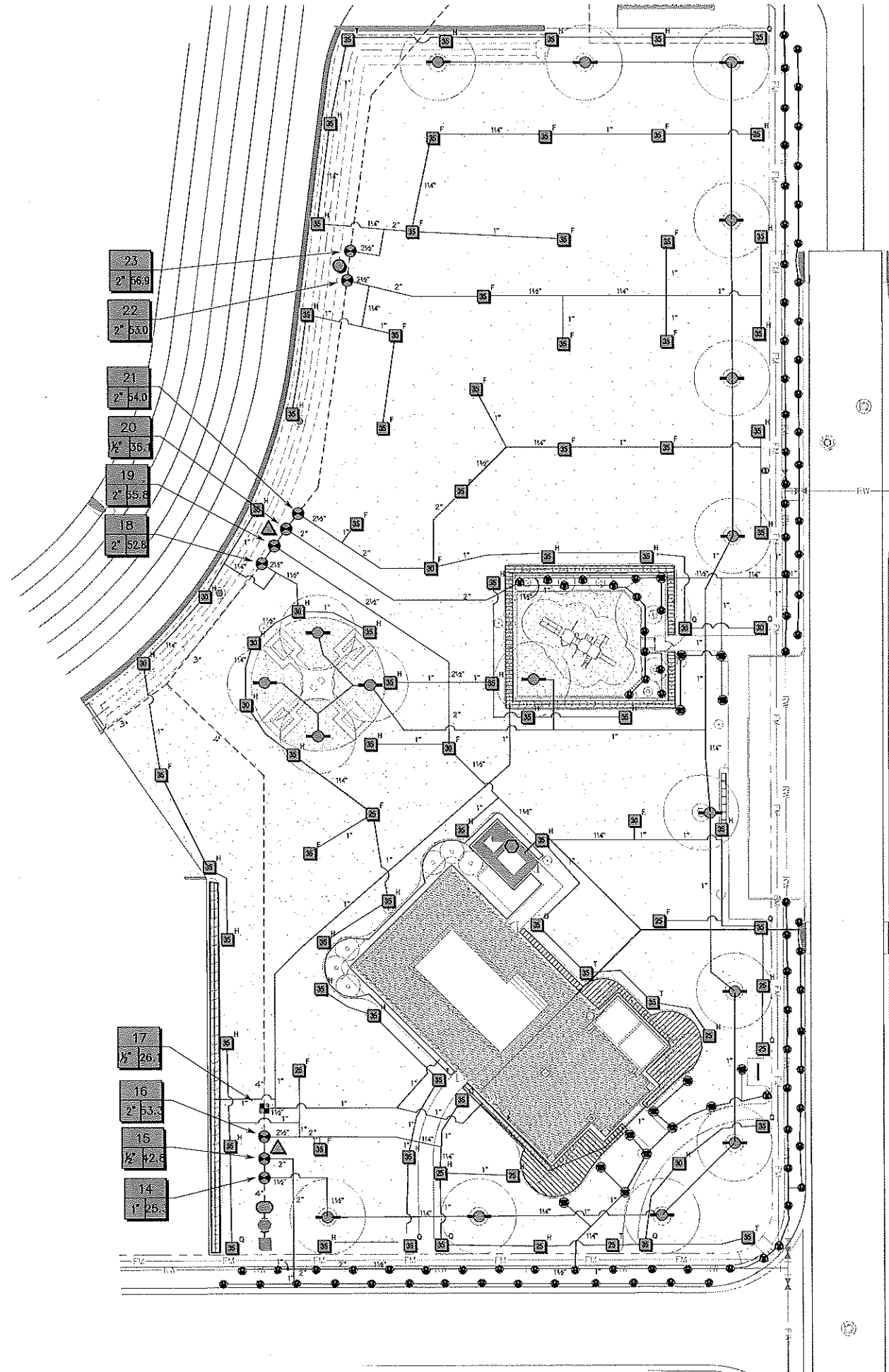
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

Sheet LP-303



120 West Robinson Street  
Orlando, Florida 32801-1617  
Phone (407) 648-2225  
www.fosterconant.com



Revisions

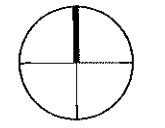
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VISTA RESERVE

CITY OF APOPKA, FL

IRRIGATION PLAN

Date: 04/05/18  
Scale: 1"=20'  
Drawn: CFB  
Checked: RRC  
File Name: 304\_LP304.DWG  
User: rrc



I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

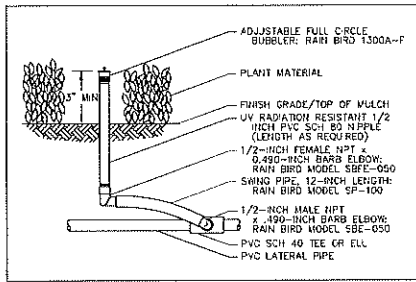
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138

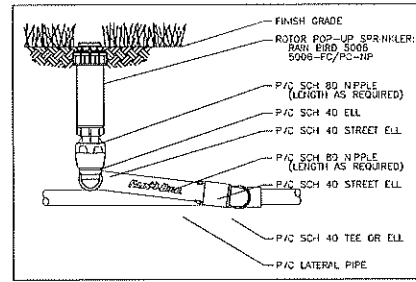
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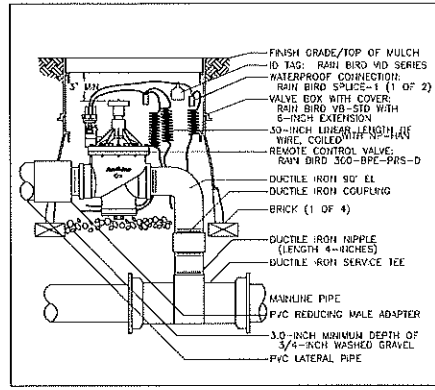




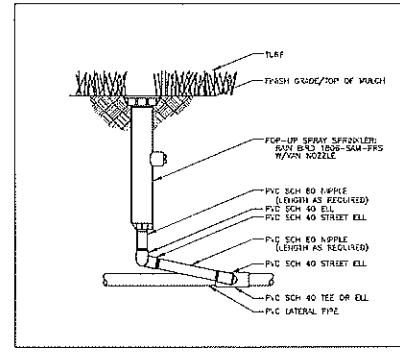
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NOT TO SCALE



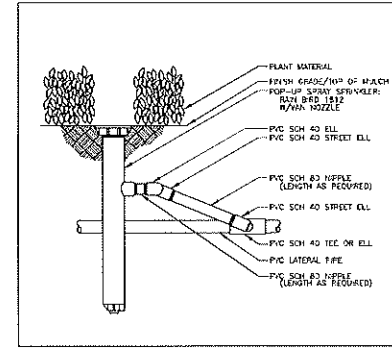
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NOT TO SCALE



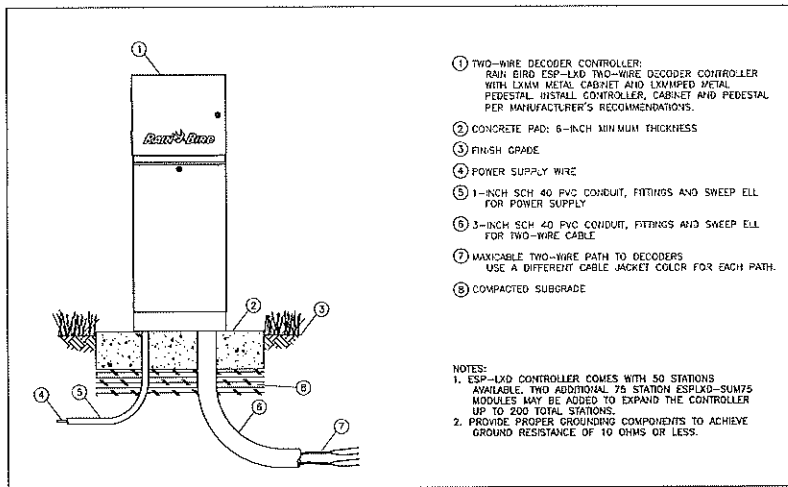
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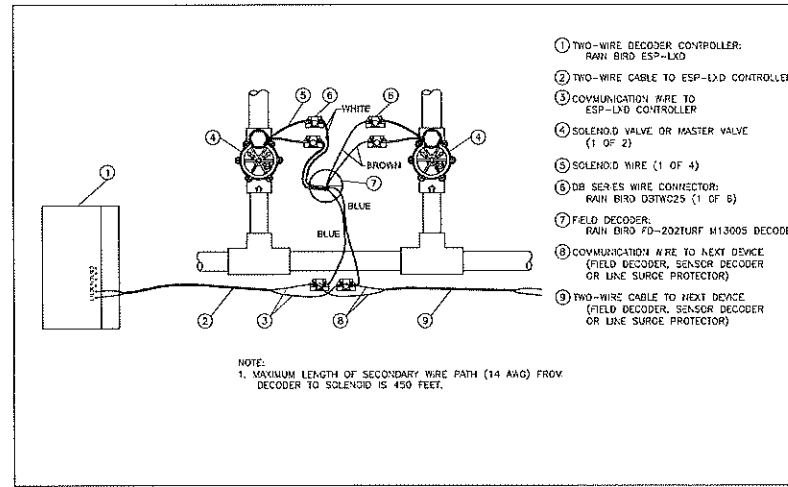
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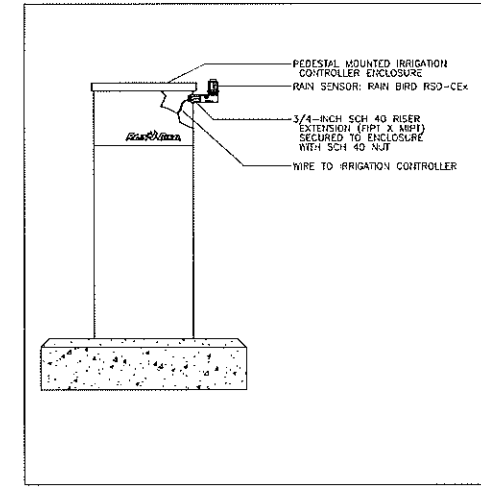
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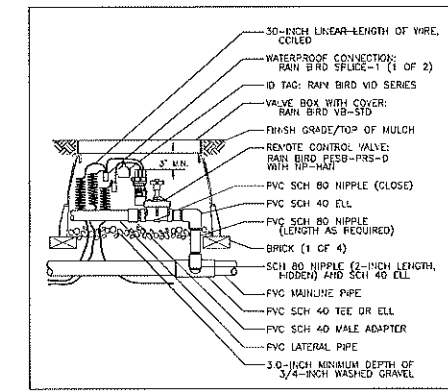
ESP-LXD TWO-WIRE DECODER CONTROLLER  
PEDESTAL MOUNTED  
NOT TO SCALE



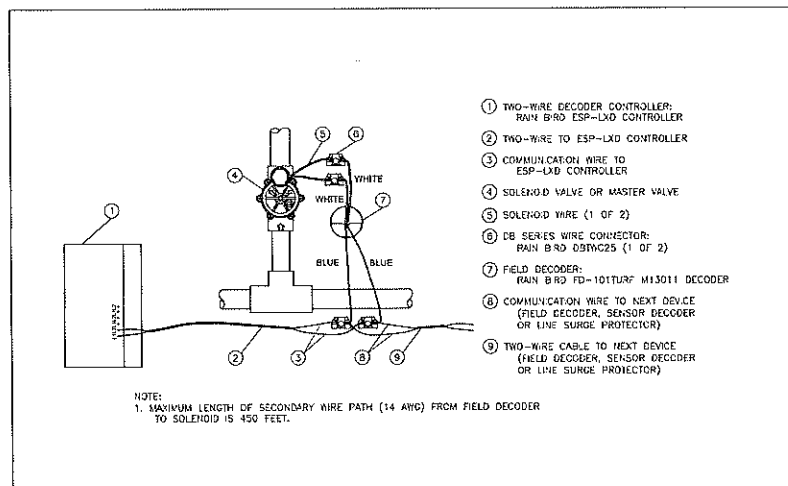
FD-202TURF DECODER  
WIRING TO VALVE AND CONTROLLER  
NOT TO SCALE



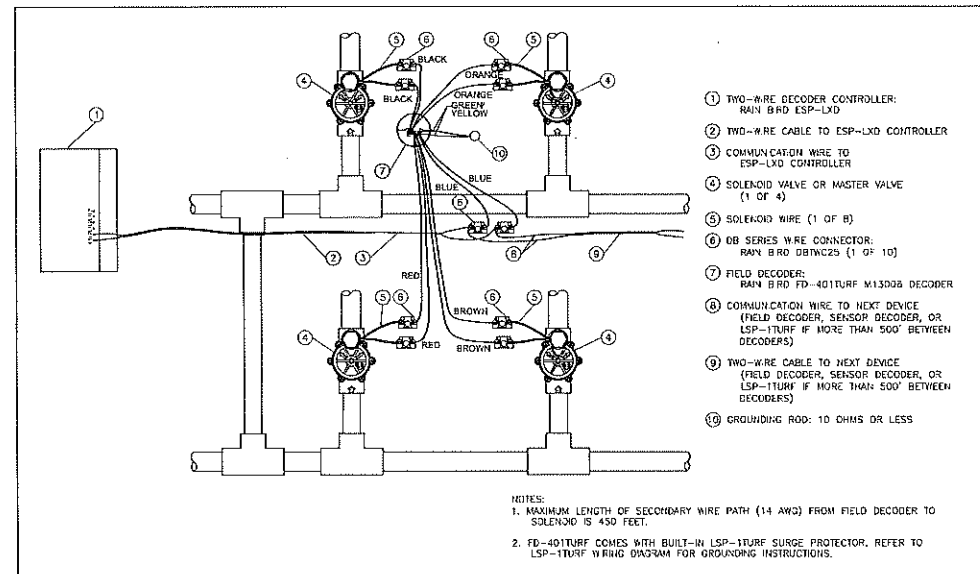
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RSD-CEX PEDESTAL MOUNT  
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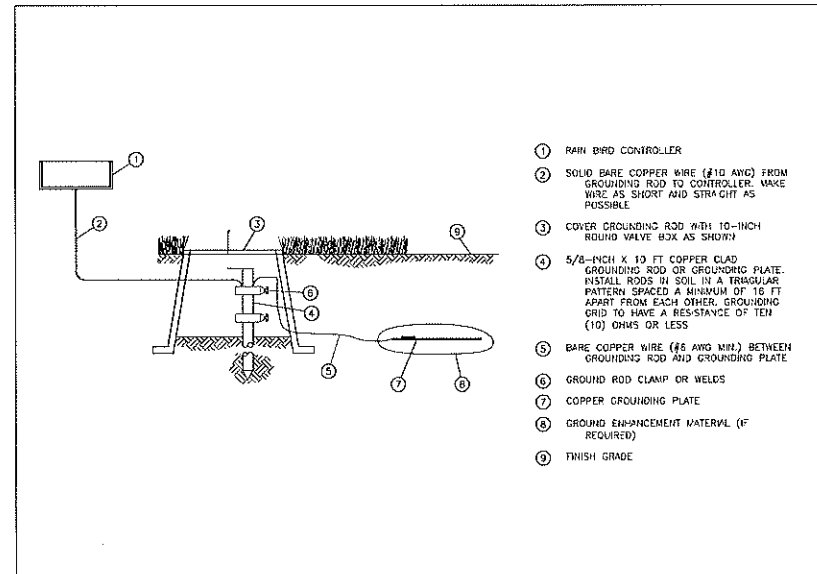
FESB ELECTRIC REMOTE-CONTROL VALVE  
NOT TO SCALE



FD-102TURF DECODER  
WIRING TO VALVE AND CONTROLLER  
NOT TO SCALE



FD-401TURF DECODER  
WIRING TO VALVE AND CONTROLLER  
NOT TO SCALE



CONTROLLER GROUNDING GRID  
GROUNDING PLATE DESIGN LAYOUT  
NOT TO SCALE

*(This table contains a series of horizontal lines for project notes or specifications, which are mostly blank in the provided image.)*

VISTA RESERVE

CITY OF APOPKA, FL

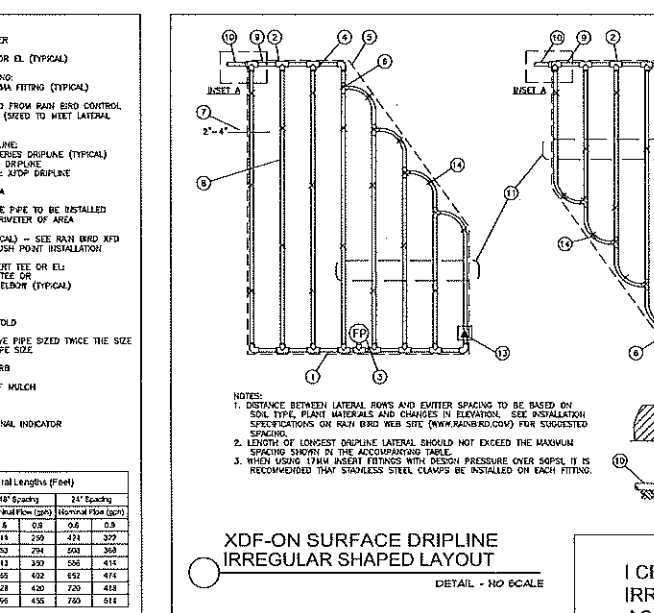
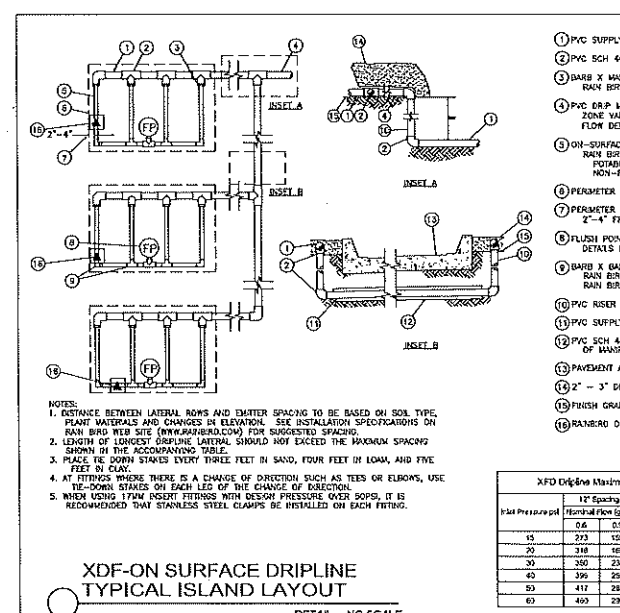
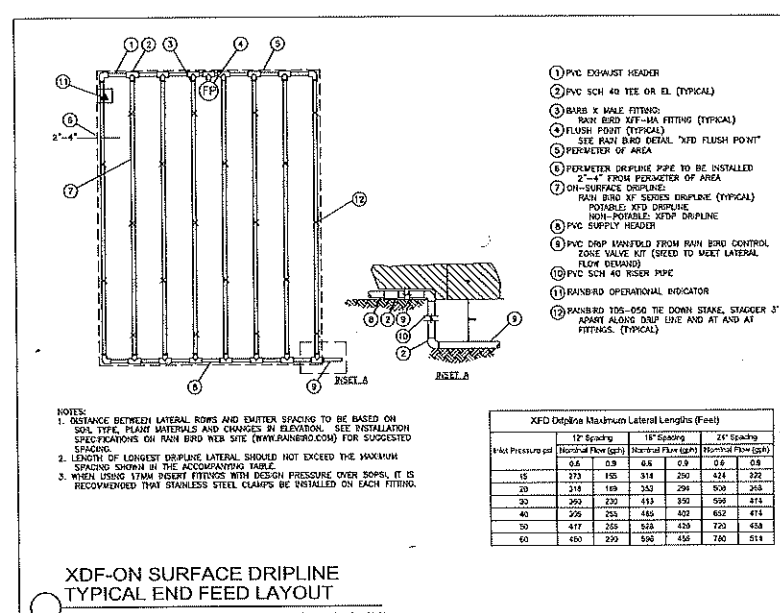
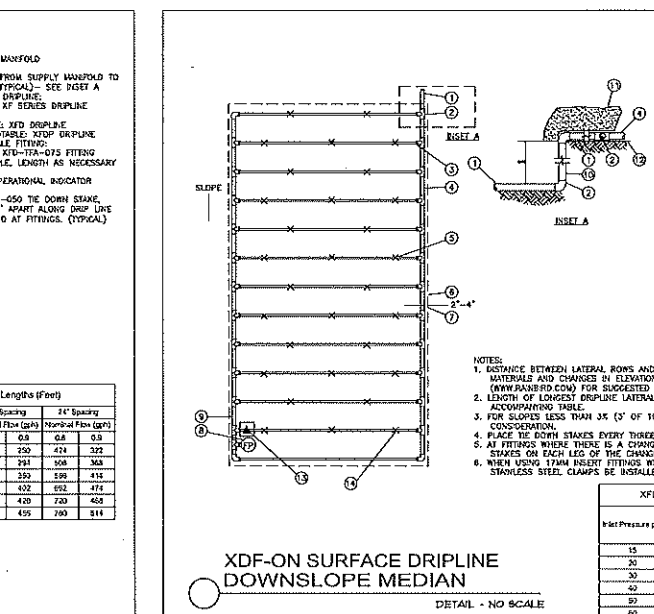
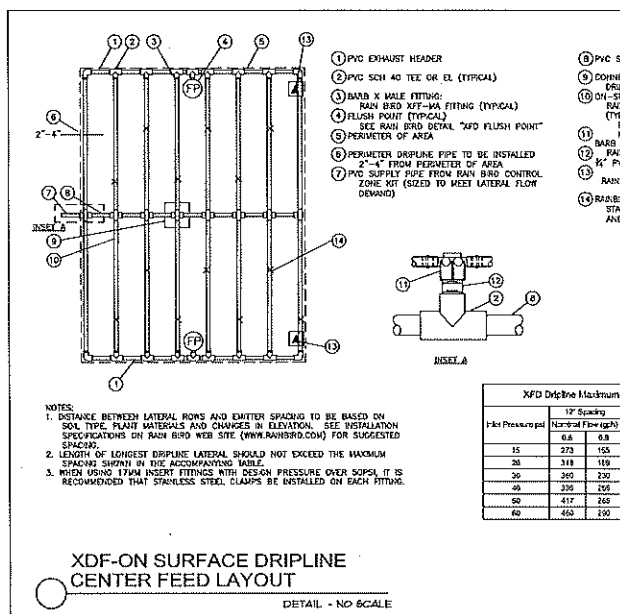
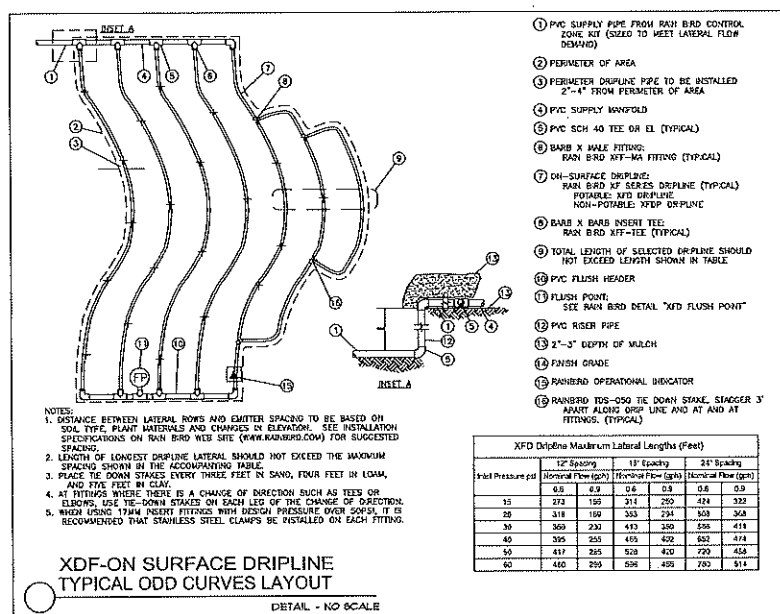
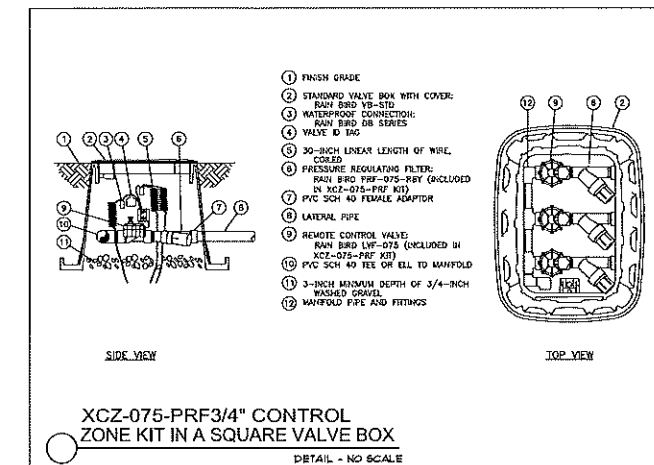
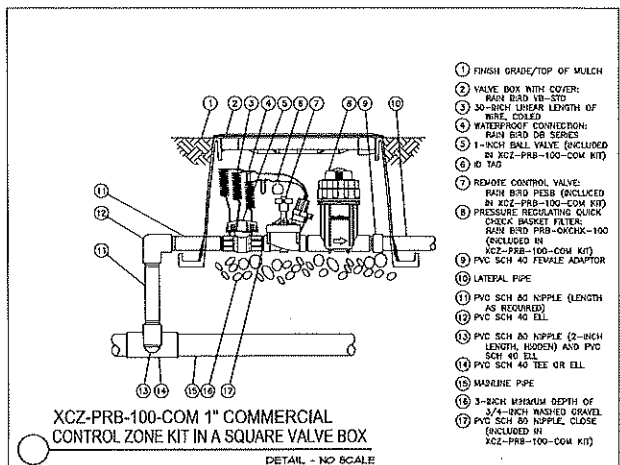
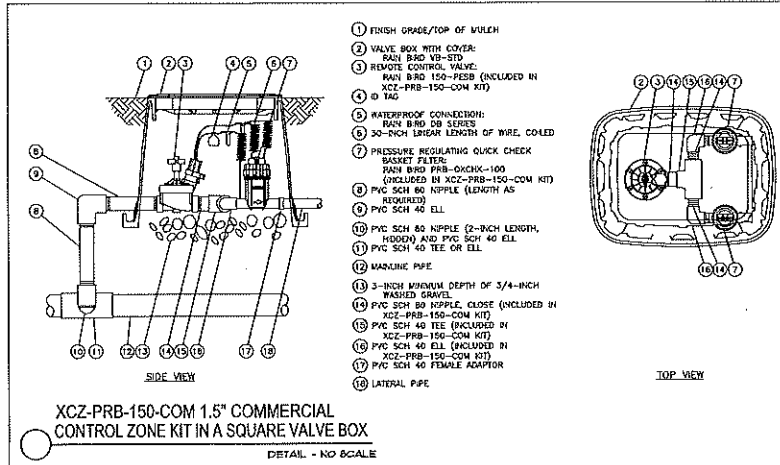
IRRIGATION  
DETAILS

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Drawn: MJ, Dashed: RRC  
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User: s

I CERTIFY THAT THE LANDSCAPE AND  
IRRIGATION DESIGN FOR THIS PROJECT IS IN  
ACCORDANCE WITH THE CITY OF APOPKA'S  
ORDINANCE 2069 ADOPTED MAY 21, 2008  
WHICH ESTABLISHES WATERWISE LANDSCAPE  
AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

LP-306

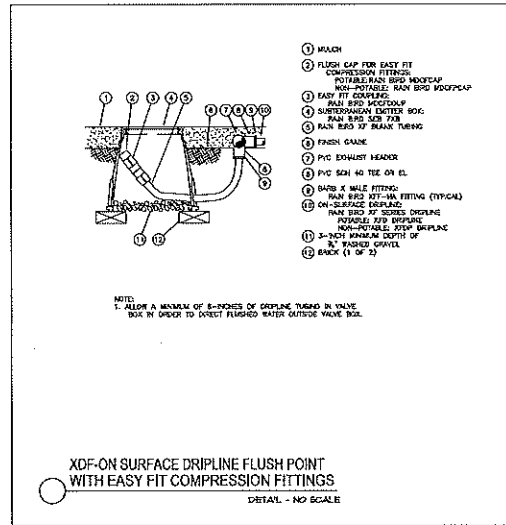
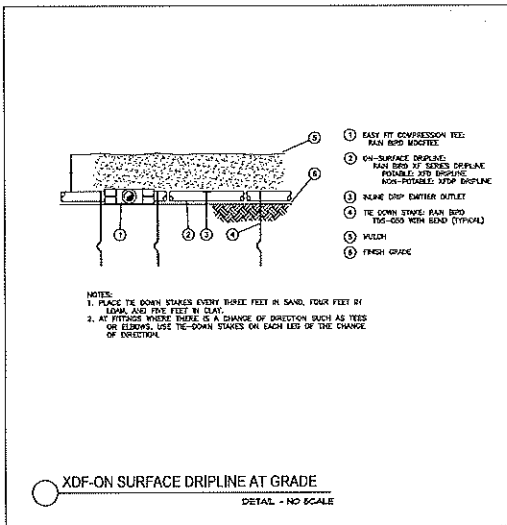
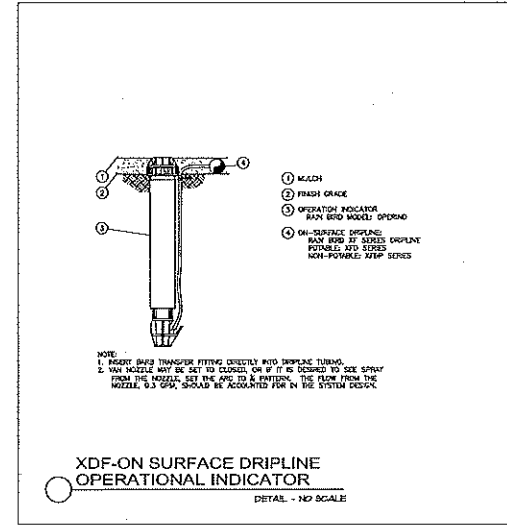
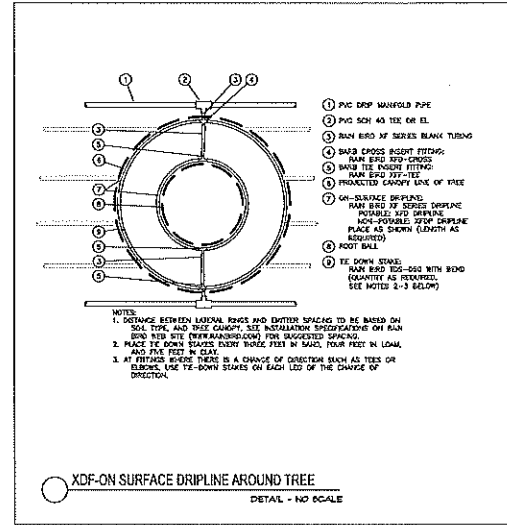
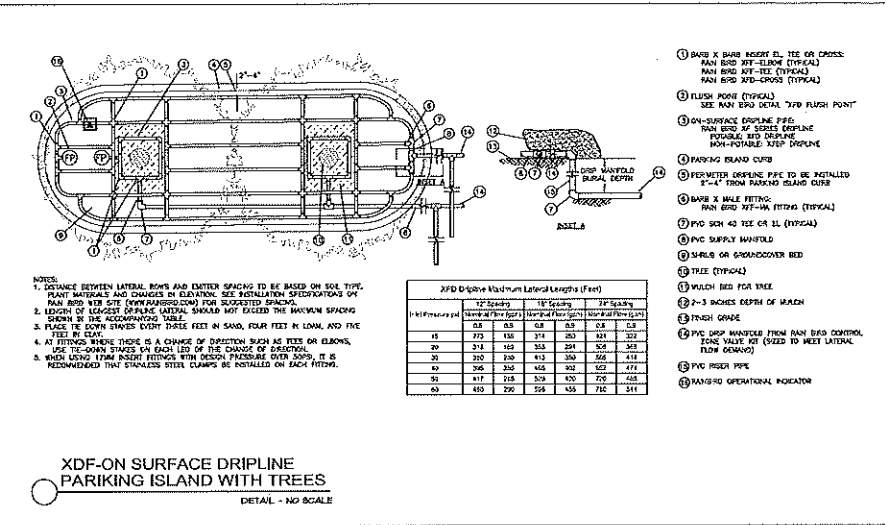


VISTA RESERVE  
CITY OF APOPKA, FL  
IRRIGATION DETAILS

Date: 04/05/18  
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Checked: RRC  
File No: SAM1P301DUK  
Rev:

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_



120 West Robinson Street  
Orlando, Florida 32801-1617  
Phone (407) 648-2225  
www.foeterconant.com

Sheet

Project

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VISTA RESERVE

CITY OF APOPKA, FL

IRRIGATION  
DETAILS

Date:	04/05/18
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Drawn:	MJ
Checked:	RRC
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I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

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Sheet  
**LP-308**

# VISTA RESERVE PHASE 1

SHEET 1 OF 3

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

A PARCEL OF LAND LYING IN THE SOUTH 3/4 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

**LEGAL DESCRIPTION:**

THE SOUTH THREE QUARTERS OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 01°11'19" EAST ALONG THE WEST LINE OF SAID NORTHWEST QUARTER ALSO BEING THE EAST RIGHT-OF-WAY LINE OF ROGERS ROAD ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 77, PAGES 148-149 OF THE OFFICIAL RECORDS OF ORANGE COUNTY, FLORIDA, FOR A DISTANCE OF 984.97 FEET TO THE NORTHWEST CORNER OF THE SOUTH THREE QUARTERS OF SAID SOUTH HALF OF SAID NORTHWEST QUARTER; THENCE RUN N89°48'58"E ALONG THE NORTH LINE OF SAID SOUTH THREE QUARTERS FOR A DISTANCE OF 1253.02 FEET; THENCE DEPARTING SAID NORTH LINE RUN SOUTH 00°05'25" EAST FOR A DISTANCE OF 171.77 FEET TO A POINT OF CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY HAVING A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 90°00'00" WITH A CHORD BEARING OF SOUTH 45°05'25" EAST, AND A CHORD LENGTH OF 21.21 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 23.56 FEET; THENCE RUN SOUTH 00°05'25" EAST ALONG A NON-TANGENT LINE FOR A DISTANCE OF 50.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 90°00'00" WITH A CHORD BEARING OF SOUTH 44°54'35" WEST, AND A CHORD LENGTH OF 21.21 FEET; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 23.56 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 00°05'25" EAST FOR A DISTANCE OF 300.00 FEET; THENCE RUN SOUTH 89°54'35" WEST FOR A DISTANCE OF 50.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 90°00'00" WITH A CHORD BEARING OF NORTH 45°05'25" WEST, AND A CHORD LENGTH OF 21.21 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 23.56 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 89°54'35" WEST FOR A DISTANCE OF 110.00 FEET; THENCE RUN SOUTH 00°05'25" EAST FOR A DISTANCE OF 354.50 FEET; THENCE RUN SOUTH 89°54'35" WEST FOR A DISTANCE OF 125.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 18°30'04" WITH A CHORD BEARING OF SOUTH 09°20'27" EAST, AND A CHORD LENGTH OF 32.15 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 32.29 FEET TO A POINT OF TANGENCY; THENCE RUN SOUTH 18°35'29" EAST FOR A DISTANCE OF 67.24 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 29; THENCE RUN S89°54'35"W ALONG SAID SOUTH LINE FOR A DISTANCE OF 1001.51 FEET TO THE SOUTHWEST CORNER THEREOF, AND THE POINT OF BEGINNING.

THE DESCRIBED PARCEL ALL LYING IN ORANGE COUNTY, FLORIDA CONTAINING 1,158,006 SQUARE FEET (26.58 ACRES), MORE OR LESS.

**SURVEYOR'S NOTES:**

- Bearings shown hereon are assumed and based on the South line of the Northwest Quarter of Section 29, Township 20 South, Range 28 East being an assumed bearing of South 89°54'35" West for angular designation only.
- All lot lines intersecting curves are radial, unless otherwise noted non-radial ( N.R. ).
- All platted utility easements shall also be easements for the construction, installation, maintenance, and operation of cable television and data services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This section shall not apply to those private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Such construction, installation, maintenance, and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission.
- Tracts OS-1 and OS-2 (Open Space), R-1 (Recreation Tract), Tracts B-1, B-2 (Buffer), Tract M-1 (Median), and Tract P-1 (Stormwater Pond) shall be owned and maintained by the VISTA RESERVE Homeowners Association, Inc. (the Association).
- Tract FC-1 (Floodplain Conservation), shall be owned by the Association with development rights dedicated to the City of Apopka. No soil excavation, fill, or removal within the conservation shall be permitted. The removal of vegetation within the conservation is prohibited unless approval from the City of Apopka or any other applicable jurisdictional agency is granted to remove dead or damaged vegetation that poses a hazard or approval is granted to remove exotic or nuisance vegetation.
- This plot contains 52 Lots.
- The street tree easements, wall access easements, and drainage easements shown hereon shall be dedicated to and maintained by the Association.
- A utility easement is hereby dedicated to the perpetual use of the public over the entirety of Tracts B-1 and B-2 (Buffer).
- The Floodplain Conservation line shown hereon was established by the Federal Emergency Management Association, utilizing the Base Flood Zone Elevation (B.F.E.) for Zone AE as being on elevation of 62.60', North American Vertical Datum of 1988 (NAVD 88). The elevation used to establish the B.F.E. is based on the St. Johns River Water Management District Benchmark #98-075-0-03, box cut in headwall at end of cul-de-sac on Championship Court, Elevation 59.619' (NAVD 88).

**SHEET INDEX**

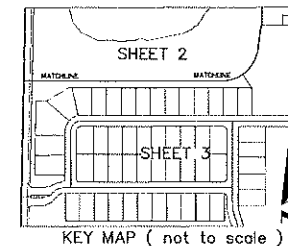
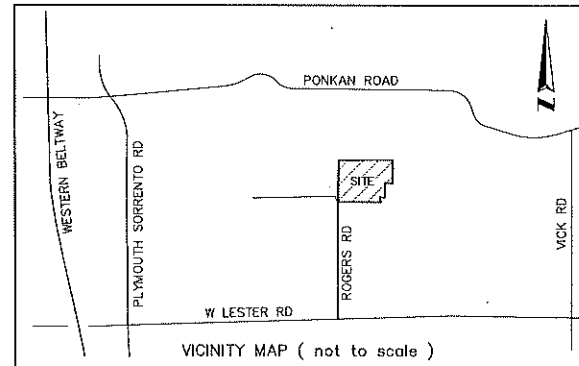
- SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication
- SHEET 2 of 3 - boundary information
- SHEET 3 of 3 - lot block geometry

Building setback information according to engineers plans prepared by Madden, Moorhead & Stokes, Inc.

Front Primary.....	25.00'
Entry Garage.....	30.00'
Side.....	7.50'
Rear Primary.....	20.00'
Corner Side.....	15.00'
Natural Surface waterbody or wetland edge.....	50.00'

**LEGEND:**

- |          |  |        |   |
|----------|--|--------|---|
| LB       | denotes licensed business  | S.T.E. | denotes street tree easement                                  |
| U.E.     | denotes utility easement   | N.T.   | denotes non tangent   |
| R/W      | denotes right-of-way   | ⊙      | denotes set nail & disk LB 6723 permanent control point (PCP) |
| •        | denotes change in direction along right-of-way lines                             | ⊘      | denotes centerline  |
| C.C.R. # | denotes Certified Corner Record Number   | O.R.   | denotes Official Records of Orange County, Florida            |
| ■        | denotes set 4" x 4" concrete monument LB 6723 permanent reference monument (PRM) | PG(S). | denotes page(s)   |
| □        | denotes recovered 4" x 4" concrete monument permanent reference monument (PRM)   | P.C.   | denotes point of curvature                                    |
| ○        | denotes recovered monumentation as labeled                                       | P.T.   | denotes point of tangency                                     |
| D.E.     | denotes drainage easement  | P.I.   | denotes point of intersection                                 |
| W.A.E.   | denotes wall access easement   | P.B.   | denotes Plat Book   |
| P.R.C.   | denotes point of reverse curvature   | R.P.   | denotes radius point  |
| P.S.M.   | denotes Professional Surveyor and Mapper   | R      | denotes radius  |
|          |  | Δ      | denotes central angle   |
|          |  | L      | denotes arc length  |
|          |  | CL     | denotes chord length  |
|          |  | CB     | denotes chord bearing   |
|          |  | P.C.C. | denotes point of compound curvature                           |



NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

**CERTIFICATE OF REVIEW BY REVIEWING SURVEYOR**

Pursuant to Section 177.081, Florida Statutes, I have reviewed this plat for conformity to Chapter 177 Part 1 of the Florida Statutes and that said plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this plat.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: Timothy O. Mosby, PSM  
Registration Number 4732  
Southeastern Surveying and Mapping Corp

**QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER**

KNOW ALL MEN BY THESE PRESENTS, that I the undersigned, being a licensed surveyor and mapper, do hereby certify that on April 13, 2016 I completed the survey of the lands as shown in the foregoing plat or plan; that said plat is a true and correct representation of the lands surveyed and plotted and was prepared under my direction and supervision; that permanent reference monuments have been placed as shown thereon; and this plat complies with all the survey requirements of Chapter 177, Florida Statutes; and that said land is located in the City of Apopka, Orange County, Florida.

By: \_\_\_\_\_ Date: \_\_\_\_\_

James I. Allen, # 5633 Allen & Comp Business # 8723 16 East Florida Winter Garden,

143

**VISTA RESERVE PHASE 1 DEDICATION**

THIS is to certify that the undersigned, Pulte Home Corporation, a Michigan Corporation, hereafter referred to as "Owner" is the lawful owner of the lands described in the caption hereon, and that it has caused the same to be surveyed, and this plat, made in accordance with said survey, is hereby adopted as the true and correct plat of said lands.

The Owner hereby dedicates Tract ROW-1 (Additional Right-of-Way Dedication), Streets, and Utility easements to the perpetual use of the public.

Tract LS-1 (Lift Station) is hereby dedicated in fee simple to the City of Apopka without any restriction whatsoever, City ownership of said Tracts and any improvements thereon vests upon approval of the Plat by the Apopka Planning Commission and City Council of Apopka. Recording of this Plat shall act as conveyance to the City of Apopka and no further instrument shall be necessary to vest fee simple title.

IN WITNESS WHEREOF, the undersigned, PULTE HOME CORPORATION, a Michigan Corporation, has caused these presents to be executed and acknowledged by its undersigned Officer thereunto duly authorized on this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

WITNESSES: PULTE HOME CORPORATION, a Michigan Corporation

By: \_\_\_\_\_

Printed Name of Witness \_\_\_\_\_ Printed name \_\_\_\_\_

\_\_\_\_\_ Title \_\_\_\_\_

Printed Name of Witness \_\_\_\_\_ (CORPORATE SEAL)

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_



I HEREBY CERTIFY, that on this day, before me personally appeared \_\_\_\_\_ as \_\_\_\_\_ of PULTE HOME CORPORATION, a Michigan Corporation who is ( ) personally known to me or ( ) produced \_\_\_\_\_ as identification, and did/did not take an oath, the individual and officer described in and who executed the foregoing conveyance and acknowledged the execution thereof to be his free act and deed as such officer thereunto duly authorized.

WITNESS my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Signature of Notary Public \_\_\_\_\_

Printed Name of Notary Public \_\_\_\_\_

Notary Public state of Florida \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Commission Number: \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION**

Examined and Approved \_\_\_\_\_ Chairman \_\_\_\_\_ Date \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY CITY ENGINEER**

Examined and Approved \_\_\_\_\_ Richard Earp \_\_\_\_\_ Date \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY MUNICIPALITY**

THIS IS TO CERTIFY, that on \_\_\_\_\_ the foregoing plat was approved by the Municipality.

Mayor \_\_\_\_\_

Attest: \_\_\_\_\_ City Clerk

**CERTIFICATE OF COUNTY COMPTROLLER**

I HEREBY CERTIFY, that the foregoing plat was recorded in the Orange County Official Records on \_\_\_\_\_ as File No. \_\_\_\_\_

County Comptroller In and for Orange County, Florida.

By: \_\_\_\_\_

16 EAST PLANT STREET  
WINTER GARDEN, FLORIDA 34787  
(407) 654-5355



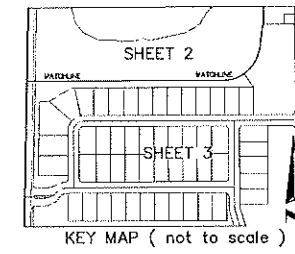
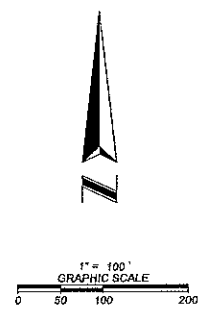
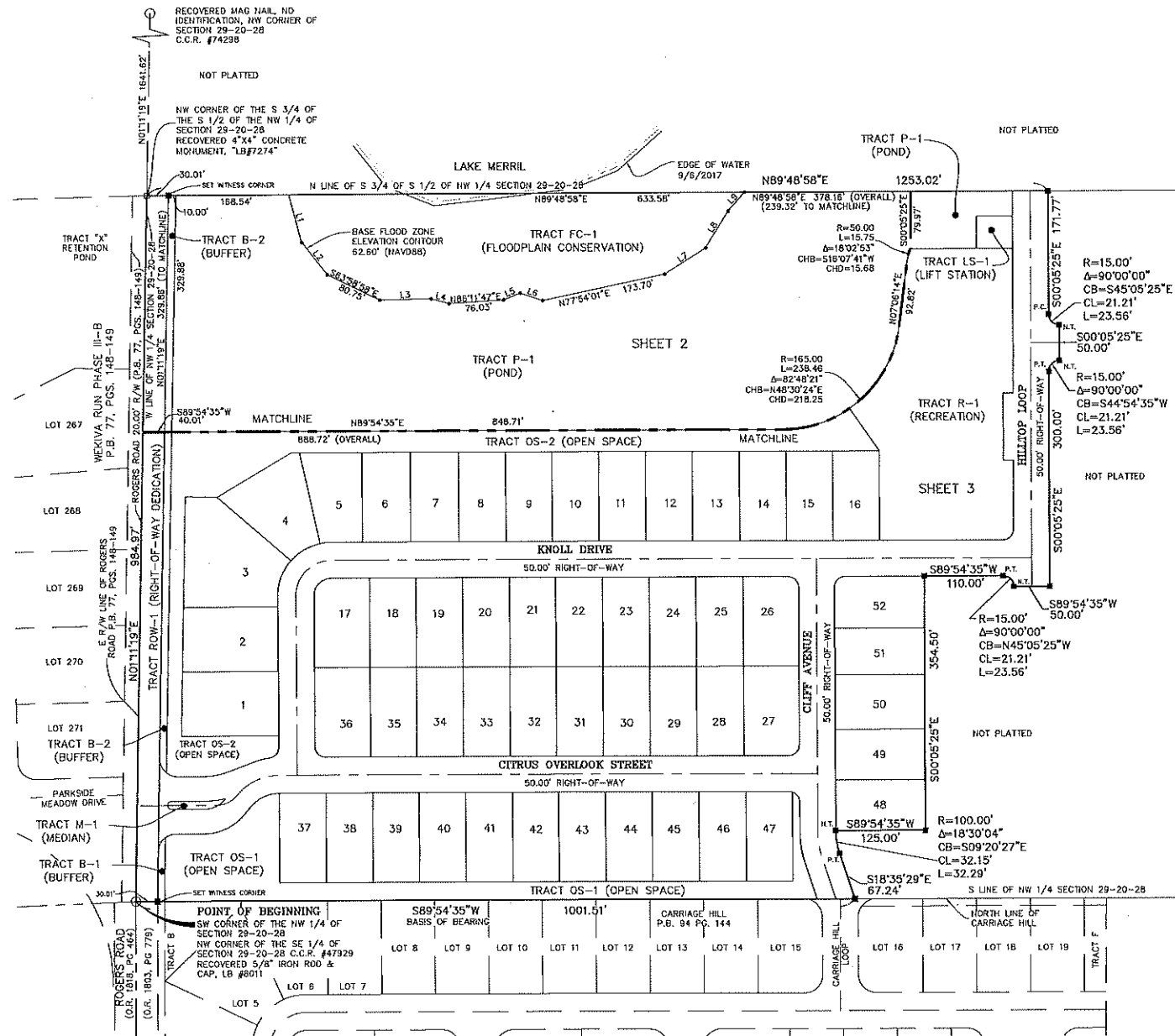
# VISTA RESERVE PHASE 1

A PARCEL OF LAND LYING IN THE SOUTH 3/4 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

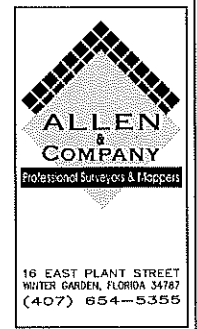
SHEET 2 OF 3

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SHEET INDEX  
 SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication  
 SHEET 2 of 3 - boundary information  
 SHEET 3 of 3 - lot block geometry



LINE	BEARING	LENGTH
L1	S14°41'14\"/>	



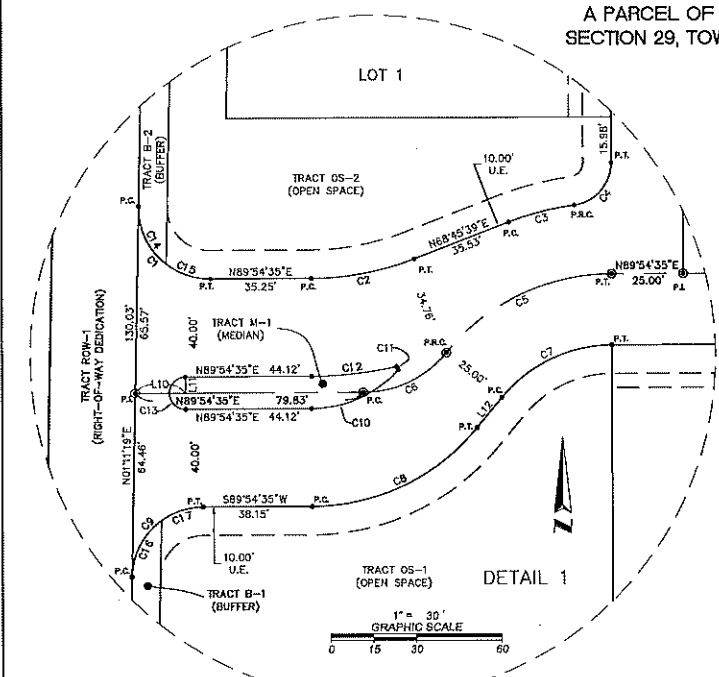
# VISTA RESERVE PHASE 1

SHEET 3 OF 3

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

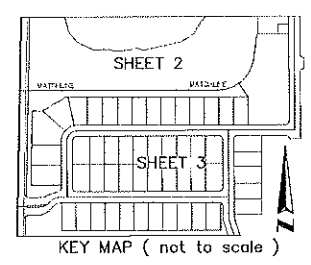
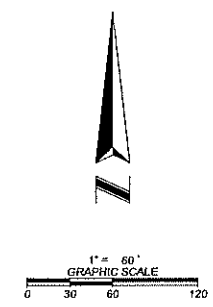
A PARCEL OF LAND LYING IN THE SOUTH 3/4 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

SHEET INDEX  
 SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication  
 SHEET 2 of 3 - boundary information  
 SHEET 3 of 3 - lot block geometry



CURVE	RADIUS	CENTRAL ANGLE	ARC DISTANCE	CHORD LENGTH	CHORD BEARING
C1	25.00'	91°16'44"	39.83'	35.75'	S44°27'03"E
C2	100.00'	21°08'56"	36.91'	38.70'	N79°20'09"E
C3	100.00'	13°29'15"	23.85'	23.77'	S75°50'16"W
C4	15.00'	82°30'18"	21.80'	19.78'	N41°09'44"E
C5	75.00'	50°41'15"	66.35'	54.21'	S64°33'57"E
C6	37.68'	50°41'15"	33.33'	32.26'	N64°33'57"E
C7	50.00'	50°41'15"	44.23'	42.80'	S64°33'57"E
C8	75.00'	50°41'15"	66.35'	54.21'	N64°33'57"E
C9	25.00'	88°43'18"	36.71'	34.98'	S45°32'57"E
C10	40.87'	48°12'31"	34.21'	33.31'	N05°48'54"E
C11	0.87'	144°34'09"	1.89'	1.28'	N30°33'53"W
C12	134.33'	12°43'31"	29.91'	29.85'	N83°31'49"E
C13	5.87'	180°00'00"	17.81'	11.34'	S00°05'25"E
C14	25.00'	53°07'48"	23.18'	22.36'	S25°22'35"E
C15	25.00'	38°08'54"	18.65'	16.34'	S71°00'57"E
C16	25.00'	53°07'48"	23.18'	22.36'	S27°45'13"W
C17	25.00'	35°35'27"	15.53'	15.28'	S72°06'51"W
C18	15.00'	90°00'00"	23.56'	21.21'	S45°05'25"E
C19	25.00'	90°00'00"	39.27'	35.36'	S44°54'35"W
C20	50.00'	90°00'00"	78.54'	70.71'	S44°54'35"W
C21	75.00'	90°00'00"	117.81'	105.07'	S44°54'35"W
C22	75.00'	41°09'43"	53.88'	52.73'	S20°29'28"W
C23	75.00'	36°25'03"	47.67'	46.87'	S09°16'49"W
C24	75.00'	12°25'14"	18.26'	16.23'	S83°41'58"W
C25	15.00'	90°00'00"	23.56'	21.21'	N45°05'25"E
C26	15.00'	90°00'00"	23.56'	21.21'	S44°54'35"W
C27	15.00'	90°00'00"	23.56'	21.21'	N44°54'35"E
C28	15.00'	90°00'00"	23.56'	21.21'	N45°05'25"E
C29	150.00'	18°30'04"	48.44'	48.23'	S09°20'27"E
C30	125.00'	18°30'04"	40.35'	40.19'	S09°20'27"E
C31	15.00'	90°00'00"	23.56'	21.21'	N44°54'35"E

LINE	BEARING	LENGTH
L10	S89°54'35"W	17.59'
L11	S00°05'25"E	5.67'
L12	S39°13'20"W	13.55'



**ALLEN & COMPANY**  
 Professional Surveyors & Mappers  
 16 EAST PLANT STREET  
 WINTER GARDEN, FLORIDA 34787  
 (407) 654-5355

# VISTA RESERVE PHASE 2

SHEET 1 OF 3

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

A PARCEL OF LAND LYING IN THE SOUTH 3/4 OF THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, CITY OF APOPKA, ORANGE COUNTY, FLORIDA

**LEGAL DESCRIPTION:**

THE SOUTH THREE QUARTERS OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF VISTA RESERVE PHASE 1 ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK PAGES THROUGH , ALSO BEING A POINT ON THE NORTH LINE OF THE SOUTH THREE-QUARTERS OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SAID SECTION 29; THENCE RUN N89°48'58"E ALONG THE NORTH LINE OF SAID SOUTH THREE QUARTERS FOR A DISTANCE OF 1436.63 FEET TO THE NORTHEAST CORNER OF SAID SOUTH THREE QUARTERS; THENCE RUN S00°22'32"W ALONG THE EAST LINE OF SAID NORTHWEST QUARTER FOR A DISTANCE OF 989.15 FEET TO THE SOUTHEAST CORNER OF SAID NORTHWEST QUARTER; THENCE RUN S89°54'35"W ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER FOR A DISTANCE OF 1702.08 FEET TO THE SOUTHEAST CORNER OF SAID VISTA RESERVE PHASE 1; THENCE RUN THE FOLLOWING COURSES ALONG THE EAST LINE OF SAID VISTA RESERVE PHASE 1: NORTH 18°35'29" WEST FOR A DISTANCE OF 67.24 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE NORTHEASTERLY HAVING A RADIUS OF 100.00 FEET, A CENTRAL ANGLE OF 18°30'04" WITH A CHORD BEARING OF NORTH 09°20'27" WEST, AND A CHORD LENGTH OF 32.15 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 32.29 FEET; THENCE RUN NORTH 89°54'35" EAST ALONG A NON-TANGENT LINE FOR A DISTANCE OF 125.00 FEET; THENCE RUN NORTH 00°05'25" WEST FOR A DISTANCE OF 354.50 FEET; THENCE RUN NORTH 89°54'35" EAST FOR A DISTANCE OF 110.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 90°00'00" WITH A CHORD BEARING OF SOUTH 45°05'25" EAST, AND A CHORD LENGTH OF 21.21 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 23.56 FEET; THENCE RUN NORTH 89°54'35" EAST ALONG A NON-TANGENT LINE FOR A DISTANCE OF 50.00 FEET; THENCE RUN NORTH 00°05'25" WEST FOR A DISTANCE OF 300.00 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 90°00'00" WITH A CHORD BEARING OF NORTH 44°54'35" EAST, AND A CHORD LENGTH OF 21.21 FEET; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 23.56 FEET; THENCE RUN NORTH 00°05'25" WEST ALONG A NON-TANGENT LINE FOR A DISTANCE OF 50.00 FEET TO A POINT ON A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY HAVING A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 90°00'00" WITH A CHORD BEARING OF NORTH 45°05'25" WEST, AND A CHORD LENGTH OF 21.21 FEET; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 23.56 FEET TO A POINT OF TANGENCY; THENCE RUN NORTH 00°05'25" WEST FOR A DISTANCE OF 171.77 FEET TO THE POINT OF BEGINNING.

THE DESCRIBED PARCEL ALL LYING IN ORANGE COUNTY, FLORIDA CONTAINING 1,503,304 SQUARE FEET (34.51 ACRES), MORE OR LESS.

**SHEET INDEX**

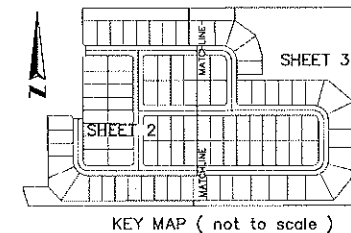
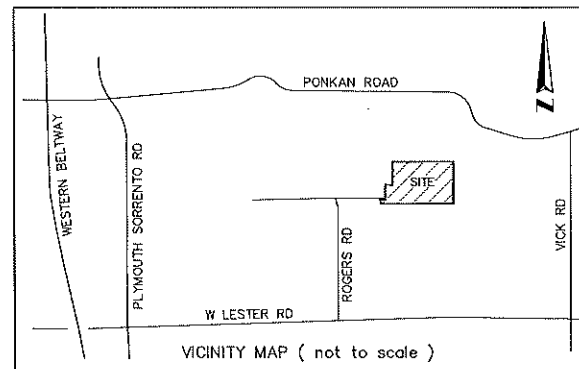
- SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication
- SHEET 2 to 3 of 3 - boundary information & lot block geometry

Building setback information according to engineers plans prepared by Madden, Moorhead & Stokes, Inc.

- Front Primary.....25.00'
- Entry Garage.....30.00'
- Side.....7.50'
- Rear Primary.....20.00'
- Corner Side.....15.00'
- Natural Surface waterbody or wetland edge.....50.00'

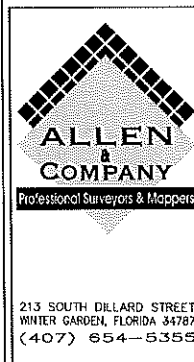
**SURVEYOR'S NOTES:**

- Bearings shown herein are assumed and based on the South line of the Northwest Quarter of Section 29, Township 20 South, Range 28 East being an assumed bearing of South 89°54'35" West for angular designation only.
- All lot lines intersecting curves are radial, unless otherwise noted non-radial ( N.R. ).
- All platted utility easements shall also be easements for the construction, installation, maintenance, and operation of cable television and data services; provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This section shall not apply to those private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Such construction, installation, maintenance, and operation shall comply with the National Electrical Safety Code as adopted by the Florida Public Service Commission.
- Tracts OS-3 and OS-4 (Open Space), and Tract P-2 (Stormwater Pond) shall be owned and maintained by the VISTA RESERVE Homeowners Association, Inc. (the Association).
- This plat contains 101 Lots.
- The street tree easements, wall access easements, and drainage easements shown herein shall be dedicated to and maintained by the Association.



**LEGEND:**

- |          |  |        |   |
|----------|--|--------|---|
| LB       | denotes licensed business  | S.T.E. | denotes street tree easement                                  |
| U.E.     | denotes utility easement   | N.T.   | denotes non tangent   |
| R/W      | denotes right-of-way   | ●      | denotes set nail & disk LB 6723 permanent control point (PCP) |
| •        | denotes change in direction along right-of-way lines                             | ⊥      | denotes centerline  |
| C.C.R. # | denotes Certified Corner Record Number   | O.R.   | denotes Official Records of Orange County, Florida            |
| ■        | denotes set 4" x 4" concrete monument LB 6723 permanent reference monument (PRM) | PG(S)  | denotes page(s)   |
| ■        | denotes recovered 4" x 4" concrete monument permanent reference monument (PRM)   | P.C.   | denotes point of curvature                                    |
| ○        | denotes recovered monumentation as labeled                                       | P.T.   | denotes point of tangency                                     |
| D.E.     | denotes drainage easement  | P.I.   | denotes point of intersection                                 |
| W.A.E.   | denotes well access easement   | P.B.   | denotes Plat Book   |
| P.S.M.   | denotes Professional Surveyor and Mapper   | R.P.   | denotes radius point  |
|          |  | R      | denotes radius  |
|          |  | Δ      | denotes central angle   |
|          |  | L      | denotes arc length  |
|          |  | CL     | denotes chord length  |
|          |  | CB     | denotes chord bearing   |



NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

**CERTIFICATE OF REVIEW BY REVIEWING SURVEYOR**

Pursuant to Section 177.081, Florida Statutes, I have reviewed this plat for conformity to Chapter 177 Part 1 of the Florida Statutes and that said plat complies with the technical requirements of that chapter; provided however, that my review does not include field verification of any of the coordinates, points or measurements shown on this plat.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name: Timothy O. Mosby, PSM  
Registration Number 4732  
Southeastern Surveying and Mapping Corp

**QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER**

KNOW ALL MEN BY THESE PRESENTS, that I the undersigned, being a licensed surveyor and mapper, do hereby certify that on April 13, 2016 I completed the survey of the lands as shown in the foregoing plat or plan; that said plat is a true and correct representation of the lands surveyed and platted and was prepared under my direction and supervision; that permanent reference monuments have been placed as shown thereon; and this plat complies with all the survey requirements of Chapter 177, Florida Statutes; and that said land is located in the City of Apopka, Orange County, Florida.

By: \_\_\_\_\_ Date: \_\_\_\_\_

James & Company  
15 East Florida  
146 S.M. # 5633 Allen  
Business # 6723  
Winter Garden,

**VISTA RESERVE PHASE 2 DEDICATION**

THIS is to certify that the undersigned, Pulte Home Company, a Michigan limited liability company, hereafter referred to as "Owner" is the lawful owner of the lands described in the caption hereon, and that it has caused the same to be surveyed, and this plat, made in accordance with said survey, is hereby adopted as the true and correct plat of said lands.

The Owner hereby dedicates Streets and Utility easements to the perpetual use of the public.

IN WITNESS WHEREOF, the undersigned, PULTE HOME COMPANY, a Michigan limited liability company, has caused these presents to be executed and acknowledged by its undersigned Officer thereunto duly authorized on this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

WITNESSES: PULTE HOME COMPANY, a Michigan limited liability company

By: \_\_\_\_\_

Printed Name of Witness \_\_\_\_\_ Printed name \_\_\_\_\_

Title \_\_\_\_\_

Printed Name of Witness \_\_\_\_\_ (CORPORATE SEAL)

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_



I HEREBY CERTIFY, that on this day, before me personally appeared \_\_\_\_\_ as \_\_\_\_\_ of PULTE HOME COMPANY, a Michigan limited liability company who is ( ) personally known to me or ( ) produced \_\_\_\_\_ as identification, and did/did not take an oath, the individual and officer described in and who executed the foregoing conveyance and acknowledged the execution thereof to be his free act and deed as such officer thereunto duly authorized.

WITNESS my hand and official seal this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Signature of Notary Public \_\_\_\_\_

Printed Name of Notary Public \_\_\_\_\_

Notary Public state of Florida \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

Commission Number: \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY APOPKA PLANNING COMMISSION**

Examined and Approved \_\_\_\_\_  
Chairman Date \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY CITY ENGINEER**

Examined and Approved \_\_\_\_\_  
Richard Earp Date \_\_\_\_\_

**CERTIFICATE OF APPROVAL BY MUNICIPALITY**

THIS IS TO CERTIFY, that on \_\_\_\_\_ the foregoing plat was approved by the Municipality.

Mayor \_\_\_\_\_  
Attest: \_\_\_\_\_  
City Clerk \_\_\_\_\_

**CERTIFICATE OF COUNTY COMPTROLLER**

I HEREBY CERTIFY, that the foregoing plat was recorded in the Orange County Official Records on \_\_\_\_\_ as File No. \_\_\_\_\_

County Comptroller in and for Orange County, Florida.

By: \_\_\_\_\_

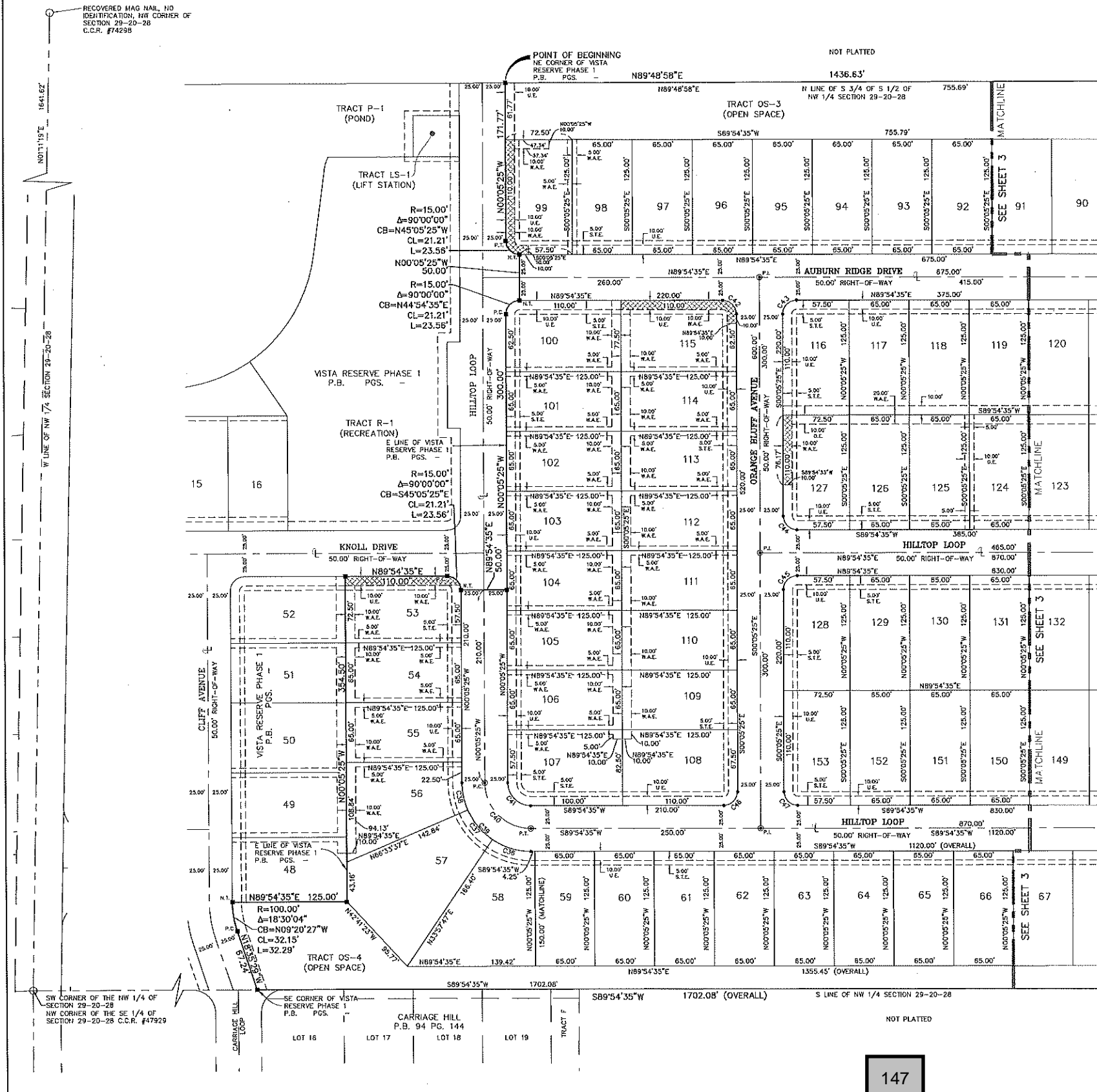
# VISTA RESERVE PHASE 2

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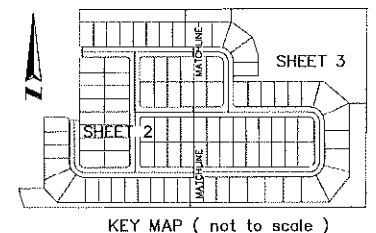
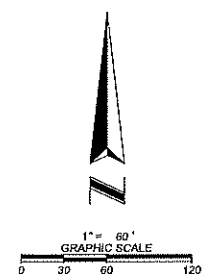
SHEET 2 OF 3

PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SHEET INDEX  
 SHEET 1 of 3 - legal description, Surveyor's notes, legend & dedication  
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CURVE	RADIUS	CENTRAL ANGLE	ARC DISTANCE	CHORD LENGTH	CHORD BEARING
C36	75.00'	34°03'12"	44.58'	43.92'	S73°03'49"E
C37	75.00'	32°35'50"	42.67'	42.10'	S39°44'18"E
C38	75.00'	23°20'58"	30.56'	30.35'	S11°45'54"E
C39	75.00'	90°00'00"	117.81'	106.07'	S45°05'25"E
C40	50.00'	90°00'00"	70.54'	70.71'	S45°05'25"E
C41	25.00'	90°00'00"	35.27'	35.36'	S45°05'25"E
C42	15.00'	90°00'00"	23.56'	23.56'	S45°05'25"E
C43	15.00'	90°00'00"	23.56'	23.56'	S45°05'25"E
C44	15.00'	90°00'00"	23.56'	23.56'	S45°05'25"E
C45	15.00'	90°00'00"	23.56'	23.56'	S45°05'25"E
C46	15.00'	90°00'00"	23.56'	23.56'	S45°05'25"E
C47	15.00'	90°00'00"	23.56'	23.56'	S45°05'25"E



KEY MAP (not to scale)

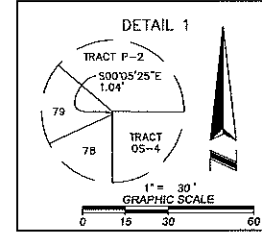
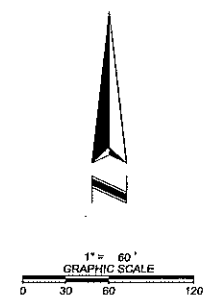
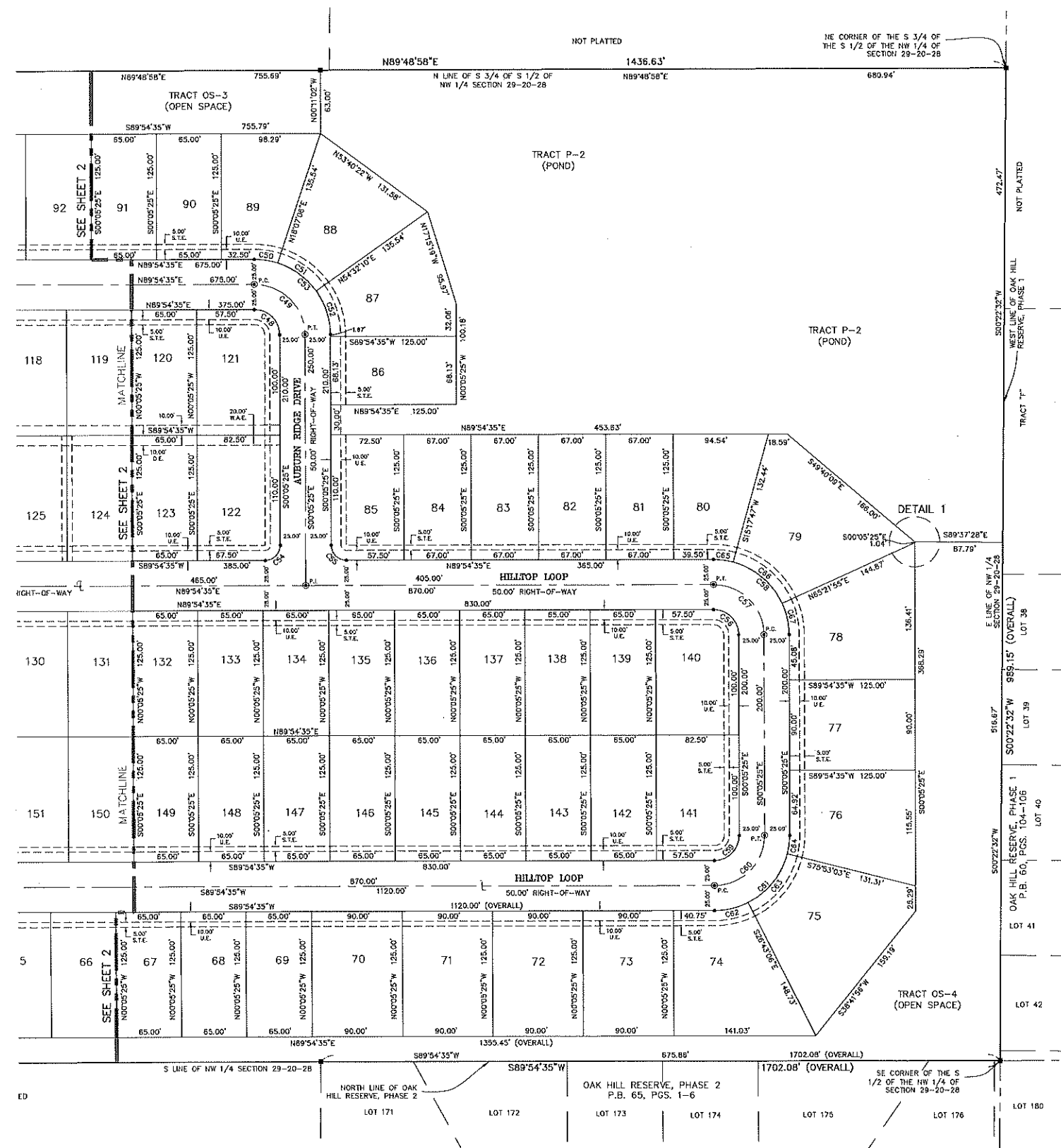


16 EAST PLANT STREET  
 WINTER GARDEN, FLORIDA 34787  
 (407) 654-5355

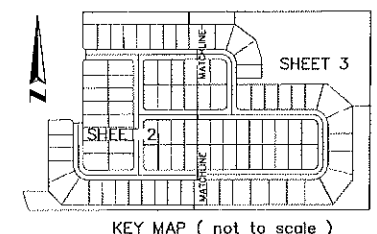
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CURVE	RADIUS	CENTRAL ANGLE	ARC DISTANCE	CHORD LENGTH	CHORD BEARING
C48	25.00'	90°00'00"	39.27'	35.35'	N45°05'25"W
C49	50.00'	90°00'00"	78.54'	70.71'	N44°54'35"W
C50	75.00'	18°12'32"	23.84'	23.74'	N89°59'10"W
C51	75.00'	36°25'03"	47.87'	46.87'	N53°40'22"W
C52	75.00'	35°22'25"	46.30'	45.57'	N17°48'38"W
C53	75.00'	90°00'00"	117.81'	106.07'	N45°05'25"W
C54	15.00'	90°00'00"	23.56'	21.21'	N44°54'35"E
C55	15.00'	90°00'00"	23.56'	21.21'	S45°05'25"E
C56	25.00'	90°00'00"	39.27'	35.35'	N45°05'25"W
C57	50.00'	90°00'00"	78.54'	70.71'	N45°05'25"W
C58	75.00'	90°00'00"	117.81'	106.07'	N45°05'25"W
C59	25.00'	90°00'00"	39.27'	35.35'	N44°54'35"E
C60	50.00'	90°00'00"	78.54'	70.71'	N44°54'35"E
C61	75.00'	90°00'00"	117.81'	106.07'	N44°54'35"E
C62	75.00'	29°37'40"	34.86'	34.84'	N76°39'44"E
C63	75.00'	49°09'57"	54.36'	62.40'	N38°41'56"E
C64	75.00'	14°12'23"	18.60'	18.55'	N07°00'46"E
C65	75.00'	15°23'12"	20.14'	20.08'	N82°23'49"W
C66	75.00'	50°04'09"	65.34'	63.47'	N49°40'09"W
C67	75.00'	24°32'39"	32.13'	31.88'	N12°21'45"W







# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: February 6, 2019  
 FROM: Fire Department  
 EXHIBITS: Stryker Agreements

**SUBJECT: FINANCIAL AGREEMENTS WITH STRYKER SALES CORPORATION**

**REQUEST: RATIFY THE TWO AGREEMENTS AND FY18/19 EXPENDITURES**

**SUMMARY:**

During the FY17/18 budget process, department staff discussed with city council the purchase of a Stryker, ambulance stretcher, (Power-PRO XT), a stretcher fastener track system (PowerLOAD), a medical stair chair, (Stair-PRO) and the extended service agreements associated with those items. The previous City Administration entered into a three year financial agreement with Stryker Flex Financial on 9/28/2017 and the total amount financed was \$53,349.46. On February 1, 2018, the first annual payment was made from budget line 2130-6400, Equipment and Machinery, in the amount of \$17,783.15.

Also purchased through another agreement with Stryker Flex Financial was Physio Medical Equipment, including cardiac defibrillator monitors, (Physio LIFEPAK 15), mechanical chest compression devices, (LUCAS 3.0), an advanced AED, (LIFEPAK 1000), and the replacement of all City AED's that were obsolete and past the manufactured life span. The total amount financed was \$216,588.82 on 10/27/2017 for a five year financial agreement. On February 1, 2018, the first annual payment was made from budget line 2130-6400, Equipment and Machinery, in the amount of \$50,001.88.

The former City Administration authorized and entered into the two agreements with Stryker Flex Financial. The entire cost of the items were all budgeted from the EMS budget, 2130-6400, Equipment and Machinery, in FY17/18, however, the agreements were never brought to council for formal approval and the debt service was not recognized in the FY 18/19 budget. Staff is requesting council officially ratify the two agreements and approve the debt service and associated budget amendment for FY18/19.

**FUNDING SOURCE:**

General Fund Reserves – Budget Amendment to follow in Resolution

**RECOMMENDATION ACTION:**

Ratify the two agreements and FY18/19 expenditures.

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

Stryker Flex Financial, a division of Stryker Sales Corporation  
1901 Romence Road Parkway  
Portage, MI 49002  
t: 1-888-308-3146 f: 877-204-1332  
www.stryker.com



Date: August 29, 2017

RE: Reference No: 0110032632

APOPKA, CITY OF  
175 E 5TH ST  
APOPKA, Florida 32703

Thank you for choosing Stryker Flex Financial for your equipment financing needs. Enclosed please find the financing documents necessary to enter into the financing arrangement. Once all of the documents are completed, properly executed and returned to us, we will issue an order for release of the financed equipment.

PLEASE COMPLETE ALL ENCLOSED DOCUMENTS TO EXPEDITE THE SHIPMENT OF YOUR ORDER.

Short Form Conditional Sale Agreement  
Exhibit A - Detail of Equipment  
Insurance Authorization and Verification  
State and Local Government Rider

\*\*Conditions of Approval: Insurance Authorization and Verification, State and Local Government Rider.

- PLEASE PROVIDE THE FOLLOWING WITH THE COMPLETED DOCUMENTS:

Federal Tax ID Number: 59-6000265 AP Address: 175 E. 5th Street, Apopka, FL 32703  
Purchase Order Number: \_\_\_\_\_ Contact Name: Wil Sanchez  
Phone Number: 407-703-1756 Email Address: W.Rivera-Sanchez@Apopka.net

Please fax completed documents to (877) 204-1332. Return Original documents to 1901 Romence Road Parkway Portage, MI 49002 (using Fed-Ex Shipping ID# 612-309469)

Your personal documentation specialist is Curtis Orr and can be reached at 269-389-1437 or by email [curtis.orr@stryker.com](mailto:curtis.orr@stryker.com) for any questions regarding these documents.

The financing proposal evidenced by these documents is valid through the last business day of August, 2017.

Sincerely,

Stryker Flex Financial

Notice: To help the government fight the funding of terrorism and money laundering activities, U.S. Federal law requires financial institutions to obtain, verify and record information that identifies each person (individuals or businesses) who opens an account. What this means for you: When you open an account or add any additional service, we will ask you for your name, address, federal employer identification number and other information that will allow us to identify you. We may also ask to see other identifying documents. For your records, the federal employer identification number for Stryker Flex Financial, a Division of Stryker Sales Corporation is 38-2902424.



Owner ("we" or "us") :  
 Stryker Flex Financial, a division of Stryker Sales Corporation  
 1901 Romence Road Parkway  
 Portage, MI 49002

Short Form Conditional Sale Agreement No. 0110032632

Customer Name and Address ("You" and "Your"): APOPKA, CITY OF 175 E 5TH ST APOPKA, Florida 32703	Equipment Location: 175 E 5TH ST, APOPKA, Florida 32703 Supplier: Stryker Sales Corporation, 3800 E. Centre Avenue, Portage, MI 49002 Equipment Description: See Exhibit A (and/or as described in invoice(s) or equipment list attached hereto and made a part hereof)
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**PAYMENT INFORMATION**

Number of Payments	Payment Frequency	Payment Amount
3	Annual	\$17,783.15 (First payment due 30 days after Agreement is commenced), (Plus applicable Sales/Use Taxes - See "Taxes" section below)

**Terms and Conditions:**

**1. Purchase Agreement/ Acceptance/ Payments:** You agree to purchase from us the Equipment and services, if any, described above and on any attached schedule (the "Equipment") in accordance with the terms of this Agreement (this "Agreement"). You shall be deemed to have accepted the Equipment for purchase under this Agreement on the date that is ten (10) days after the date it is shipped to you by the Supplier ("Acceptance Date") and, at our request, you shall confirm for us such acceptance in writing. No acceptance of any item of Equipment may be revoked by you. You agree to pay the Payments described above ("Payments") beginning on the Acceptance Date or any later date we designate and thereafter until all fully paid. Unless otherwise instructed by us in writing, all Payments and other amounts due hereunder shall be made to our address above. This Agreement is non-cancelable and may not be prepaid. Your obligations under this Agreement (your "Obligations") are absolute, unconditional, and are not subject to cancellation, defense, recoupment, reduction, setoff or counterclaim. If a Payment is not made when due, you will pay us a late charge of 5% of each Payment or \$10.00, whichever is greater, but only to the extent permitted by law. We may charge you a fee of \$55.00 for any check that is returned. You authorize us to adjust the Payments at any time if taxes included in the Payments differ from our estimate. You agree that the Payments were calculated by us based, in part, on a rate reported in the "Interest rate swaps" section of Federal Reserve Statistical Release H-15 and in the event the date the Equipment is delivered to you is more than 30 days after we send this Agreement to you, we may adjust the Payments once to compensate us, in good faith, for any increase in such rate.

**2. Ownership/Security Interest/Laws/Use/Maintenance:** Upon acceptance of the Equipment by you, you shall hold title to and be the owner of the Equipment for all purposes including, without limitation, tax purposes. The purchase of the Equipment by you under this Agreement shall be "AS IS, WHERE IS", without representation or warranty of any kind from us, provided that this Agreement shall not impair any express warranties or indemnifications, written service agreements or other obligations of Stryker Corporation or any of its subsidiaries to you regarding the Equipment and we hereby assign all of our rights in any Equipment warranties to you. As security for all of your Obligations, you hereby grant to us a first priority security interest in all of your rights, title and interests in the Equipment, all replacements, additions, accessions, accessories and substitutions thereto or therefore and all proceeds and products thereof, including, without limitation, all proceeds of insurance. Upon timely payment of all amounts due hereunder (plus all applicable Taxes), our security interest in the Equipment shall terminate and you shall be the owner of the Equipment, free and clear of any interest created by us. You agree not to permit any lien, security interest (except ours), claim or encumbrance to be placed upon the Equipment. You shall comply with all applicable laws, rules and regulations and manufacturer's specifications and instructions concerning the operation, ownership, use and/or possession of the Equipment. You must, at your cost, keep the Equipment in good working condition. If Payments include maintenance and/or service costs, you agree that (i) no Assignee (as defined below) is responsible to provide the maintenance or service, (ii) you will make all maintenance and service related claims to the persons providing the maintenance, service or warranty, and (iii) any maintenance, warranty or service claims will not impact your Obligations. The Equipment cannot be moved from the location above without our prior written consent.

**3. Taxes:** You shall pay when and as due all sales, use, property, excise and other taxes, and all license and registration fees now or hereafter imposed by any governmental body or agency upon this Agreement or the ownership, use, or sale of the Equipment, together with all interest and penalties for their late payment or non-payment ("Taxes"). You shall indemnify and hold us harmless from any such Taxes. You shall prepare and file all tax returns relating to Taxes for which you are responsible hereunder. If we receive any tax bill pertaining to the Equipment from the appropriate taxing authority, we may, without obligation, pay such tax and if we pay such tax bill we will invoice you for the expense. Upon receipt of such invoice, you will promptly reimburse us for such expense.

**4. Assignment:** You agree not to transfer, sell, lease, assign, pledge or encumber the Equipment or any rights under this Agreement without our prior written consent, which consent shall not be unreasonably withheld, and if you do, even with our consent, you will still be fully responsible for all your Obligations. You shall provide us with at least 45 days' prior written notice of any change to your principal place of business, organization or incorporation. You agree that we may, without notice to you, sell, assign, or transfer ("Transfer") this Agreement to a third party (each, an "Assignee"), and each Assignee will have our Transferred rights, but none of our obligations, and such rights will not be subject to any claims, recoupment, defenses, or setoffs that you may have against us or any supplier even though an Assignee may continue to bill and collect all of your Obligations in the name of "Stryker Finance".

**5. Risk of Loss, Insurance and Reimbursement:** Effective upon delivery to you, you shall bear all risk of Equipment loss or damage. If any such loss or damage occurs you shall must satisfy all of your Obligations. You will (i) keep the Equipment insured against all risks of loss or damage for an amount equal to its replacement cost, (ii) list us as the insurance sole loss payee and (iii) give us written proof of the insurance. If you do not provide such insurance, we have the right, without obligation, to obtain such insurance and add an insurance fee (which may include a profit) to the amount due from you. You will obtain and maintain comprehensive public liability insurance naming us as an additional insured with coverages and amounts acceptable to us. To the extent not expressly prohibited by applicable law, you will reimburse and defend us, including each Assignee for and against any losses, injuries, damages, liabilities, expenses, claims or legal proceedings asserted against or incurred by us, including any Assignee, relating to the Equipment and which relate to or arise out of your act or omission or the act or omission of your agents or employees or others (excluding us) with access to the Equipment. The terms of this paragraph will continue after the termination of this Agreement.

**6. Default Remedies:** You are in default under this Agreement if: a) you fail to pay a Payment or any other amount when due; or b) you breach any other obligation under this Agreement; or c) your principal owner or any guarantor of this Agreement dies; or d) you or any guarantor dissolves, ceases to do business as a going concern, becomes insolvent, bankrupt, merges, or is sold; or e) you or any guarantor fails to pay any other material obligation owed to us or any of our affiliates. Upon default, we may: a) declare the entire balance of unpaid Payments immediately due and payable; b) sue you for and receive the total amount due with future Payments discounted to the date of default at a rate of 3% per annum; c) charge you interest on all monies due at the rate of 18% per year or the highest rate permitted by applicable law from the date of default until paid; and/or d) require you to immediately return the Equipment to us or we may peaceably repossess it. Upon default, you will also pay all expenses including but not limited to reasonable attorneys' fees, legal costs, cost of storage and shipping incurred by us in the enforcement and attempted enforcement of any remedies under this Agreement. If the Equipment is returned or repossessed we will, if commercially reasonable, sell or otherwise dispose of the Equipment at terms we determine, at one or more public or private sales, with notice as required by law, and apply the net proceeds (after deducting any related expenses) to your Obligations. You remain liable for any deficiency with any excess being retained by us or applied as required by applicable law.

**7. Miscellaneous:** This Agreement shall be governed and construed in accordance with the laws of Michigan. You agree that the Equipment will only be used for business purposes and not for personal, family or household use. This Agreement may be executed in counterparts and any facsimile, photographic or other electronic transmission and/or electronic signing of this Agreement by you and when manually countersigned by us or attached to our original signature counterpart and/or in our possession shall constitute



sole original chattel paper as defined in the UCC for all purposes and will be admissible as legal evidence thereof. No security interest in this Agreement can be perfected by possession of any counterpart other than the counterpart bearing our original signature. You agree not to raise as a defense to the enforcement of this Agreement or any related documents hereto the fact that such documents were executed by electronic means. We may inspect the Equipment at any time prior to payment in full of your Obligations. No failure to act shall be deemed a waiver of any rights hereunder. If you fail to pay (within thirty days of invoice date) any freight, sales tax or other amounts related to the Equipment which are not financed hereunder and are billed directly by us to you, such amounts shall be added to the Payments set forth above (plus interest or additional charges thereon) and you authorize us to adjust such Payments accordingly. If you are required to report the components of your payment obligations hereunder to certain state and/or federal agencies or public health coverage programs such as Medicare, Medicaid, SCHIP or others, and such amounts are not adequately disclosed in any attachment hereto, then Stryker Sales Corporation will, upon your written request, provide you with a detailed outline of the components of your payments which may include equipment, software, service and other related components. You acknowledge that you have not received any tax or accounting advice from us. You agree that you shall upon request from us, promptly provide to us a copy of your most recent annual financial statements and any of your other financial information (including interim financial statements) that we may request. You authorize us to share such information with our affiliates, subsidiaries and Assignees. This Agreement, any schedules hereto, any attachments to this Agreement or any schedules and any express warranties made by Stryker Sales Corporation constitute the entire agreement between the parties hereto regarding the Equipment and its use and possession and supersede all prior agreements and discussions regarding the Equipment and any prior course of conduct. You waive all rights to any indirect, punitive, special or consequential damages in connection with the Equipment or this Agreement. There are no agreements, oral or written, between the parties which are contrary to the terms of this Agreement and such other documents. **YOU AGREE THAT THIS IS A NON-CANCELLABLE AGREEMENT AND WAIVE TRIAL BY JURY.**

**I CERTIFY THAT I AM AUTHORIZED TO SIGN THIS AGREEMENT FOR CUSTOMER**

Customer Signature	
Signature: <i>Clean A. Irby</i>	Date: <i>9/28/17</i>
Print Name: <i>Clean A. Irby</i>	
Title: <i>City Administrator</i>	

Accepted By Stryker Flex Financial, a division of Stryker Sales Corporation	
Signature:	Date:
Print Name:	
Title:	

**Exhibit A to Short Form Conditional Sale Agreement Number 0110032632  
Description of Equipment**

Customer Name: APOPKA, CITY OF  
Delivery Address: 175 E 5TH ST, APOPKA, Florida 32703

**Part I - Equipment/Service Coverage (if applicable)**

Model Number	Equipment Description	Quantity
6506000000	Power-PRO XT	1
6390000000	PowerLOAD	1
6252000000	Stair-PRO Model 6252	1

**Total Equipment:** \$43,807.94

**Service Coverage:**

Model Number	Service Coverage Description	Quantity	Years
77110001	Protect+ Power Cot - 7Year	1	7.0
77505001	Protect Power-LOAD- 6year	1	6.0

**Total Service Coverage:** \$9,541.52 (Service Coverage and related payment amounts shall not be subject to automatic renewal or extension, if any, at the expiration of the Term of the Agreement)

**Total Financed Amount:** \$53,349.46

Customer Signature	
Signature: <i>Glen A. Tobey</i>	Date: <i>7/20/17</i>
Print Name: <i>Glen A. Tobey</i>	
Title: <i>City Administrator</i>	

Accepted By Stryker Flex Financial, a division of Stryker Sales Corporation	
Signature:	Date:
Print Name:	
Title:	



Date: August 29, 2017

Short Form Conditional Sale Agreement Number 0110032632

To: APOPKA, CITY OF ("Customer")  
175 E 5TH ST  
APOPKA, Florida 32703

From: Stryker Flex Financial, a division of Stryker Sales Corporation ("Creditor")  
1901 Romence Road Parkway  
Portage, MI 49002

**TO THE CUSTOMER:** In connection with one or more financing arrangements, Creditor may require proof in the form of this document, executed by both Customer\* and Customer's agent, that Customer's insurable interest in the financed property (the "Property") meets the requirements as follows, with coverage including, but not limited to, fire, extended coverage, vandalism, and theft:

Creditor, and its successors and assigns shall be covered as both **ADDITIONAL INSURED** and **LENDER'S LOSS PAYEE** with regard to all equipment financed or acquired for use by policy holder through or from Creditor;

Customer must carry **GENERAL LIABILITY** (and/or, for vehicles, Automobile Liability) in the amount of no less than \$1,000,000.00 (one million dollars).

Customer must carry **PROPERTY** Insurance (or, for vehicles, Physical Damage Insurance) in an amount no less than the 'Insurable Value' \$43,807.94 with deductibles no more than \$10,000.00.

\*PLEASE PROVIDE THE INSURANCE AGENTS INFORMATION REQUESTED BELOW & SIGN WHERE INDICATED

By signing, Customer authorizes the Agent named below: 1) to complete and return this form as indicated; and 2) to endorse the policy and subsequent renewals to reflect the required coverage as outlined above.

Insurance Agency: World Risk Management LLC  
Agent Name: Diane Crispin  
Address: 20 N Orange Ave Ste 500  
Phone/Fax: 407-445-2414 / 407-445-2868  
Email Address: diane-crispin@wrmlc.com

APOPKA, CITY OF	
Signature: <u>Glen A. Orr</u>	Date: <u>9/28/17</u>
Print Name: <u>Glen A. Orr</u>	
Title: <u>City Administrator</u>	

\*Customer: Creditor will fax the executed form to your insurance agency for endorsement. In Lieu of agent endorsement, Customer's agency may submit insurance certificates demonstrating compliance with all requirements. If fully executed form (or Customer-executed form plus certificates) is not provided within 15 days, we have the right but not the obligation to obtain such insurance at your expense. Should you have any questions please contact Curtis Orr at 269-389-1437.

**TO THE AGENT:** In lieu of providing a certificate, please execute this form in the space below and promptly fax it to Creditor at 877-204-1332. This fully endorsed form shall serve as proof that Customer's insurance meets the above requirements.

Agent hereby verifies that the above requirements have been met in regard to the Property listed below.

Agent Signature	
Signature:	Date:
Print Name:	
Title:	
Carrier Name:	
Carrier Policy Number :	
Policy Expiration Date:	

Insurable Value: \$43,807.94

ATTACHED: PROPERTY DESCRIPTION FOR Short Form Conditional Sale Agreement Number 0110032632

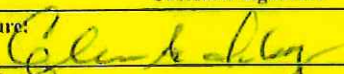
See Exhibit A to Short Form Conditional Sale Agreement Number 0110032632

TOGETHER WITH ALL REPLACEMENTS, PARTS, REPAIRS, ADDITIONS, ACCESSIONS AND ACCESSORIES INCORPORATED THEREIN OR AFFIXED OR ATTACHED THERETO AND ANY AND ALL PROCEEDS OF THE FOREGOING, INCLUDING, WITHOUT LIMITATION, INSURANCE RECOVERIES.

## STATE AND LOCAL GOVERNMENT CUSTOMER RIDER

This State and Local Government Customer Rider (the "Rider") is an addition to and hereby made a part of Short Form Conditional Sale Agreement Number 0110032632 (the "Agreement") between STRYKER FLEX FINANCIAL, a division of Stryker Sales Corporation ("Owner") and APOPKA, CITY OF ("Customer") to be executed simultaneously herewith and to which this Rider is attached. Capitalized terms used but not defined in this Rider shall have the respective meanings provided in the Agreement. Owner and Customer agree as follows:

1. Customer represents and warrants to Owner that as of the date of, and throughout the Term of, the Agreement: (a) Customer is a political subdivision of the state or commonwealth in which it is located and is organized and existing under the constitution and laws of such state or commonwealth; (b) Customer has complied, and will comply, fully with all applicable laws, rules, ordinances, and regulations governing open meetings, public bidding and appropriations required in connection with the Agreement, the performance of its obligations under the Agreement and the acquisition and use of the Equipment; (c) The person(s) signing the Agreement and any other documents required to be delivered in connection with the Agreement (collectively, the "Documents") have the authority to do so, are acting with the full authorization of Customer's governing body, and hold the offices indicated below their signatures, each of which are genuine; (d) The Documents are and will remain valid, legal and binding agreements, and are and will remain enforceable against Customer in accordance with their terms; and (e) The Equipment is essential to the immediate performance of a governmental or proprietary function by Customer within the scope of its authority and will be used during the Term of the Agreement only by Customer and only to perform such function. Customer further represents and warrants to Owner that, as of the date each item of Equipment becomes subject to the Agreement and any applicable schedule, it has funds available to pay all Agreement payments payable thereunder until the end of Customer's then current fiscal year, and, in this regard and upon Owner's request, Customer shall deliver in a form acceptable to Owner a resolution enacted by Customer's governing body, authorizing the appropriation of funds for the payment of Customer's obligations under the Agreement during Customer's then current fiscal year.
2. To the extent permitted by applicable law, Customer agrees to take all necessary and timely action during the Agreement Term to obtain and maintain funds appropriations sufficient to satisfy its payment obligations under the Agreement (the "Obligations"), including, without limitation, providing for the Obligations in each budget submitted to obtain applicable appropriations, causing approval of such budget, and exhausting all available reviews and appeals if an appropriation sufficient to satisfy the Obligations is not made.
3. Notwithstanding anything to the contrary provided in the Agreement, if Customer does not appropriate funds sufficient to make all payments due during any fiscal year under the Agreement and Customer does not otherwise have funds available to lawfully pay the Agreement payments (a "Non-Appropriation Event"), and provided Customer is not in default of any of Customer's obligations under such Agreement as of the effective date of such termination, Customer may terminate such Agreement effective as of the end of Customer's last funded fiscal year ("Termination Date") without liability for future monthly charges or the early termination charge under such Agreement, if any, by giving at least 60 days' prior written notice of termination ("Termination Notice") to Owner.
4. If Customer terminates the Agreement prior to the expiration of the end of the Agreement's initial (primary) term, or any extension or renewal thereof, as permitted under Section 3 above, Customer shall (i) on or before the Termination Date, at its expense, pack and insure the related Equipment and send it freight prepaid to a location designated by Owner in the contiguous 48 states of the United States and all Equipment upon its return to Owner shall be in the same condition and appearance as when delivered to Customer, excepting only reasonable wear and tear from proper use and all such Equipment shall be eligible for manufacturer's maintenance, (ii) provide in the Termination Notice a certification of a responsible official that a Non-Appropriation Event has occurred, (iii) deliver to Owner, upon request by Owner, an opinion of Customer's counsel (addressed to Owner) verifying that the Non-Appropriation Event as set forth in the Termination Notice has occurred, and (iv) pay Owner all sums payable to Owner under the Agreement up to and including the Termination Date.
5. Any provisions in this Rider that are in conflict with any applicable statute, law or rule shall be deemed omitted, modified or altered to the extent required to conform thereto, but the remaining provisions hereof shall remain enforceable as written.

Customer Signature	
Signature: 	Date: 9/28/17
Print Name: Glen A. Tolby	
Title: City Administrator	

Accepted By Stryker Flex Financial, a division of Stryker Sales Corporation	
Signature:	Date:
Print Name:	
Title:	





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
12/28/2016

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> World Risk Management LLC Ballator Insurance Group 20 N Orange Ave Ste 500 Orlando FL 32801	<b>CONTACT NAME:</b> Diane Crispin <b>PHONE (A/C, No, Ext):</b> (407) 445-2414 <b>E-MAIL ADDRESS:</b> diane_crispin@wrmlc.com	<b>FAX (A/C, No):</b> (407) 445-2868
	<b>INSURER(S) AFFORDING COVERAGE</b>	
<b>INSURED</b> City of Apopka 120 E. Main Street Apopka, FL 32703	<b>INSURER A:</b> Public Risk Management/Wesco	<b>NAIC #</b> 25011
	<b>INSURER B:</b>	
	<b>INSURER C:</b>	
	<b>INSURER D:</b>	
	<b>INSURER E:</b>	
	<b>INSURER F:</b>	

**COVERAGES**      **CERTIFICATE NUMBER:** CL1691900708      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		PRM 016-003	10/01/2016	10/01/2017	EACH OCCURRENCE \$ 2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 2,000,000 MED EXP (Any one person) \$ Excluded PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
A	<b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO ALL OWNED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS <input checked="" type="checkbox"/> APD		PRM 016-003	10/01/2016	10/01/2017	COMBINED SINGLE LIMIT (Ea accident) \$ 2,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<b>UMBRELLA LIAB</b> <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$		PRM 016-003			EACH OCCURRENCE \$ 3,000,000 AGGREGATE \$
A	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/> N/A	PRM 016-003	10/01/2016	10/01/2017	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

**DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)**  
 With respects to the listed coverages held by the named insured, as evidence of insurance for vehicles listed below owned by the City of Apopka  
 2014 FORD F450 White 1FDUF4GT8EEB52931 145000  
 1997 Ford F350 1FDKF37F1VEC61274 80008  
 2012 Ford F450 1FDUF4GT2CEB43302 103367  
 2012 Ford F450 1FDUF4GT0CEB43301 103367  
 2008 Ford F350 1FDXF46R48EA54759 30321

<b>CERTIFICATE HOLDER</b>  Dept. of Health Bureau of Emergency Medic Oversight 4052 Bald Cypress Way, Bin A22 Tallahassee, FL 32399-1738	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	<b>AUTHORIZED REPRESENTATIVE</b>  Andrew Cooper/DCRISP <i>A. Cooper</i>

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Stryker Flex Financial, a division of Stryker Sales Corporation  
1901 Romence Road Parkway  
Portage, MI 49002  
t: 1-888-308-3146 f: 877-204-1332  
www.stryker.com



Date: October 12, 2017

RE: Reference No: 0110025523

APOPKA, CITY OF  
175 E 5TH ST  
APOPKA, Florida 32703

Thank you for choosing Stryker Flex Financial for your equipment financing needs. Enclosed please find the financing documents necessary to enter into the financing arrangement. Once all of the documents are completed, properly executed and returned to us, we will issue an order for release of the financed equipment.

PLEASE COMPLETE ALL ENCLOSED DOCUMENTS TO EXPEDITE THE SHIPMENT OF YOUR ORDER.

Short Form Conditional Sale Agreement  
Exhibit A - Detail of Equipment  
Insurance Authorization and Verification  
State and Local Government Rider

\*\*Conditions of Approval: Insurance Authorization and Verification, State and Local Government Rider is required.

- PLEASE PROVIDE THE FOLLOWING WITH THE COMPLETED DOCUMENTS:

Federal Tax ID Number: 59-6000265 AP Address: 175 E. 5th Street, Apopka, FL 32703  
Purchase Order Number: \_\_\_\_\_ Contact Name: Wil Sanchez  
Phone Number: 407-703-1756 Email Address: WRivera - Sanchez @ Apopka.net

Please fax completed documents to (877) 204-1332. Return Original documents to 1901 Romence Road Parkway Portage, MI 49002 (using Fed-Ex Shipping ID# 612-309469)

Your personal documentation specialist is Michelle Warren and can be reached at 269-389-1909 or by email [michelle.warren@stryker.com](mailto:michelle.warren@stryker.com) for any questions regarding these documents.

The financing proposal evidenced by these documents is valid through the last business day of October, 2017.

Sincerely,

Stryker Flex Financial

Notice: To help the government fight the funding of terrorism and money laundering activities, U.S. Federal law requires financial institutions to obtain, verify and record information that identifies each person (individuals or businesses) who opens an account. What this means for you: When you open an account or add any additional service, we will ask you for your name, address, federal employer identification number and other information that will allow us to identify you. We may also ask to see other identifying documents. For your records, the federal employer identification number for Stryker Flex Financial, a Division of Stryker Sales Corporation is 38-2902424.



Owner ("we" or "us"):  
 Stryker Flex Financial, a division of Stryker Sales Corporation  
 1901 Romence Road Parkway  
 Portage, MI 49002

Customer Name and Address ("You" and "Your"): APOPKA, CITY OF 175 E 5TH ST APOPKA, Florida 32703	Equipment Location: 175 E 5TH ST, APOPKA, Florida 32703 Supplier: Physio-Control, Inc., 11811 Willows Rd NE, PO Box 97006, Redmond, WA 98073-9706 Equipment Description: See Exhibit A (and/or as described in invoice(s) or equipment list attached hereto and made a part hereof)
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**PAYMENT INFORMATION**

Number of Payments	Payment Frequency	Payment Amount
5	Annual	\$50,001.88 (First payment due 30 days after Agreement is commenced), (Plus applicable Sales/Use Taxes - See "Taxes" section below)

**Terms and Conditions:**

**1. Purchase Agreement/Acceptance/ Payments:** You agree to purchase from us the Equipment and services, if any, described above and on any attached schedule (the "Equipment") in accordance with the terms of this Agreement (this "Agreement"). You shall be deemed to have accepted the Equipment for purchase under this Agreement on the date that is ten (10) days after the date it is shipped to you by the Supplier ("Acceptance Date") and, at our request, you shall confirm for us such acceptance in writing. No acceptance of any item of Equipment may be revoked by you. You agree to pay the Payments described above ("Payments") beginning on the Acceptance Date or any later date we designate and thereafter until all fully paid. Unless otherwise instructed by us in writing, all Payments and other amounts due hereunder shall be made to our address above. This Agreement is non-cancelable and may not be prepaid. Your obligations under this Agreement (your "Obligations") are absolute, unconditional, and are not subject to cancellation, defense, recoupment, reduction, setoff or counterclaim. If a Payment is not made when due, you will pay us a late charge of 5% of each Payment or \$10.00, whichever is greater, but only to the extent permitted by law. We may charge you a fee of \$55.00 for any check that is returned. You authorize us to adjust the Payments at any time if taxes included in the Payments differ from our estimate. You agree that the Payments were calculated by us based, in part, on a rate reported in the "Interest rate swaps" section of Federal Reserve Statistical Release H-15 and in the event the date the Equipment is delivered to you is more than 30 days after we send this Agreement to you, we may adjust the Payments once to compensate us, in good faith, for any increase in such rate.

**2. Ownership/Security Interest/Laws/Use/Maintenance:** Upon acceptance of the Equipment by you, you shall hold title to and be the owner of the Equipment for all purposes including, without limitation, tax purposes. The purchase of the Equipment by you under this Agreement shall be "AS IS, WHERE IS", without representation or warranty of any kind from us, provided that this Agreement shall not impair any express warranties or indemnifications, written service agreements or other obligations of Stryker Corporation or any of its subsidiaries to you regarding the Equipment and we hereby assign all of our rights in any Equipment warranties to you. As security for all of your Obligations, you hereby grant to us a first priority security interest in all of your rights, title and interests in the Equipment, all replacements, additions, accessions, accessories and substitutions thereto or therefore and all proceeds and products thereof, including, without limitation, all proceeds of insurance. Upon timely payment of all amounts due hereunder (plus all applicable Taxes), our security interest in the Equipment shall terminate and you shall be the owner of the Equipment, free and clear of any interest created by us. You agree not to permit any lien, security interest (except ours), claim or encumbrance to be placed upon the Equipment. You shall comply with all applicable laws, rules and regulations and manufacturer's specifications and instructions concerning the operation, ownership, use and/or possession of the Equipment. You must, at your cost, keep the Equipment in good working condition. If Payments include maintenance and/or service costs, you agree that (i) no Assignee (as defined below) is responsible to provide the maintenance or service, (ii) you will make all maintenance and service related claims to the persons providing the maintenance, service or warranty, and (iii) any maintenance, warranty or service claims will not impact your Obligations. The Equipment cannot be moved from the location above without our prior written consent.

**3. Taxes:** You shall pay when and as due all sales, use, property, excise and other taxes, and all license and registration fees now or hereafter imposed by any governmental body or agency upon this Agreement or the ownership, use, or sale of the Equipment, together with all interest and penalties for their late payment or non-payment ("Taxes"). You shall indemnify and hold us harmless from any such Taxes. You shall prepare and file all tax returns relating to Taxes for which you are responsible hereunder. If we receive any tax bill pertaining to the Equipment from the appropriate taxing authority, we may, without obligation, pay such tax and if we pay such tax bill we will invoice you for the expense. Upon receipt of such invoice, you will promptly reimburse us for such expense.

**4. Assignment:** You agree not to transfer, sell, lease, assign, pledge or encumber the Equipment or any rights under this Agreement without our prior written consent, which consent shall not be unreasonably withheld, and if you do, even with our consent, you will still be fully responsible for all your Obligations. You shall provide us with at least 45 days' prior written notice of any change to your principal place of business, organization or incorporation. You agree that we may, without notice to you, sell, assign, or transfer ("Transfer") this Agreement to a third party (each, an "Assignee"), and each Assignee will have our Transferred rights, but none of our obligations, and such rights will not be subject to any claims, recoupment, defenses, or setoffs that you may have against us or any supplier even though an Assignee may continue to bill and collect all of your Obligations in the name of "Stryker Finance".

**5. Risk of Loss, Insurance and Reimbursement:** Effective upon delivery to you, you shall bear all risk of Equipment loss or damage. If any such loss or damage occurs you still must satisfy all of your Obligations. You will (i) keep the Equipment insured against all risks of loss or damage for an amount equal to its replacement cost, (ii) list us as the insurance sole loss payee and (iii) give us written proof of the insurance. If you do not provide such insurance, we have the right, without obligation, to obtain such insurance and add an insurance fee (which may include a profit) to the amount due from you. You will obtain and maintain comprehensive public liability insurance naming us as an additional insured with coverages and amounts acceptable to us. To the extent not expressly prohibited by applicable law, you will reimburse and defend us, including each Assignee for and against any losses, injuries, damages, liabilities, expenses, claims or legal proceedings asserted against or incurred by us, including any Assignee, relating to the Equipment and which relate to or arise out of your act or omission or the act or omission of your agents or employees or others (excluding us) with access to the Equipment. The terms of this paragraph will continue after the termination of this Agreement.

**6. Default Remedies:** You are in default under this Agreement if: a) you fail to pay a Payment or any other amount when due; or b) you breach any other obligation under this Agreement; or c) your principal owner or any guarantor of this Agreement dies; or d) you or any guarantor dissolves, ceases to do business as a going concern, becomes insolvent, bankrupt, merges, or is sold; or e) you or any guarantor fails to pay any other material obligation owed to us or any of our affiliates. Upon default, we may: a) declare the entire balance of unpaid Payments immediately due and payable; b) sue you for and receive the total amount due with future Payments discounted to the date of default at a rate of 3% per annum; c) charge you interest on all monies due at the rate of 18% per year or the highest rate permitted by applicable law from the date of default until paid; and/or d) require you to immediately return the Equipment to us or we may peaceably repossess it. Upon default, you will also pay all expenses including but not limited to reasonable attorneys' fees, legal costs, cost of storage and shipping incurred by us in the enforcement and attempted enforcement of any remedies under this Agreement. If the Equipment is returned or repossessed we will, if commercially reasonable, sell or otherwise dispose of the Equipment at terms we determine, at one or more public or private sales, with notice as required by law, and apply the net proceeds (after deducting any related expenses) to your Obligations. You remain liable for any deficiency with any excess being retained by us or applied as required by applicable law.

**7. Miscellaneous:** This Agreement shall be governed and construed in accordance with the laws of Michigan. You agree that the Equipment will only be used for business purposes and not for personal, family or household use. This Agreement may be executed in counterparts and any facsimile, photographic or other electronic transmission



electronic signing of this Agreement by you and when manually countersigned by us or attached to our original signature counterpart and/or in our possession shall constitute the sole original chattel paper as defined in the UCC for all purposes and will be admissible as legal evidence thereof. No security interest in this Agreement can be perfected by possession of any counterpart other than the counterpart bearing our original signature. You agree not to raise as a defense to the enforcement of this Agreement or any related documents hereto the fact that such documents were executed by electronic means. We may inspect the Equipment at any time prior to payment in full of your Obligations. No failure to act shall be deemed a waiver of any rights hereunder. If you fail to pay (within thirty days of invoice date) any freight, sales tax or other amounts related to the Equipment which are not financed hereunder and are billed directly by us to you, such amounts shall be added to the Payments set forth above (plus interest or additional charges thereon) and you authorize us to adjust such Payments accordingly. If you are required to report the components of your payment obligations hereunder to certain state and/or federal agencies or public health coverage programs such as Medicare, Medicaid, SCHIP or others, and such amounts are not adequately disclosed in any attachment hereto, then Stryker Sales Corporation will, upon your written request, provide you with a detailed outline of the components of your payments which may include equipment, software, service and other related components. You acknowledge that you have not received any tax or accounting advice from us. You agree that you shall upon request from us, promptly provide to us a copy of your most recent annual financial statements and any of your other financial information (including interim financial statements) that we may request. You authorize us to share such information with our affiliates, subsidiaries and Assignees. This Agreement, any schedules hereto, any attachments to this Agreement or any schedules and any express warranties made by Stryker Sales Corporation constitute the entire agreement between the parties hereto regarding the Equipment and its use and possession and supersede all prior agreements and discussions regarding the Equipment and any prior course of conduct. You waive all rights to any indirect, punitive, special or consequential damages in connection with the Equipment or this Agreement. There are no agreements, oral or written, between the parties which are contrary to the terms of this Agreement and such other documents. **YOU AGREE THAT THIS IS A NON-CANCELLABLE AGREEMENT AND WAIVE TRIAL BY JURY.**

**I CERTIFY THAT I AM AUTHORIZED TO SIGN THIS AGREEMENT FOR CUSTOMER**

Customer Signature	
Signature: <i>Chen A. Long</i>	Date: <i>10/27/17</i>
Print Name: <i>Chen A. Long</i>	
Title: <i>City Administrator</i>	

Accepted By Stryker Flex Financial, a division of Stryker Sales Corporation	
Signature:	Date:
Prime Name:	
Title:	

**Exhibit A to Short Form Conditional Sale Agreement Number 0110025523  
Description of Equipment**

**Customer Name:** APOPKA, CITY OF

**Delivery Address:** 175 E 5TH ST, APOPKA, Florida 32703

**Part I - Equipment/Service Coverage (if applicable)**

Model Number	Equipment Description	Quantity
9999-999-999	LIFEPAK CR Plus Quote Number 00097786	1
9999-999-999	LIFEPAK 15 V4 Quote Number 00097796	1
9999-999-999	LUCAS 3.0 Quote Number 00097802	1
9999-999-999	LIFEPAK 1000 Quote Number 00097794	1

**Service Coverage:**

Model Number	Service Coverage Description	Quantity	Years
LP15-OSCOMP-4- POS-UP	LIFEPAK 15 Service - 4 YEAR, On-site Comprehensive	3	4.0
LUCAS-SIRP-4- POS	LUCAS Service - 4 YEAR.	5	4.0

(Service Coverage and related payment amounts shall not be subject to automatic renewal or extension, if any, at the expiration of the Term of the Agreement)

Customer Signature	
Signature: <i>Coleen A. Tobey</i>	Date: <i>10/21/07</i>
Print Name: <i>Coleen A. Tobey</i>	
Title: <i>City Administrator</i>	

Accepted By Flex Financial, a division of Stryker Sales Corp.	
Signature:	Date:
Print Name:	
Title:	

Date: October 12, 2017

Short Form Conditional Sale Agreement Number 0110025523

To: APOPKA, CITY OF ("Customer")  
175 E 5TH ST  
APOPKA, Florida 32703

From: Stryker Flex Financial, a division of Stryker Sales Corporation ("Creditor")  
1901 Romance Road Parkway  
Portage, MI 49002

**TO THE CUSTOMER:** In connection with one or more financing arrangements, Creditor may require proof in the form of this document, executed by both Customer\* and Customer's agent, that Customer's insurable interest in the financed property (the "Property") meets the requirements as follows, with coverage including, but not limited to, fire, extended coverage, vandalism, and theft:

Creditor, and its successors and assigns shall be covered as both ADDITIONAL INSURED and LENDER'S LOSS PAYEE with regard to all equipment financed or acquired for use by policy holder through or from Creditor:

Customer must carry GENERAL LIABILITY (and/or, for vehicles, Automobile Liability) in the amount of no less than \$1,000,000.00 (one million dollars).

Customer must carry PROPERTY Insurance (or, for vehicles, Physical Damage Insurance) in an amount no less than the 'Insurable Value' \$216,558.82 with deductibles no more than \$10,000.00.

\*PLEASE PROVIDE THE INSURANCE AGENTS INFORMATION REQUESTED BELOW & SIGN WHERE INDICATED

By signing, Customer authorizes the Agent named below: 1) to complete and return this form as indicated; and 2) to endorse the policy and subsequent renewals to reflect the required coverage as outlined above.

Insurance Agency: World Risk Management, LLC  
Agent Name: Cee Cee Wieland  
Address: 20 N. Orange Ave Ste 500  
Phone/Fax: 407-445-2414  
Email Address: Cee.Cee.Wieland@wrmlc.com

APOPKA, CITY OF	
Signature: <u>[Signature]</u>	Date: <u>10/27/17</u>
Print Name: <u>Coleen A. Tobey</u>	
Title: <u>City Administrator</u>	

\*Customer: Creditor will fax the executed form to your insurance agency for endorsement. In Lieu of agent endorsement, Customer's agency may submit insurance certificates demonstrating compliance with all requirements. If fully executed form (or Customer-executed form plus certificates) is not provided within 15 days, we have the right but not the obligation to obtain such insurance at your expense. Should you have any questions please contact Michelle Warren at 269-389-1909.

**TO THE AGENT:** In lieu of providing a certificate, please execute this form in the space below and promptly fax it to Creditor at 877-204-1332. This fully endorsed form shall serve as proof that Customer's insurance meets the above requirements.

Agent hereby verifies that the above requirements have been met in regard to the Property listed below.

Agent Signature	
Signature:	Date:
Print Name:	
Title:	
Carrier Name:	
Carrier Policy Number :	
Policy Expiration Date:	

Insurable Value: \$216,558.82

ATTACHED: PROPERTY DESCRIPTION FOR Short Form Conditional Sale Agreement Number 0110025523

See Exhibit A to Short Form Conditional Sale Agreement Number 0110025523

TOGETHER WITH ALL REPLACEMENTS, PARTS, REPAIRS, ADDITIONS, ACCESSIONS AND ACCESSORIES INCORPORATED THEREIN OR AFFIXED OR ATTACHED THERETO AND ANY AND ALL PROCEEDS OF THE FOREGOING, INCLUDING, WITHOUT LIMITATION, INSURANCE RECOVERIES.



## STATE AND LOCAL GOVERNMENT CUSTOMER RIDER

This State and Local Government Customer Rider (the "Rider") is an addition to and hereby made a part of Short Form Conditional Sale Agreement Number 0110025523 (the "Agreement") between STRYKER FLEX FINANCIAL, a division of Stryker Sales Corporation ("Owner") and APOKA, CITY OF ("Customer") to be executed simultaneously herewith and to which this Rider is attached. Capitalized terms used but not defined in this Rider shall have the respective meanings provided in the Agreement. Owner and Customer agree as follows:

1. Customer represents and warrants to Owner that as of the date of, and throughout the Term of, the Agreement: (a) Customer is a political subdivision of the state or commonwealth in which it is located and is organized and existing under the constitution and laws of such state or commonwealth; (b) Customer has complied, and will comply, fully with all applicable laws, rules, ordinances, and regulations governing open meetings, public bidding and appropriations required in connection with the Agreement, the performance of its obligations under the Agreement and the acquisition and use of the Equipment; (c) The person(s) signing the Agreement and any other documents required to be delivered in connection with the Agreement (collectively, the "Documents") have the authority to do so, are acting with the full authorization of Customer's governing body, and hold the offices indicated below their signatures, each of which are genuine; (d) The Documents are and will remain valid, legal and binding agreements, and are and will remain enforceable against Customer in accordance with their terms; and (e) The Equipment is essential to the immediate performance of a governmental or proprietary function by Customer within the scope of its authority and will be used during the Term of the Agreement only by Customer and only to perform such function. Customer further represents and warrants to Owner that, as of the date each item of Equipment becomes subject to the Agreement and any applicable schedule, it has funds available to pay all Agreement payments payable thereunder until the end of Customer's then current fiscal year, and, in this regard and upon Owner's request, Customer shall deliver in a form acceptable to Owner a resolution enacted by Customer's governing body, authorizing the appropriation of funds for the payment of Customer's obligations under the Agreement during Customer's then current fiscal year.

2. To the extent permitted by applicable law, Customer agrees to take all necessary and timely action during the Agreement Term to obtain and maintain funds appropriations sufficient to satisfy its payment obligations under the Agreement (the "Obligations"), including, without limitation, providing for the Obligations in each budget submitted to obtain applicable appropriations, causing approval of such budget, and exhausting all available reviews and appeals if an appropriation sufficient to satisfy the Obligations is not made.

3. Notwithstanding anything to the contrary provided in the Agreement, if Customer does not appropriate funds sufficient to make all payments due during any fiscal year under the Agreement and Customer does not otherwise have funds available to lawfully pay the Agreement payments (a "Non-Appropriation Event"), and provided Customer is not in default of any of Customer's obligations under such Agreement as of the effective date of such termination, Customer may terminate such Agreement effective as of the end of Customer's last funded fiscal year ("Termination Date") without liability for future monthly charges or the early termination charge under such Agreement, if any, by giving at least 60 days' prior written notice of termination ("Termination Notice") to Owner.

4. If Customer terminates the Agreement prior to the expiration of the end of the Agreement's initial (primary) term, or any extension or renewal thereof, as permitted under Section 3 above, Customer shall (i) on or before the Termination Date, at its expense, pack and insure the related Equipment and send it freight prepaid to a location designated by Owner in the contiguous 48 states of the United States and all Equipment upon its return to Owner shall be in the same condition and appearance as when delivered to Customer, excepting only reasonable wear and tear from proper use and all such Equipment shall be eligible for manufacturer's maintenance, (ii) provide in the Termination Notice a certification of a responsible official that a Non-Appropriation Event has occurred, (iii) deliver to Owner, upon request by Owner, an opinion of Customer's counsel (addressed to Owner) verifying that the Non-Appropriation Event as set forth in the Termination Notice has occurred, and (iv) pay Owner all sums payable to Owner under the Agreement up to and including the Termination Date.

5. Any provisions in this Rider that are in conflict with any applicable statute, law or rule shall be deemed omitted, modified or altered to the extent required to conform thereto, but the remaining provisions hereof shall remain enforceable as written.

Customer Signature	
Signature: <i>Cohen A. Tobey</i>	Date: <i>10/27/17</i>
Print Name: <i>Cohen A. Tobey</i>	
Title: <i>City Administrator</i>	

Accepted By Flex Financial, a division of Stryker Sales Corp.	
Signature:	Date:
Print Name:	
Title:	





# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
10/01/2017

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> World Risk Management LLC a member of: Ballator Insurance Group 20 N Orange Ave Ste 500 Orlando FL 32801	<b>CONTACT NAME:</b> Cee Cee Wieland <b>PHONE (A/C, No, Ext):</b> (407)445-2414 <b>E-MAIL ADDRESS:</b> ceecee.wieland@wrmlc.com <b>FAX (A/C, No):</b> (407)445-2868
	<b>INSURER(S) AFFORDING COVERAGE</b> <b>INSURER A:</b> Public Risk Management <b>INSURER B:</b> <b>INSURER C:</b> <b>INSURER D:</b> <b>INSURER E:</b> <b>INSURER F:</b>
<b>INSURED</b> City of Apopka 120 E. Main Street Apopka, FL 32703	

**COVERAGES**                      **CERTIFICATE NUMBER:** CL1791201137                      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:		PRM 017-004	10/01/2017	10/01/2018	EACH OCCURRENCE \$ 2,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 2,000,000 MED EXP (Any one person) \$ EXCLUDED PERSONAL & ADV INJURY \$ 2,000,000 GENERAL AGGREGATE \$ PRODUCTS - COMP/OP AGG \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY <input checked="" type="checkbox"/>		PRM 017-004	10/01/2017	10/01/2018	COMBINED SINGLE LIMIT (Ea accident) \$ 2,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED    RETENTION \$		PRM 017-004	10/01/2017	10/01/2018	EACH OCCURRENCE \$ 3,000,000 AGGREGATE \$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N <input type="checkbox"/>	PRM 017-004	10/01/2017	10/01/2018	PER STATUTE    OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

With respects to the listed coverages held by the named insured, as evidence of insurance VERIFICATION OF COVERAGE FOR AMBULANCES and Mutual Aid Agreement. The General Liability limits are as stated in the Limits section of the Certificate. The General Liability defines an Insured Contract to include: Any easement or license agreement pursuant to policy form PRM 015-002.

### CERTIFICATE HOLDER

Dept of Health Bureau of Emergency Medical Services  
4052 Bald Cypress Way  
Mail Bin C18  
Tallahassee FL 32399-1738

### CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.  
  
AUTHORIZED REPRESENTATIVE  
*A. Cooper*



# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 6, 2019  
 FROM: Community Development  
 EXHIBITS: Land Use Report  
 Vicinity Map  
 Future Land Use Map  
 Adjacent Zoning Map  
 Adjacent Uses Map  
 Ordinance No. 2702

**SUBJECT:           ORDINANCE NO. 2702 - COMPREHENSIVE PLAN – SMALL SCALE - FUTURE LAND USE AMENDMENT – CONSTRUESSE USA, INC.**

**REQUEST:        ORDINANCE NO. 2702 – SECOND READING - COMPREHENSIVE PLAN – SMALL SCALE - FUTURE LAND USE AMENDMENT FOR CONSTRUESSE USA, INC. – FROM “COUNTY” LOW DENSITY RESIDENTIAL (0-4 DU/AC) TO “CITY” RESIDENTIAL LOW SUBURBAN (0-3.5 DU/AC)**

**SUMMARY:**

OWNER/APPLICANT:        Construesse USA, INC.  
 LOCATION:                2600 Rock Springs Road  
 PARCEL ID:                28-20-28-0000-00-024  
 EXISTING USE:            2 Single Family Homes  
 CURRENT ZONING:        “County” A-1 & A-R  
 PROPOSED DEVELOPMENT:   2 Single Family Homes  
 PROPOSED ZONING:        Applicant has not completed a zoning application for the property.  
 TRACT SIZE:              9.59 +/- acres  
 MAXIMUM ALLOWABLE DEVELOPMENT:  
                                   EXISTING:   38 Single Family Homes  
                                   PROPOSED: 33 Single Family Homes

**FUNDING SOURCE: N/A**

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**ADDITIONAL COMMENTS:** The subject parcel was annexed in the city on October 17, 2018 by Ordinance No. 2681. The applicant has applied for Residential Low Suburban Future Land Use and Planned Unit Development Zoning. The intent, at this time, is to develop a single-family, infill subdivision. Future Land Use designations to the north, south, and west are also Residential Low Suburban.

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed use of the property is consistent with the Residential Low Suburban Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support a Residential Low Suburban FLUM designation at the subject site:

*Future Land Use Element*

1. **Policy 3.1.d**

**Low Density Suburban Residential**

The primary use shall be residential dwelling units up to 3.5 dwelling units per acre, elementary schools; middle schools; supporting infrastructure of less than two acres, neighborhood parks.

**SCHOOL CAPACITY REPORT:** The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on October 9, 2018.

**PUBLIC HEARING SCHEDULE:**

January 8, 2019 - Planning Commission (5:30 pm)

January 16, 2019 - City Council (7:00 pm) - 1<sup>st</sup> Reading

February 6, 2019 – City Council (1:30 pm) – 2<sup>nd</sup> Reading and Adoption

**DULY ADVERTISED:**

December 28, 2018 – Public Notice (Apopka Chief) and Notification (letter, poster)

January 25, 2019 -- Public Notice (Apopka Chief)

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**RECOMMENDATION ACTION:**

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Residential Low Suburban for the property owned by Construesse USA, Inc. and located at 2600 Rock Springs Road.

The **Planning Commission**, at its meeting on January 8, 2019, found the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and unanimously recommended approval of the change of Future Land Use Designation from “County” Low Density Residential to “City” Residential Low Suburban, subject to the findings of the Staff Report.

The **City Council**, at its meeting on January 16, 2019, accepted the first reading of Ordinance No. 2702 and held it over for second reading and adoption on February 6, 2019.

**Recommended Motion:** Adopt Ordinance No. 2702.

**Note:** This item is considered legislative. The staff report and its findings are to be incorporated

**and made a part of the minutes of this meeting.**



**LAND USE REPORT**

**I. RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	“City” Residential Low Suburban	“City” R-1A	Landings at Rock Springs Subdivision
East (County)	“County” Rural Settlement 1/5	“County” A-2	Single Family Houses
South (City)	“City” Residential Low Suburban	“City” R-1AA	Traditions at Wekiva Subdivision
West (City)	“City” Residential Low Suburban	“City” R-1AA	Traditions at Wekiva Subdivision

**II. LAND USE ANALYSIS:**

The subject property is located on a site that is ideal for low density, residential use, which makes the request for a Residential Low Suburban future land use designation consistent with the Comprehensive Plan policies listed above, as well as the general future land use character of the surrounding area.

Properties to the south, north, and west are developed as existing single-family house subdivisions, with a Future Land Use of Residential Low Suburban. The proposed Residential Low Suburban Future Land Use is compatible with the property and the vicinity.

The proposed Residential Low Suburban future land use designation is consistent with the general future land use character of the surrounding area.

Wekiva River Protection Area: No  
 Area of Critical State Concern: No  
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Northern Area” of the JPA. The proposed FLUM Amendment request for a change from “County” Low Density Residential (0-4 ac) to “City” Residential Low Suburban (0-3.5 du / ac) is consistent with the terms of the JPA (Second Amendment. Construesse USA, Inc. is the applicant of the proposed future land use amendment and proposed change of zoning for the property, and have been notified of the hearing schedule.

Transportation: Road access to the site is from N. Rock Springs Road.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features in the vicinity of this property.

Analysis of the character of the Property: The heavily wooded property contains 2 single family homes.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the property is Residential Low Suburban (0-3.5 du / ac). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population by an estimated 87 persons.

**CALCULATIONS:**

ADOPTED: 38 Units x 2.659 p/h = 101 persons (County)

PROPOSED: 33 Units x 2.659 p/h = 87 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments greater than ten (10) acres in size. At the time the Master Site Plan or Preliminary Development Plan is submitted to the City, the development applicant must conduct a species survey and submit a habitat management plan if any threatened or endangered species are identified within the project site.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita ; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 7,448 GPD
3. Projected total demand under proposed designation: 6,468 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPD/Capita ; 177 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 7,980 GPD

3. Projected total demand under proposed designation: 6,930 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD / Capita
6. Projected LOS under proposed designation: 177 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 404 lbs/ day
4. Projected LOS under proposed designation: 348 lbs / day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None

2. Projected LOS under existing designation: 100 year – 24 hour design storm
3. Projected LOS under proposed designation: 100 year – 24 hour design storm
4. Improvement/expansion: On site retention / detention ponds

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: 0.303 acres
3. Projected facility under proposed designation: 0.261 acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

Standards set forth in the City's Land Development Code will require any development plans to provide parkland and recreation facilities and open space for residents residing with the new development.

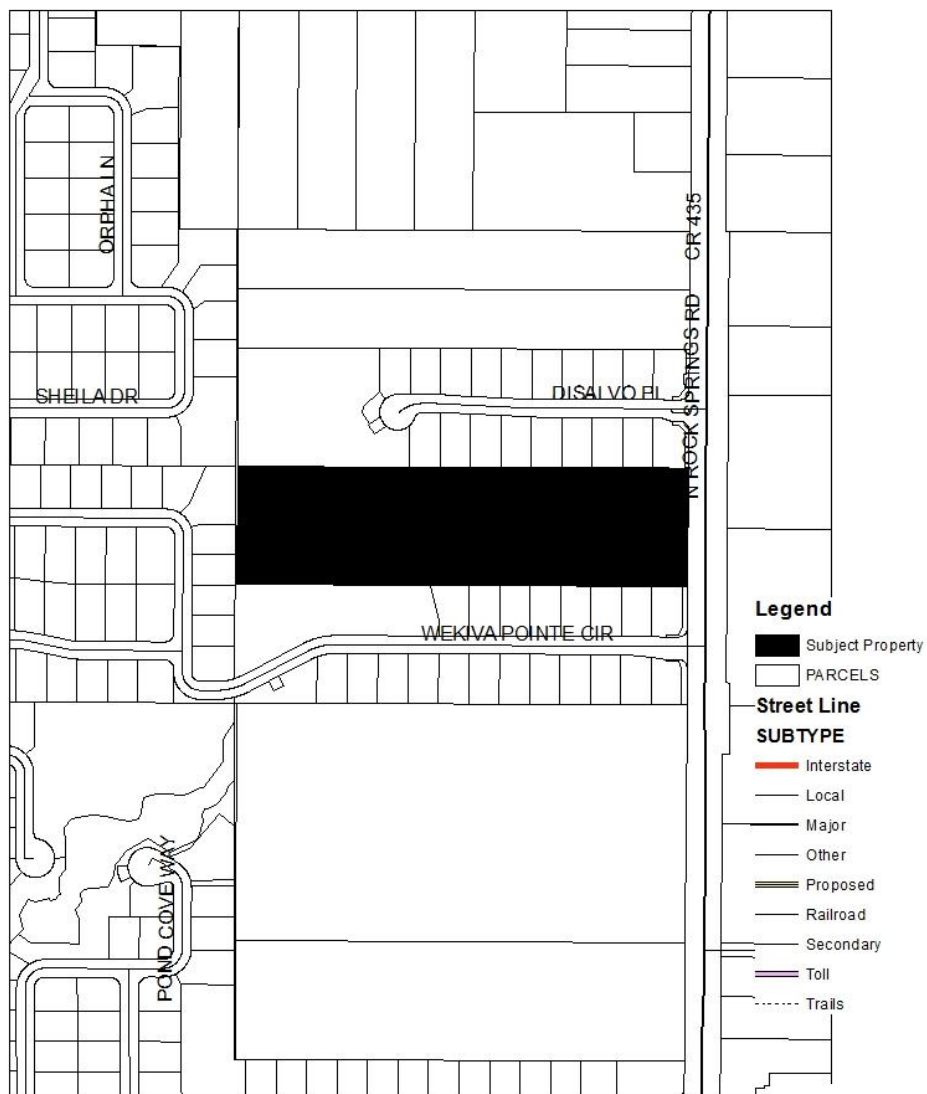
This initial review does not preclude conformance with concurrency requirements at the time of development approval.





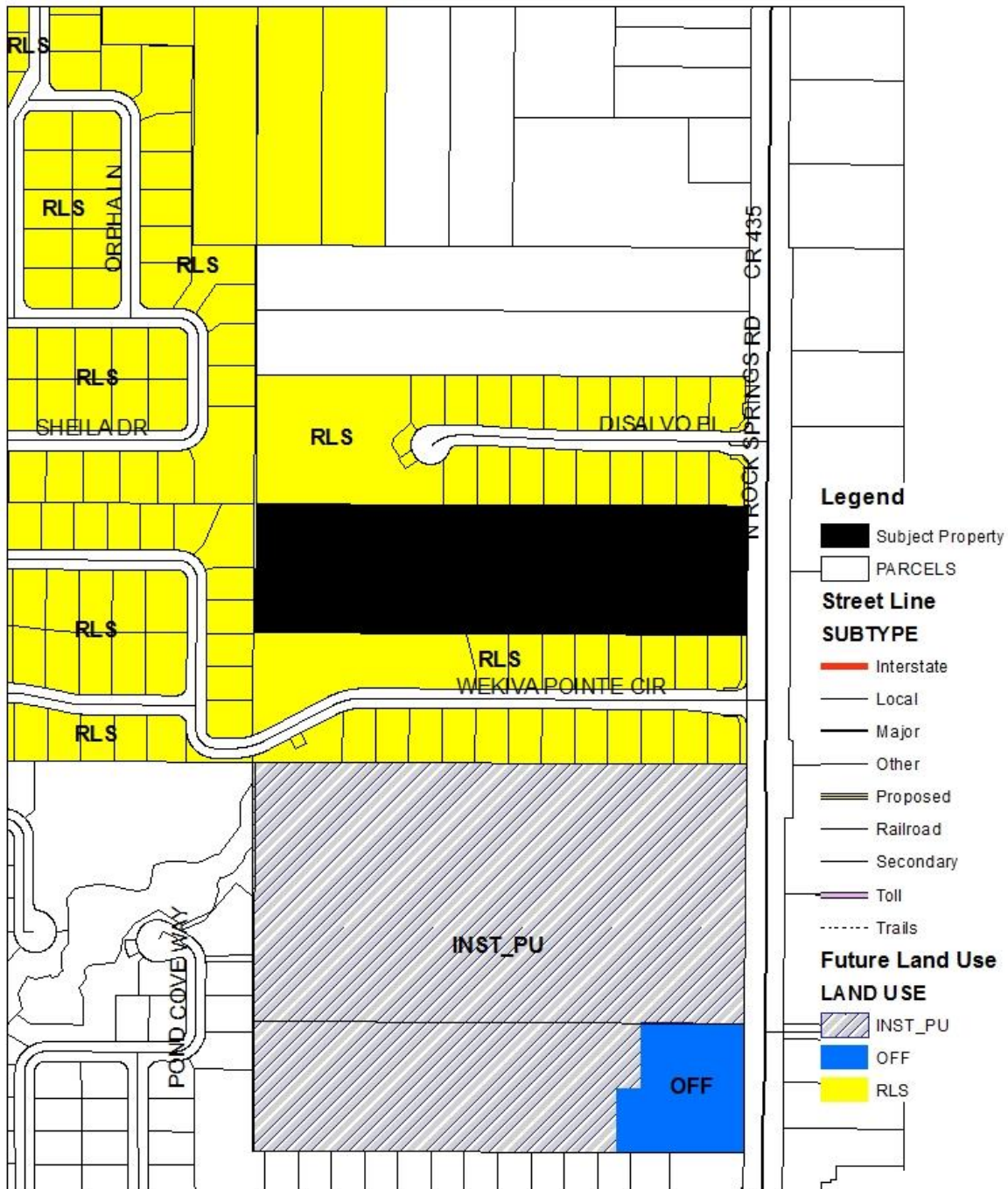
**Construesse USA, Inc.**  
**9.59 +/- acres**  
**Proposed Small Scale Future Land Use Amendment:**  
**From: "County" Low Density Residential**  
**To: "City" Residential Low Suburban**  
**Proposed Change of Zoning:**  
**From: "County" A-1 & A-R**  
**To: PUD (Planned Unit Development)**  
**Parcel ID #: 28-20-28-0000-00-024**

### VICINITY MAP



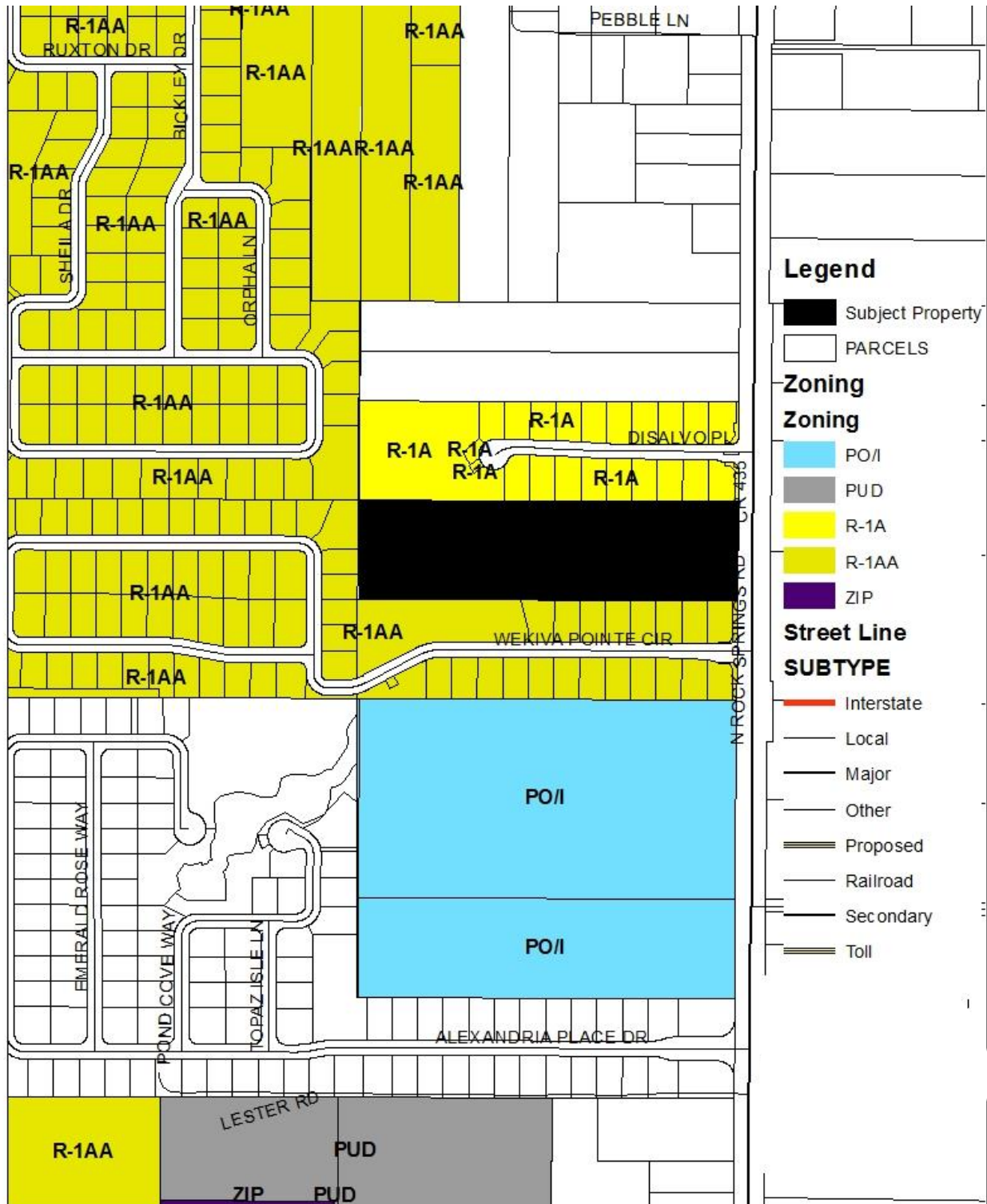


### FUTURE LAND USE MAP





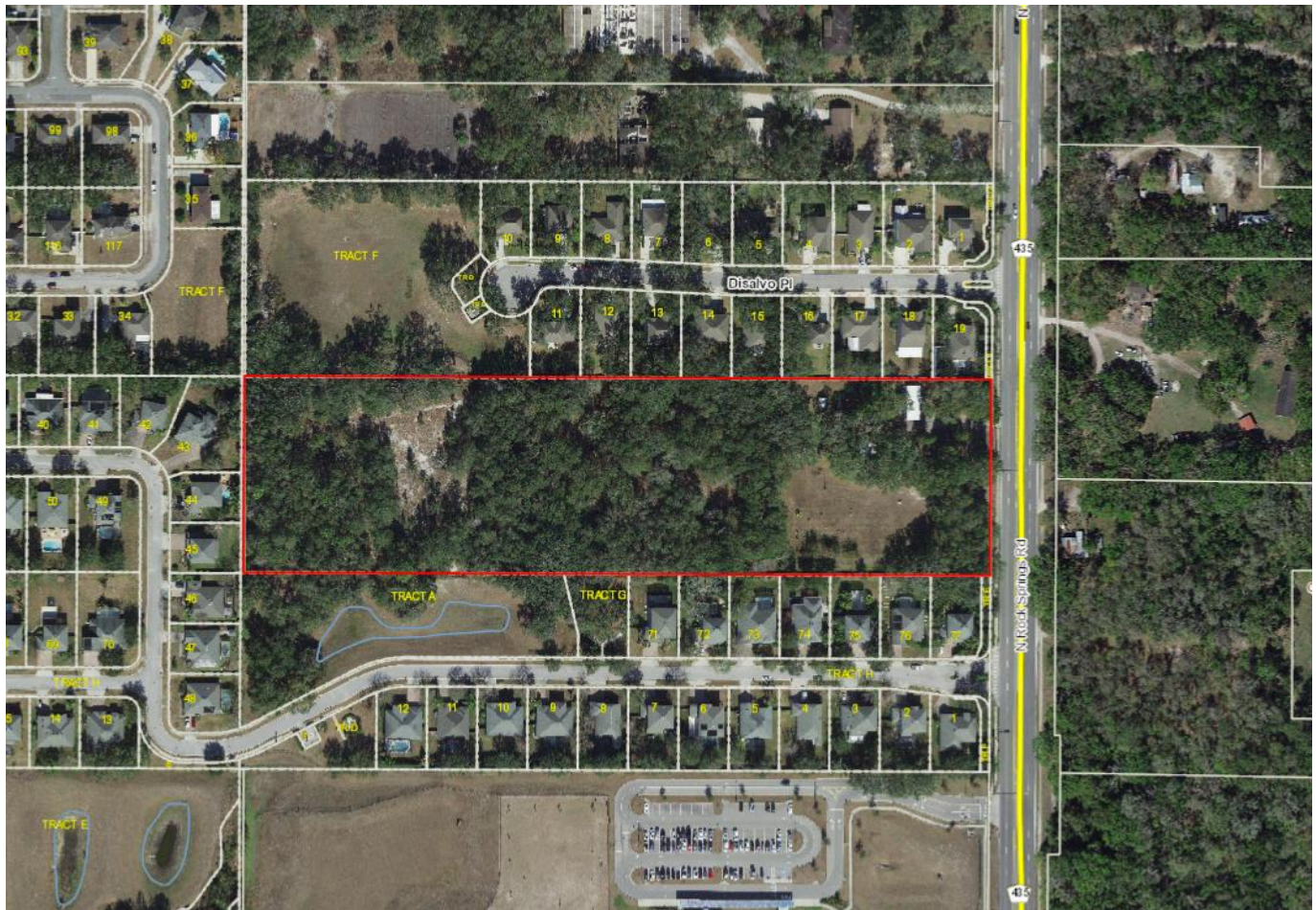
### ADJACENT ZONING







## ADJACENT USES





**ORDINANCE NO. 2702**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” LOW DENSITY RESIDENTIAL TO “CITY” RESIDENTIAL LOW SUBURBAN FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF WEKIVA POINTE CIRCLE AND WEST OF ROCK SPRINGS ROAD, COMPRISING 9.59 ACRES, MORE OR LESS AND OWNED BY CONSTRUESSE USA, INC.; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City Council of the City of Apopka adopted the Apopka Comprehensive Plan by Ordinance No. 653 on October 2, 1991, pursuant to Section 163.3184, Florida Statutes and most recently amended it by Ordinance No. 2688 on December 19, 2018; and

**WHEREAS**, the City of Apopka’s local planning agency (Planning Commission) has, in preparation of the amended version of the Apopka Comprehensive Plan, analyzed the proposed amendment pursuant to Chapter 163, Part II, F.S., found it to be consistent with the intent of the Apopka Comprehensive Plan, and held public hearings providing for full public participation.

**NOW THEREFORE, BE IT ORDAINED**, by the City Council of the City of Apopka, Florida, as follows:

**Section I. Purpose and Intent.**

This Ordinance is enacted to carry out the purpose and intent of, and exercise the authority set out in, the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3184 and 163.3187, Florida Statutes.

**Section II. Future Land Use Element.**

Page 1-15 (Map 1-3) of the Future Land Use Element of the City of Apopka Comprehensive Plan, as most recently amended by Ordinance No. 2688, is amended in its entirety to change the land use from “County” Low Density Residential (0-4 du/ac) to “City” Residential Low Suburban (0-3.5 du/ac), for certain real property generally located west of Rock Springs Road and north of Wekiva Pointe Circle, comprising 9.59 acres more or less, and owned by Construesse USA, Inc.; as further described in Exhibit “A” attached hereto.

**Section III. Applicability and Effect.**

The applicability and effect of the City of Apopka Comprehensive Plan shall be as provided by the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes.

**Section IV. Severability.**

If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and

**ORDINANCE NO. 2702**

**PAGE 2**

portions of this Ordinance shall remain in full force and effect.

**Section V.** The Community Development Director is hereby authorized to amend the Future Land Use to comply with this ordinance.

**Section VI. Effective Date.** This Ordinance shall become effective upon adoption.

**ADOPTED** at a regular meeting of the City Council of the City of Apopka, Florida, on February 6, 2019.

READ FIRST TIME: January 16, 2019

READ SECOND  
TIME February 6, 2019  
AND ADOPTED: \_\_\_\_\_

\_\_\_\_\_  
Bryan Nelson, Mayor

ATTEST:

\_\_\_\_\_  
Linda Goff, City Clerk

DULY ADVERTISED FOR HEARING: December 28, 2018; January 25, 2019



# EXHIBIT "A"

## ORDINANCE NO. 2702

Construesse USA, Inc.

Small Scale Future Land Use Amendment:

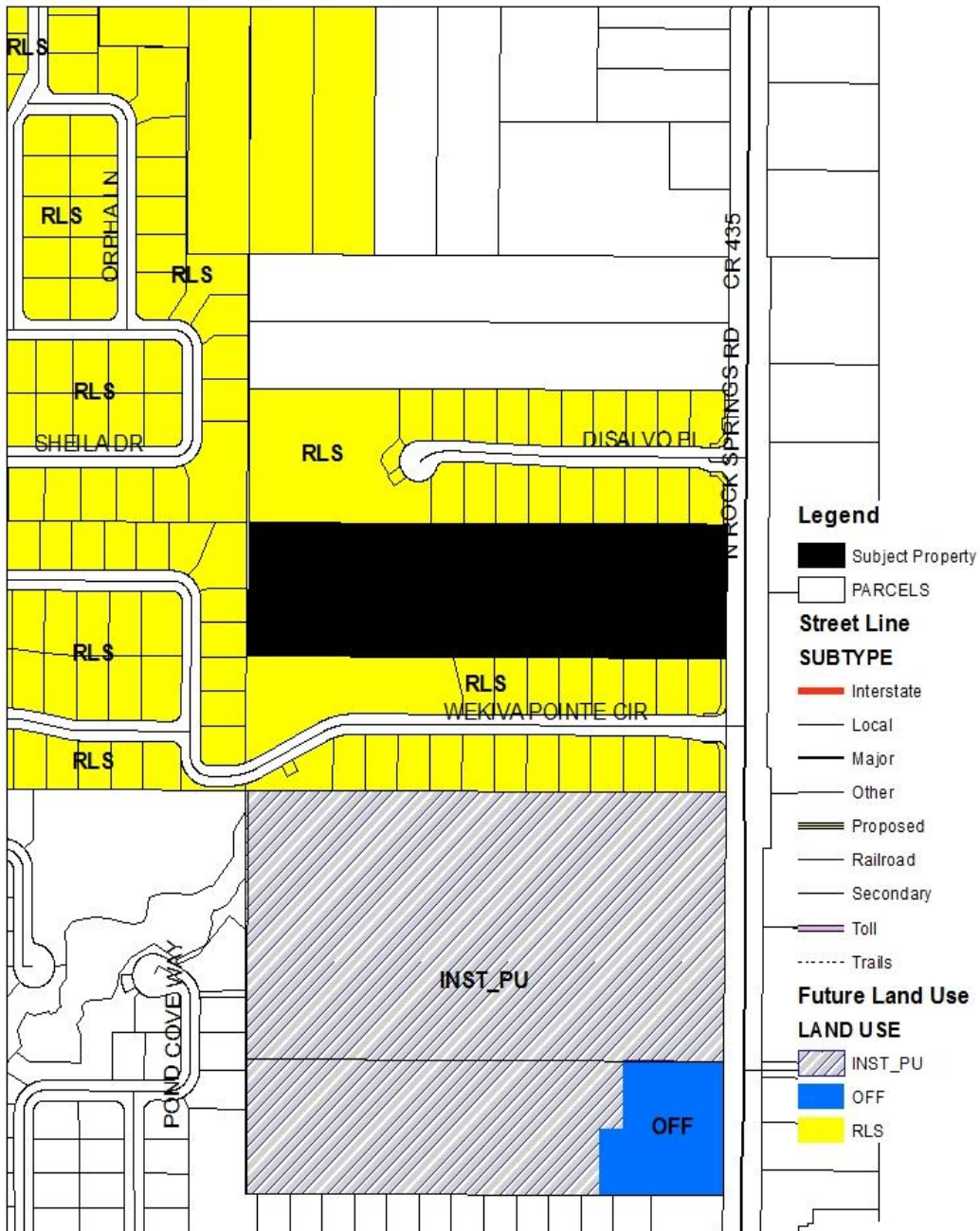
From: "County" Low Density Residential (0-4 du/ac)

To: "City" Residential Low Suburban (0-3.5 du/ac)

Parcel ID #: 28-20-28-0000-00-024

Acreage: 9.59 +/-

## FUTURE LAND USE MAP





# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 6, 2019  
 FROM: Community Development  
 EXHIBITS: Land Use Report  
 Vicinity Map  
 Future Land Use Map  
 Zoning Map  
 Adjacent Uses Map  
 Ordinance No. 2705

**SUBJECT:**      **ORDINANCE NO. 2705 - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – WILLIAM & CECILIA UEBEL & JOSE & IRIS ACEVEDO**

**REQUEST:**      **ORDINANCE NO. 2705 – SECOND READING – COMPREHENSIVE PLAN AMENDMENT – SMALL SCALE – FUTURE LAND USE AMENDMENT – WILLIAM & CECILIA UEBEL & JOSE & IRIS ACEVEDO – FROM COMMERCIAL (MAX. 0.25 FAR) TO RESIDENTIAL VERY LOW SUBURBAN (0-2 DU/AC)**

**SUMMARY:**

**OWNERS/APPLICANTS:**      William & Cecilia Uebel & Jose & Iris Acevedo

**LOCATION:**      355, 363, and 371 W. Kelly Park Rd.

**PARCEL ID NUMBER:**      09-20-28-7608-00-350; 09-20-28-7608-00-354; 09-20-28-7608-00-352

**EXISTING USE:**      3 Single Family Houses

**CURRENT ZONING:**      C-1 “Retail Commercial District”

**PROPOSED DEVELOPMENT:**      3 Single Family Houses

**PROPOSED ZONING:**      “City” R-1 (Note: this Future Land Use amendment request is being processed along with a request to change the zoning classification from C-1 “Retail Commercial District” to R-1 “Residential Single-Family District”

**TRACT SIZE:**      1.36 +/- acres

**MAXIMUM ALLOWABLE DEVELOPMENT:**      EXISTING: 14,810 sq. ft. commercial space  
 PROPOSED: 3 Dwelling Units

**FUNDING SOURCE:** N/A

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



**ADDITIONAL COMMENTS:** The subject parcels were annexed in the city on May 19, 2010 by Ordinance Nos. 2160 and 2161. Commercial Future Land Use was designated to the properties on September 1, 2010 via Ordinance Nos. 2187 and 2189, Commercial Zoning was assigned on the same day, via Ordinance Nos. 2188 and 2190. The three existing single-family homes have been legal, non-conforming structures since the Commercial Future Land Use and Commercial Zoning were assigned.

The applicants propose R-1 zoning and Residential Very Low Suburban Future Land Use to attain a legal, conforming status to the three existing single family homes.

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed use of the property is consistent with the Residential Very Low Suburban Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies. Planning & Zoning staff determines that the below policies support a Residential Very Low Suburban FLUM designation at the subject site:

*Future Land Use Element*

1. **Policy 3.1.c**

**Very Low Density Suburban Residential**

The primary use shall be residential dwelling units up to 2 dwelling units per acre, elementary schools; middle schools; supporting infrastructure of less than two acres, neighborhood parks.

**SCHOOL CAPACITY REPORT:** The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on November 14, 2018.

**PUBLIC HEARING SCHEDULE:**

January 8, 2019 - Planning Commission (5:30 pm)

January 16, 2019 - City Council (7:00 pm) - 1<sup>st</sup> Reading

February 6, 2019 – City Council (1:30 pm) – 2<sup>nd</sup> Reading and Adoption

**DULY ADVERTISED:**

December 28, 2018 – Public Notice (Apopka Chief) and Notification (Letters, Poster)

January 25, 2019 – Public Notice (Apopka Chief)

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**RECOMMENDATION ACTION:**

The **Development Review Committee:** Finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Residential Very Low Suburban for the properties owned by William & Cecilia Uebel & Jose & Iris Acevedo, and located at 355, 363, and 371 W. Kelly Park Rd.

The **Planning Commission,** at its meeting on January 8, 2019, found the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and unanimously recommended approval of the change of Future Land Use Designation from Commercial to Residential Very Low Suburban, subject to the findings of the Staff Report.

The **City Council,** at its meeting on January 16, 2019, accepted the First Reading of Ordinance No. 2705 and held it over for Second Reading and Adoption on February 6, 2019.

**Recommended Motion:** Adopt Ordinance No. 2705.

**Note:** This item is considered legislative and establishes general policy. The staff report and its findings are

**to be incorporated into and made a part of the minutes of this meeting.**

**LAND USE REPORT**

**I. RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	“County” Rural	“County” R-CE	Single Family Home
East (County)	“County” Rural Settlement 1/5	“County” R-CE	Woodlands
South (City & County)	“City” Residential Estates & “County” Rural	“County” A-1	Single Family Homes
West (County)	“County” Rural	“County” R-CE	Single Family Homes

**II. LAND USE ANALYSIS**

Wekiva River Protection Area: No  
 Area of Critical State Concern: No  
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Northern Area” of the JPA. The proposed FLUM Amendment request for a change from “Commercial” to Residential Very Low Suburban (0-2 DU/AC) is consistent with the terms of the JPA (Second Amendment).

Transportation: Road access to 371 and 363 W. Kelly Park Rd. is from W. Kelly Park Road, while 355 W. Kelly Park Rd. is accessed from a connector road, intersecting with Mt. Plymouth Road and W. Kelly Park Rd.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are karst features in the vicinity of this property.

Analysis of the character of the Property: The current use of the properties is a single family home.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the property is Residential Very Low Suburban (0-2 DU/AC). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population.

**CALCULATIONS:**

ADOPTED: Commercial (Max. 0.25 FAR) = 14,810 sq. ft.  
 PROPOSED: 3 Unit(s) x 2.659 p/h = 7 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments less than ten (10) acres in size.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 90 GPD/1,000sf ; 81 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 1,333 GPD
3. Projected total demand under proposed designation: 567 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 90 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 200 GPD/1,000sf ; 174 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 2,962 GPD
3. Projected total demand under proposed designation: 1,218 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 200 GPD / 1,000 sf
6. Projected LOS under proposed designation: 174 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes \_

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 59 lbs/ day
4. Projected LOS under proposed designation: 28 lbs / day



5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number:

Permitting agency: St. John’s River Water Management District

Permitted capacity of the water treatment plant(s): 24.141 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: No

Drainage Analysis

1. Facilities serving the site: None \_
2. Projected LOS under existing designation: 100 year – 24 hour design storm \_
3. Projected LOS under proposed designation: 100 year – 24 hour design storm \_
4. Improvement/expansion: On site retention / detention ponds

Recreation

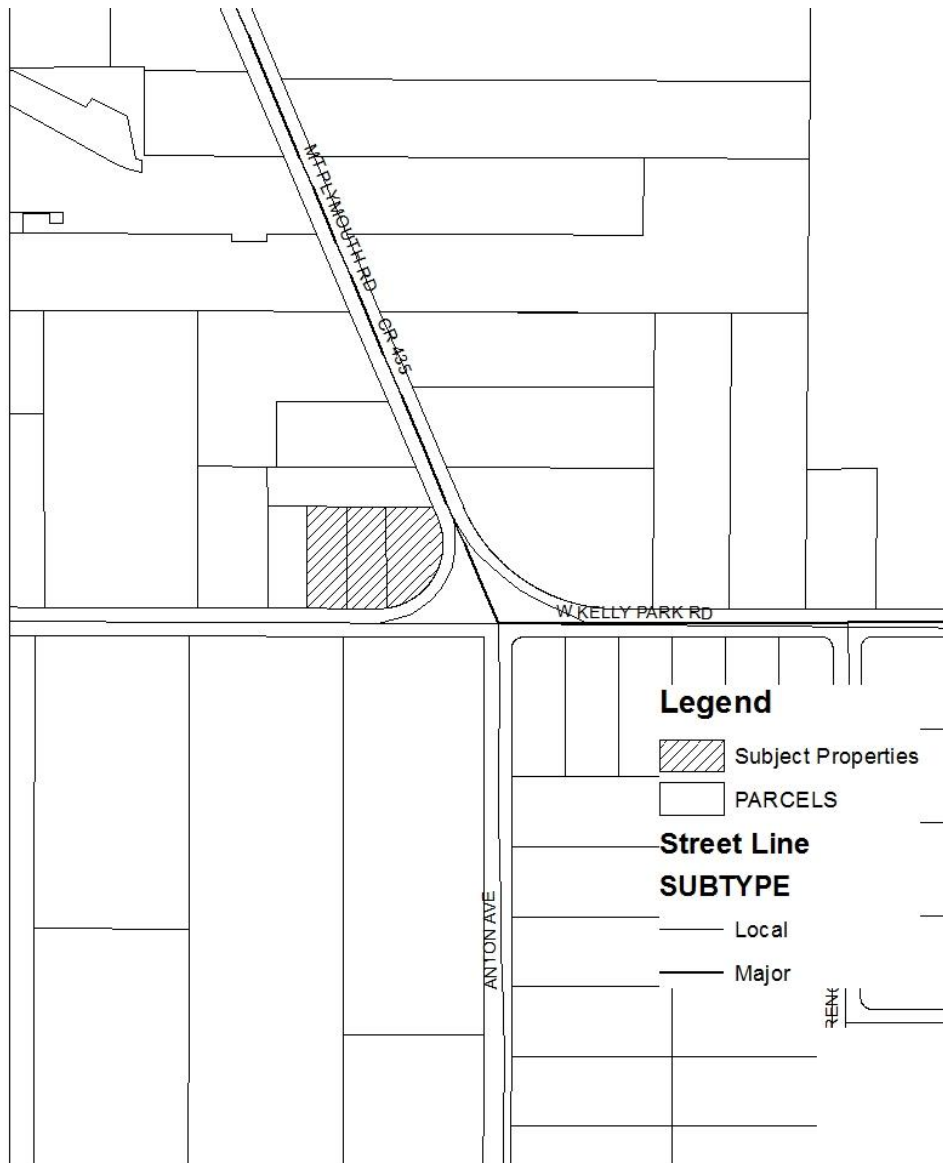
1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: N/A acres
3. Projected facility under proposed designation: N/A acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None



**William & Cecilia Uebel & Jose & Iris Acevedo**  
**1.36 +/- acres**  
**Proposed Small Scale Future Land Use Amendment:**  
**From: Commercial**  
**To: Residential Very Low Suburban**  
**Proposed Change of Zoning:**  
**From: C-1**  
**To: R-1**

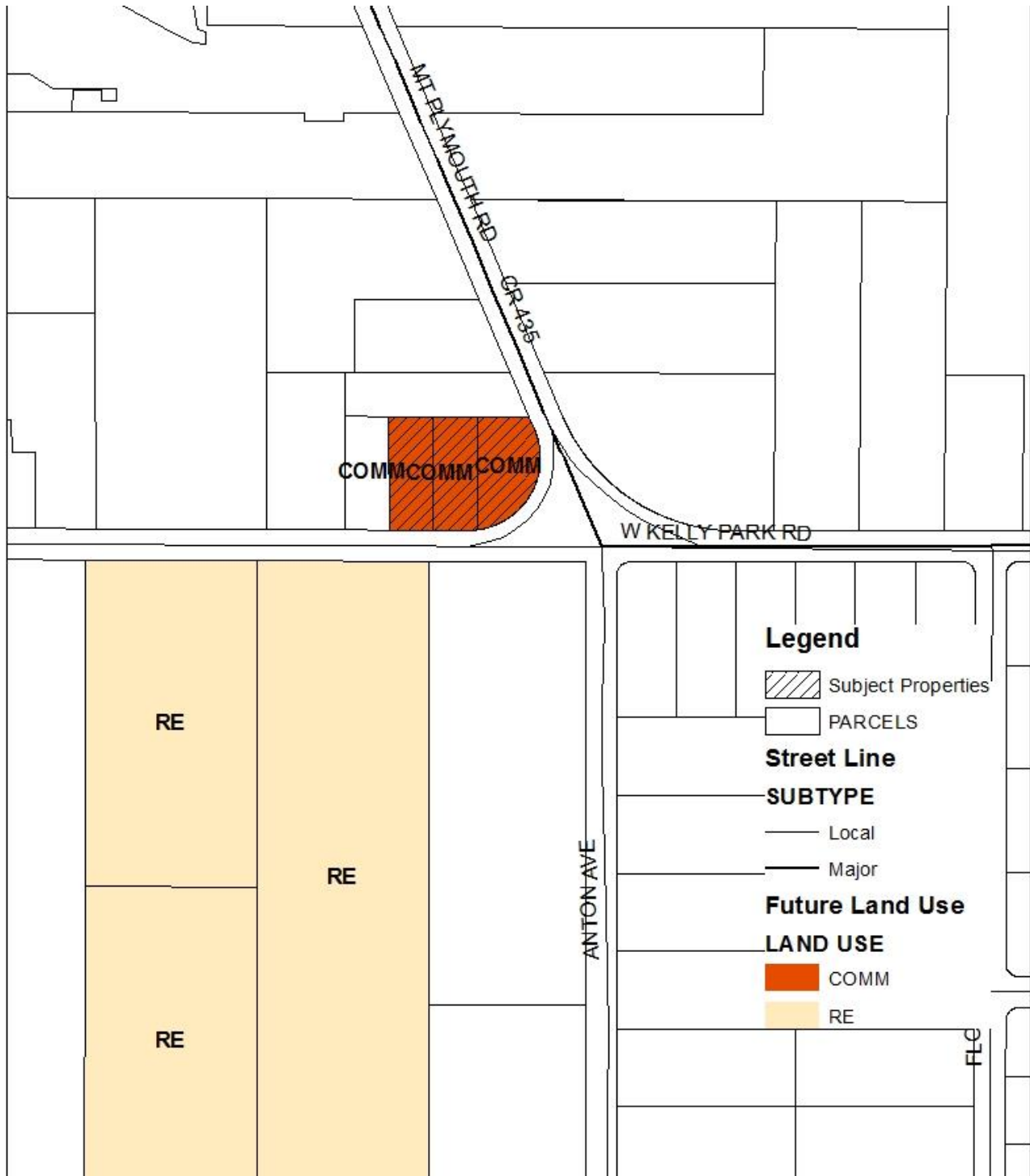
**Parcel ID #: 09-20-28-7608-00-350, 09-20-28-7608-00-354, 09-20-28-7608-00-352**

### VICINITY MAP



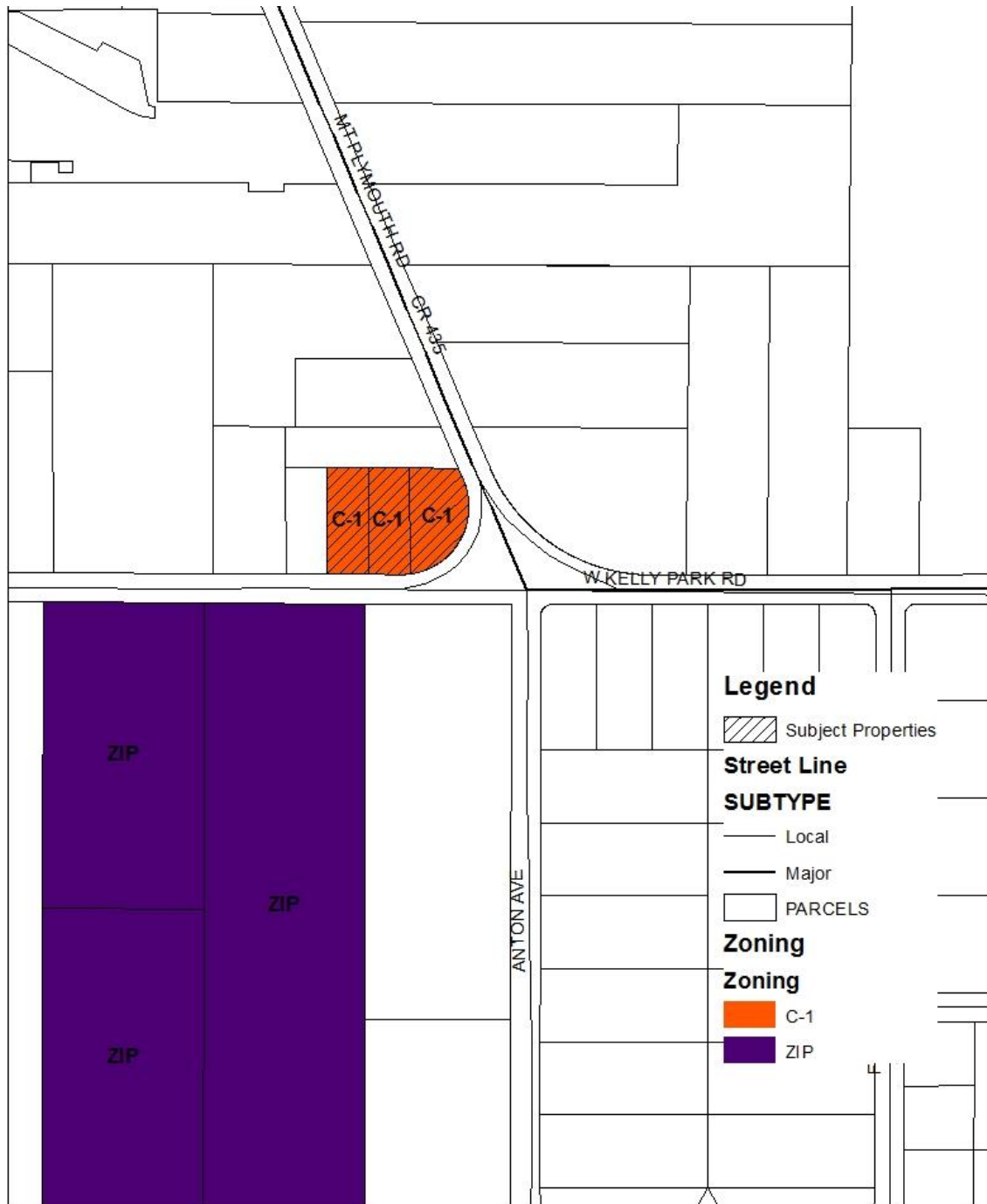
Prepared by: Apopka Community Dev. Dept., November 2018

### FUTURE LAND USE MAP





### ADJACENT ZONING





### ADJACENT USES





**ORDINANCE NO. 2705**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM COMMERCIAL TO RESIDENTIAL VERY LOW SUBURBAN (0-2 DU/AC) FOR CERTAIN REAL PROPERTY LOCATED NORTH OF W. KELLY PARK ROAD AND WEST OF MT. PLYMOUTH ROAD, COMPRISING 1.36 ACRES MORE OR LESS, AND OWNED BY WILLIAM & CECILIA UEBEL; AND JOSE & IRIS ACEVEDO; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City Council of the City of Apopka adopted the Apopka Comprehensive Plan by Ordinance No. 653 on October 2, 1991, pursuant to Section 163.3184, Florida Statutes and most recently amended it by Ordinance No. 2688 adopted on December 19, 2018; and

**WHEREAS**, the City of Apopka's local planning agency (Planning Commission) has, in preparation of the amended version of the Apopka Comprehensive Plan, analyzed the proposed amendment pursuant to Chapter 163, Part II, F.S., found it to be consistent with the intent of the Apopka Comprehensive Plan, and held public hearings providing for full public participation.

**NOW THEREFORE, BE IT ORDAINED**, by the City Council of the City of Apopka, Florida, as follows:

**Section I. Purpose and Intent.**

This Ordinance is enacted to carry out the purpose and intent of, and exercise the authority set out in, the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3184 and 163.3187, Florida Statutes.

**Section II. Future Land Use Element.**

Page 1-15 (Map 1-3) of the Future Land Use Element of the City of Apopka Comprehensive Plan, as most recently amended by Ordinance No. 2688, is amended in its entirety to change the land use from Commercial to Residential Very Low Suburban (0-2 du/ac), for certain real property located north of W. Kelly Park Rd. and West of Mt. Plymouth Rd., comprising 1.36 acre more or less, as further described in Exhibit "A" attached hereto.

**Section III. Applicability and Effect.**

The applicability and effect of the City of Apopka Comprehensive Plan shall be as provided by the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes.

**Section IV. Severability.**

If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

**Section V.** The Community Development Director is hereby authorized to amend the Future Land Use to comply with this ordinance.

**Section VI. Effective Date.** This Ordinance shall become effective upon adoption.

**ADOPTED** at a regular meeting of the City Council of the City of Apopka, Florida, this 6<sup>th</sup> day of February, 2019.

READ FIRST TIME: January 16, 2019

READ SECOND  
TIME February 6, 2019  
AND ADOPTED: \_\_\_\_\_

\_\_\_\_\_  
Bryan Nelson, Mayor

ATTEST:

\_\_\_\_\_  
Linda Goff, City Clerk

DULY ADVERTISED FOR HEARING: December 28, 2018; January 25, 2019



**EXHIBIT "A"**

**WILLIAM & CECILIA UEBEL AND JOSE & IRIS ACEVEDO**

**1.36 +/- acres**

**Proposed Small Scale Future Land Use Amendment:**

**From: Commercial**

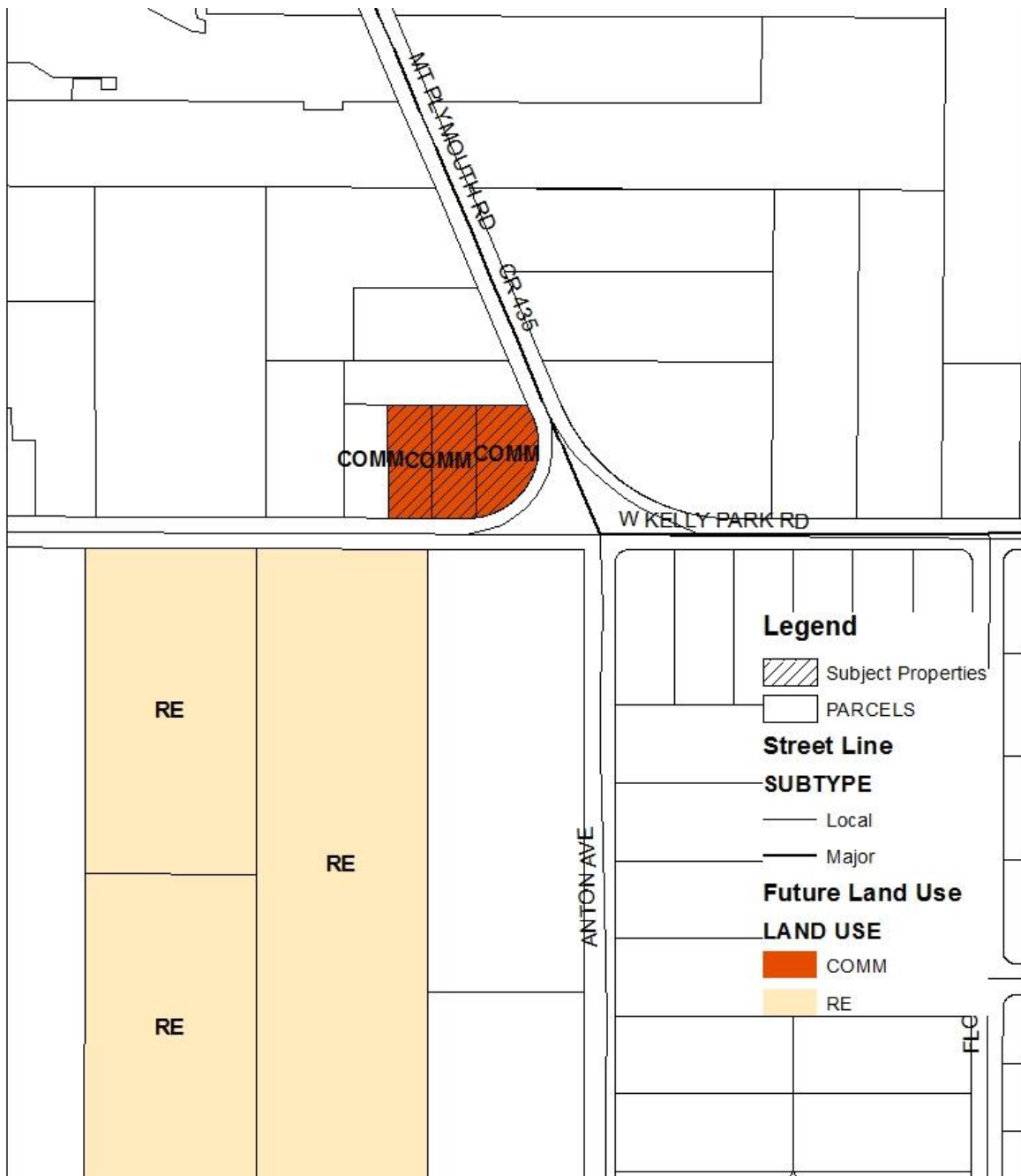
**To: Residential Very Low Suburban**

**Proposed Change of Zoning:**

**From: C-1**

**To: R-1**

**Parcel ID #: 09-20-28-7608-00-350, 09-20-28-7608-00-354, 09-20-28-7608-00-352**





# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 6, 2019  
 FROM: Community Development  
 EXHIBITS: Zoning Report  
 Vicinity Map  
 Zoning Map  
 Adjacent Uses Map  
 Ordinance No. 2706

**SUBJECT:**                    **ORDINANCE NO. 2706 - CHANGE OF ZONING – WILLIAM & CECILIA UEBEL, & JOSE & IRIS ACEVEDO**

**REQUEST:**                    **ORDINANCE NO. 2706 – SECOND READING - CHANGE OF ZONING – FROM C-1 (RETAIL COMMERCIAL) TO R-1 (RESIDENTIAL) FOR WILLIAM & CECILIA UEBEL, & JOSE & IRIS ACEVEDO.**

**SUMMARY:**

OWNERS/APPLICANTS:        William & Cecilia Uebel & Jose & Iris Acevedo

LOCATION:                        355, 363, and 371 W. Kelly Park Rd.

PARCEL ID NUMBER:        09-20-28-7608-00-350, 09-20-28-7608-00-354, 09-20-28-7608-00-352

EXISTING USE:                3 Single Family Houses

CURRENT ZONING:            C-1 “Retail Commercial District”

PROPOSED ZONING:        “City” R-1 (Note: this Change of Zoning request is being processed along with a request to change the Future Land Use from “Commercial” (Max. 0.25 FAR) to Residential Very Low Suburban (0-2 du/ac).

TRACT SIZE:                 1.36 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT:    EXISTING: 14,810 sq. ft. commercial space  
 PROPOSED: 3 Dwelling Units

**FUNDING SOURCE:** N/A

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**ADDITIONAL COMMENTS:** The subject parcels were annexed in the city on May 19, 2010 by Ordinance Nos. 2160 and 2161. Commercial Future Land Use was designated to the properties on September 1, 2010 via Ordinance Nos. 2187 and 2189, Commercial Zoning was assigned on the same day, via Ordinance Nos. 2188 and 2190. The three existing single-family homes have been legal, non-conforming structures since the Commercial Future Land Use and Commercial Zoning were assigned.

The applicants propose R-1 zoning and Residential Very Low Suburban Future Land Use to attain a legal, conforming status to the three existing single family homes.

**COMPREHENSIVE PLAN COMPLIANCE:** The existing and proposed use of the property is consistent with the proposed Residential Very Low Suburban (0-2 DU/Acre) Future Land Use designation and the City’s R-1 Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

**SCHOOL CAPACITY REPORT:** The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on November 14, 2018.

**PUBLIC HEARING SCHEDULE:**

- January 8, 2019 - Planning Commission (5:30 pm)
- January 16, 2019 - City Council (7:00 pm) - 1<sup>st</sup> Reading
- February 6, 2019 – City Council (1:30 pm) – 2<sup>nd</sup> Reading and Adoption

**DULY ADVERTISED:**

- December 28, 2018 - Public Notice and Notification- (Apopka Chief, letter to property owner)
- January 25, 2019 – Public Notice (Apopka Chief)

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**RECOMMENDATION ACTION:**

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from C-1 to R-1 for the properties owned by William & Cecilia Uebel & Jose & Iris Acevedo.

The **Planning Commission**, at its meeting on January 8, 2019, found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and unanimously recommended approval of the proposed Change of Zoning from C-1 to R-1 for the properties owned by William & Cecilia Uebel & Jose & Iris Acevedo.

The **City Council**, at its meeting on January 16, 2019, accepted the first reading of Ordinance No. 2706 and held it over for second reading and adoption on February 6, 2019.

**Recommended Motion:** Adopt Ordinance No. 2706.

**Note:** This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



**ZONING REPORT**

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	“County” Rural	“County” R-CE	Single Family Home
East (County)	“County” Rural Settlement 1/5	“County” R-CE	Woodlands
South (City & County)	“City” Residential Estates & “County” Rural	“County” A-1	Single Family Homes
West (County)	“County” Rural	“County” R-CE	Single Family Homes

**LAND USE & TRAFFIC  
 COMPATIBILITY:**

The properties are currently accessed from W. Kelly Park Rd. and Mt. Plymouth Rd. Each parcel contains an existing single family home. The proposed R-1 zoning is compatible, due to the size and use of the properties.

**COMPREHENSIVE PLAN  
 COMPLIANCE:**

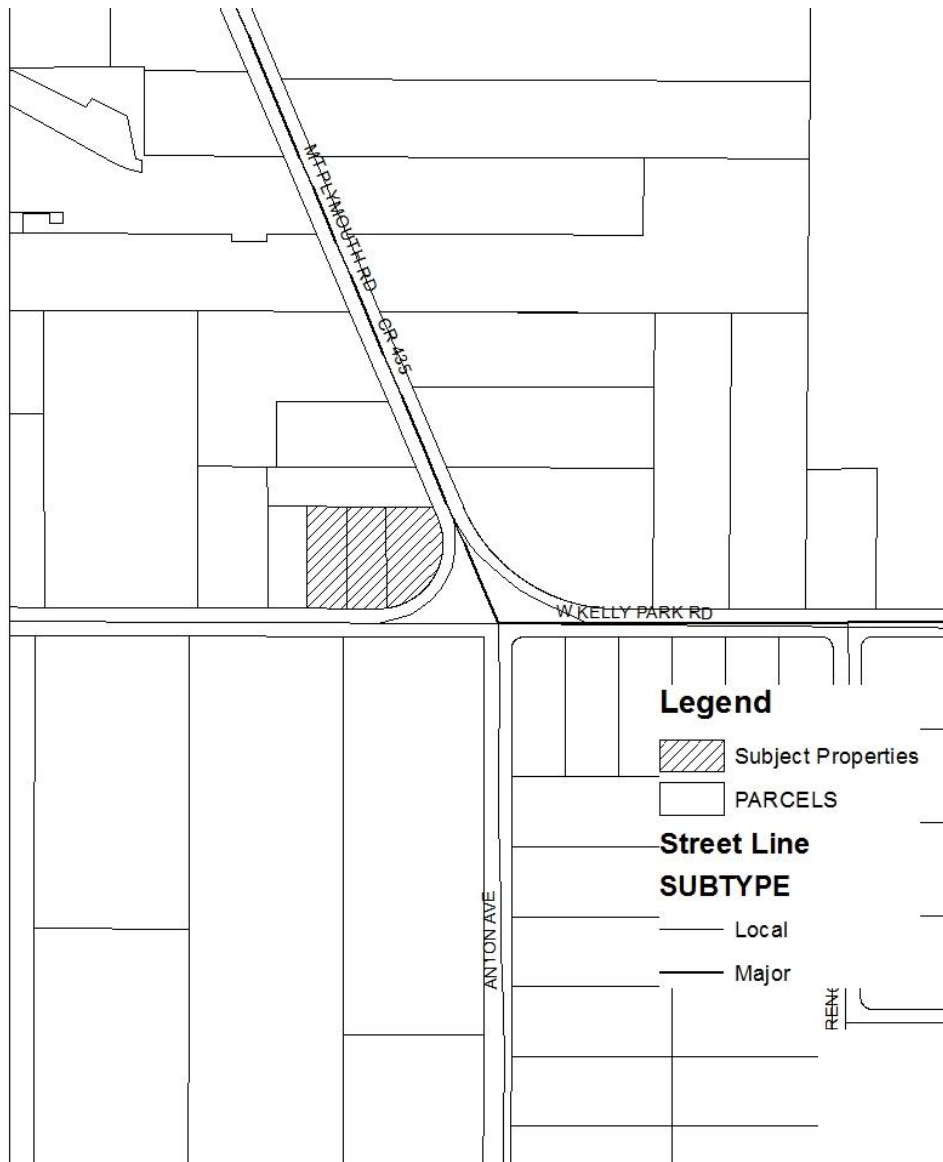
The proposed R-1 zoning is consistent with the proposed Future Land Use designation, “Residential Very Low Suburban” (0-2 DU/AC) and with the character of the surrounding area and future proposed development. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

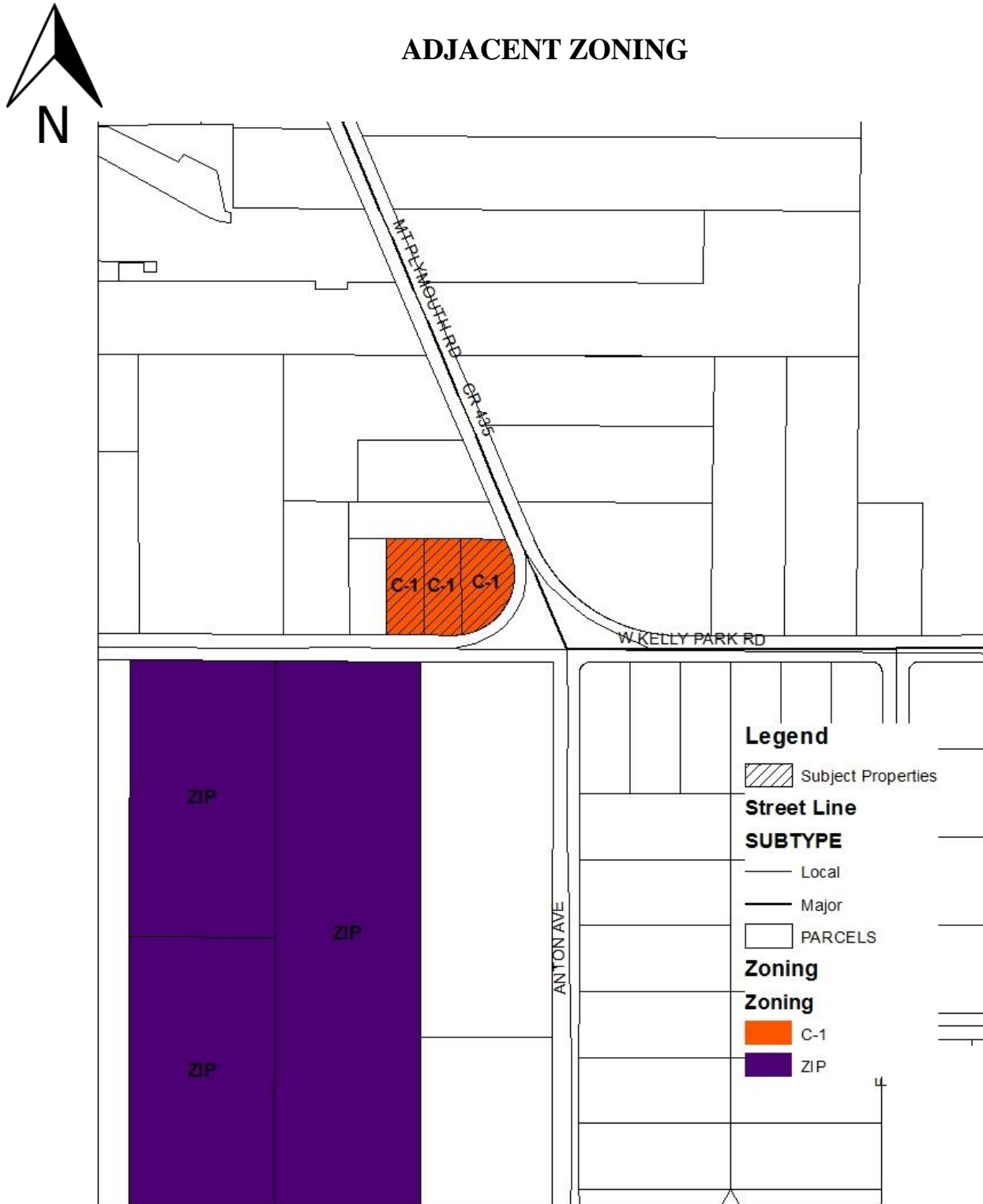


**William & Cecilia Uebel & Jose & Iris Acevedo**  
**1.36 +/- acres**  
**Proposed Small Scale Future Land Use Amendment:**  
**From: Commercial**  
**To: Residential Very Low Suburban**  
**Proposed Change of Zoning:**  
**From: C-1**  
**To: R-1**

**Parcel ID #: 09-20-28-7608-00-350, 09-20-28-7608-00-354, 09-20-28-7608-00-352**

### VICINITY MAP





Prepared by: Apopka Community Dev. Dept., November 2018



### ADJACENT USES



Source: Orange County Property Appraiser Aerial, November 2018



**ORDINANCE NO. 2706**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM C-1 (COMMERCIAL RETAIL DISTRICT) TO R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) FOR CERTAIN REAL PROPERTY LOCATED NORTH OF WEST KELLY PARK ROAD AND WEST OF MT. PLYMOUTH ROAD, COMPRISING 1.36 ACRES MORE OR LESS, AND OWNED BY WILLIAM & CECILIA UEBEL AND JOSE & IRIS ACEVEDO PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

**WHEREAS**, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

**WHEREAS**, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

**WHEREAS**, the proposed R-1 (Single Family Residential District) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

**NOW THEREFORE, BE IT ORDAINED**, by the City Council of the City of Apopka, Florida, as follows:

**Section I.** That the zoning classification of the following described property be designated as R-1 (Single Family Residential District) as defined in the Apopka Land Development Code and as appearing in Exhibit “A”:

**Section II.** That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

**Section III.** That the Community Development Director, or the Director’s designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

**Section IV.** That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

**Section V.** That all ordinances or parts of ordinances in conflict herewith are hereby repealed.



**Section VI.** This Ordinance shall take effect if and when the companion Comprehensive Plan Future Land Use Map amendment relative to the subject property (Ord. 2705) becomes effective pursuant to § 163.3187(5)(c), Fla. Stat. If the companion Comprehensive Plan Future Land Use Map amendment does not become effective, then this Ordinance shall become null and void.

READ FIRST TIME: January 16, 2019

READ SECOND TIME  
AND ADOPTED: February 6, 2019

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Bryan Nelson, Mayor

ATTEST:

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Linda Goff, City Clerk

DULY ADVERTISED: December 28, 2018  
January 25, 2019



**WILLIAM & CECILIA UEBEL AND JOSE & IRIS ACEVEDO**

1.36 +/- acres

**Proposed Small Scale Future Land Use Amendment:**

**From: Commercial**

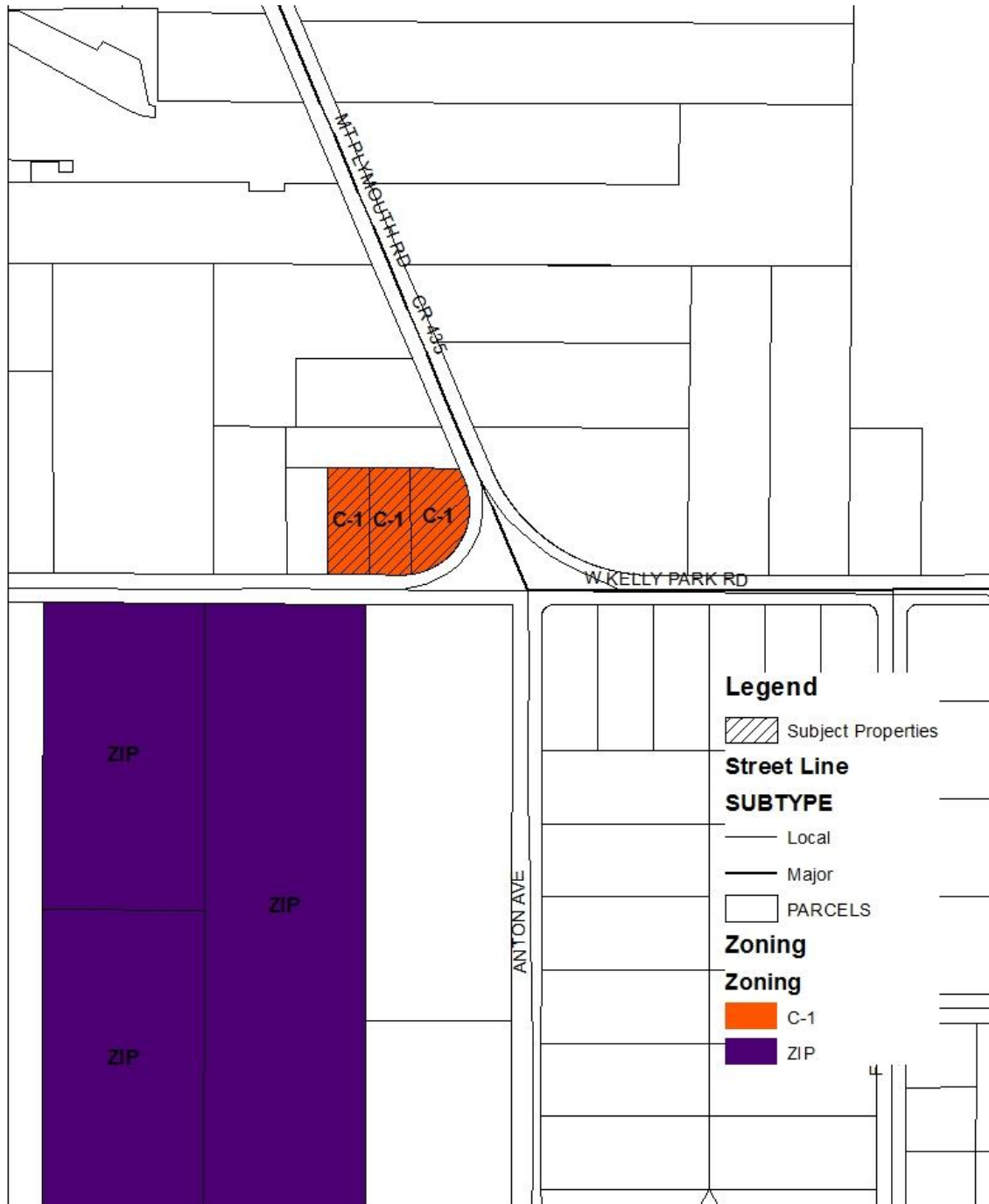
**To: Residential Very Low Suburban**

**Proposed Change of Zoning:**

**From: C-1**

**To: R-1**

**Parcel ID #: 09-20-28-7608-00-350, 09-20-28-7608-00-354, 09-20-28-7608-00-352**





# CITY OF APOPKA CITY COUNCIL

       CONSENT AGENDA  
  X   PUBLIC HEARING  
       SPECIAL REPORTS  
  X   OTHER: Ordinance

MEETING OF: February 6, 2019  
FROM: Community Development  
EXHIBITS: Land Use Report  
Vicinity Map  
Future Land Use Map  
Adjacent Zoning Map  
Adjacent Uses Map  
Concept Plan  
Ordinance No. 2690

**SUBJECT:           ORDINANCE NO. 2690 – COMPRHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – CARROL M. HAMRICK**

**REQUEST:        ORDINANCE NO. 2690 – FIRST READING - COMPRHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – CARROL M. HAMRICK – FROM RESIDENTIAL ESTATES (0-1 DU/AC) TO RESIDENTIAL VERY LOW SUBURBAN (0-2 DU/AC); AND AUTHORIZE TRANSMITTAL TO THE FLORIDA DEPARTMENT OF ECONOMIC OPPORTUNITY.**

**SUMMARY:**

OWNER:                           Carrol M Hamrick  
APPLICANT:                       PMDW Ventures, LLC  
LOCATION:                         North of West Ponkan Rd. & West of Mt. Stirling Avenue  
PARCEL ID #(S):                 21-20-28-0000-00-019 & 21-20-28-0000-00-022  
EXISTING USE:                    Vacant  
DEVELOPMENT  
POTENTIAL:                       35 Single Family Houses  
CURRENT ZONING:                R-1AA (Single Family Residential)  
PROPOSED ZONING:               R-1AA (Single Family Residential)  
MAXIMUM ALLOWABLE  
DEVELOPMENT UNDER  
FLUM:                            EXISTING FLU:        35 Dwelling Units  
                                      PROPOSED FLU:     70 Dwelling Units  
TRACT SIZE:                     35.21 +/- acres

**FUNDING SOURCE: N/A**

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**ADDITIONAL COMMENTS:** The applicant intends to use the subject properties for a single family subdivision, and requests the City to assign a future land use designation of Residential Very Low Suburban to the property.

The subject properties were annexed into the City on July 18, 1990 via Ordinance No. 624. Pursuant to Florida law, properties ten acres or more are required to undergo review by State planning agencies.

A request to assign a Future Land Use Designation of Residential Very Low Suburban is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 35.21 acres.

Residential Very Low Suburban Future Land Uses:

“The primary use shall be residential dwelling units up to 2 dwelling units per acre, elementary schools; middle schools; supporting infrastructure of less than two acres, neighborhood parks.”

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report). Based on the findings of the Land Use report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed use of the property is consistent with the Residential Very Low Suburban designation.

**SCHOOL CAPACITY REPORT:** An executed capacity enhancement agreement with Orange County Public Schools will be required prior to adoption of the future land use amendment.

**PUBLIC HEARING SCHEDULE:**

November 13, 2018 - Planning Commission (5:30 pm)  
December 5, 2018 - City Council (7:00 pm) - 1st Reading & Transmittal (continued)  
February 6, 2019 –City Council – (1:30 pm)

**DULY ADVERTISED:**

November 2, 2018 – Public Notice (Apopka Chief) and Notification (letters and posting)

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**RECOMMENDATION ACTION:**

**Planning Commission:** On November 13, 2018, the Planning Commission found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommended transmittal of the Future Land Use Map designation from Residential Estates (0-1 du/ac) to Residential Very Low Suburban (0-2 du/ac) to the Florida Department of Economic Opportunity.

**City Council:** On December 5, 2018, the City Council voted to postpone the first reading of Ordinance No. 2690 to February 6, 2019, and requested that the applicant hold a community meeting with nearby residents before the February 6 City Council meeting.

**Recommended Motion:** Accept the first reading of Ordinance No. 2690 and authorize transmittal to the Florida Department of Economic Opportunity.

**Note:** This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**LAND USE REPORT**

**I. RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Estates (0-1 DU/AC)	PUD	Rock Springs Ridge Subdivision
East (City)	Residential Estates (0-1 DU/AC)	PUD	Rock Springs Ridge Subdivision
South (City)	Mixed Use	Mixed-CC	Vacant
West (County)	Rural	A-1	Single Family House

**II. LAND USE ANALYSIS**

The applicant intends to use this site for a single family subdivision.

- North: Abutting the subject property to the north is Rock Springs Ridge Phase 2, a single family subdivision.
- West: The property to the west is moderately wooded and comprises of a single family house.
- South: The adjacent property is vacant.
- East: To the east is the aforementioned Rock Springs Ridge Phase 2, a single-family residential community.

The proposed future land use designation of Residential Very Low Suburban (0-2 du/ac) is consistent with the surrounding future land use designations and Policy 3.5 in the City’s Comprehensive Plan, Future Land use Element: “Residential development north of Ponkan Road and west of Rock Springs Road (Park Avenue) will be restricted to no more than two dwelling units per acre, unless otherwise authorized through the adopted Wekiva Parkway Interchange Plan.”

Therefore, staff supports the proposed future land use changes.

Other Information:

- Wekiva River Protection Area: No
- Area of Critical State Concern: No
- DRI / FQD: No

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18



Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that karst features are within the vicinity of this property.

Analysis of the character of the Property: The properties abut Mt. Stirling Avenue and Rock Springs Ridge Ph. 2 to the east. City parcels to the north and east have a maximum allowable residential density of one dwelling unit per acre. Due to the previously mentioned, Comprehensive Plan, Policy 3.5, the maximum allowable residential density of the south-adjacent Mixed Use parcels is 2 dwelling units per acre. Subsequently, the proposed Residential Very Low Suburban, also allows a maximum density of 2 dwelling units per acre. Thus, staff finds the proposed Residential Very Low Suburban Future Land Use to be compatible with the property, and within the vicinity.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the subject site is Residential Very Low Suburban (0 – 2 du/ac). An amendment to the Future Land Use of Residential Very Low Suburban Density will generate an estimated population increase of up to 93 persons. Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population, but a housing supply is needed to meet the growing population.

**CALCULATIONS:**

EXISTING: Residential Estates (0-1 DU/AC, 35.21 AC)  
 $35 \text{ D/U} \times 2.659 \text{ p/h} = 93 \text{ persons}$

PROPOSED: Residential Very Low Suburban (0-2 DU/AC)  
 $70 \text{ D/U} \times 2.659 \text{ p/h} = 186 \text{ persons}$   
**Net Increase = 93 Persons**

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments ten (10) acres or more in size. This site is greater than ten acres. A habitat study will be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the City of Apopka service area for potable water, reclaimed water and sanitary service.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita ; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 6,860 GPD
3. Projected total demand under proposed designation: 13,720 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita

6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPD/Capita ; 177 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 7,350 GPD
3. Projected total demand under proposed designation: 14,700 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD / Capita
6. Projected LOS under proposed designation: 177 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 372 lbs/ day
4. Projected LOS under proposed designation: 744 lbs / day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217  
Permitting agency: St. John's River Water Management District  
Permitted capacity of the water treatment plant(s): 9.353 MGD  
Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year – 24 hour design storm
3. Projected LOS under proposed designation: 100 year – 24 hour design storm
4. Improvement/expansion: On site retention / detention ponds

Recreation

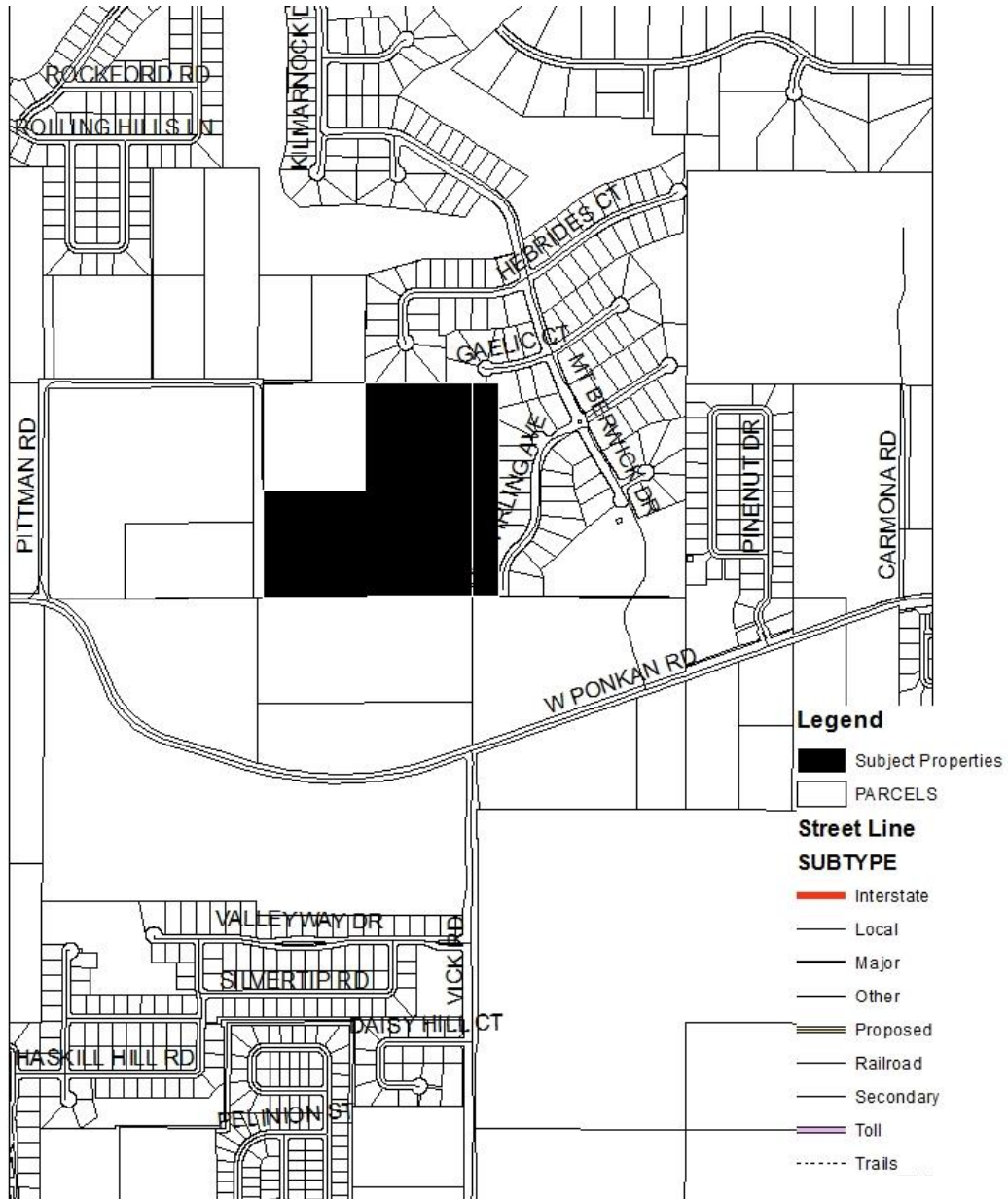
1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: 0.279 acres
3. Projected facility under proposed designation: 0.558 acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



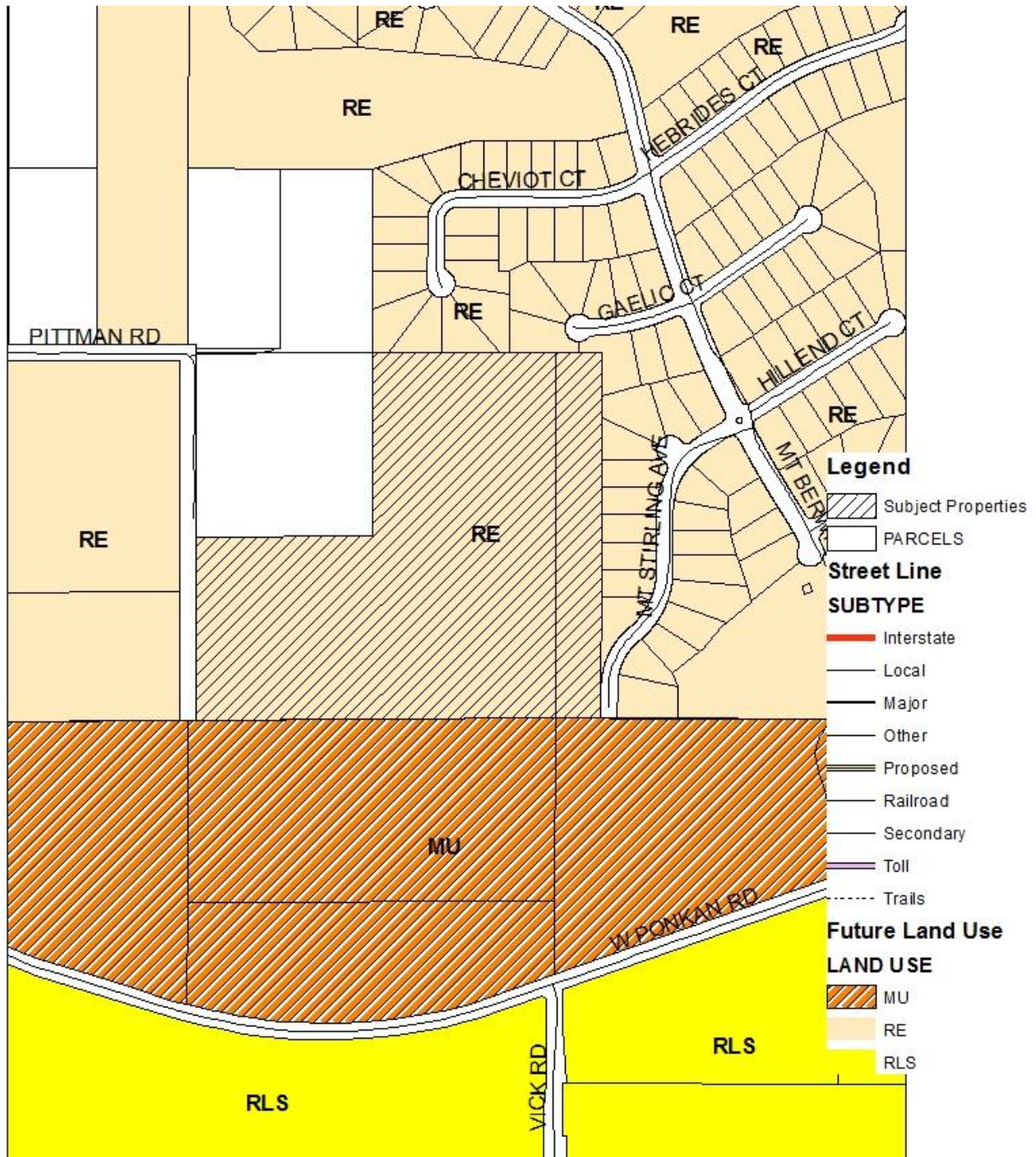
**Proposed Large Scale Future Land Use Amendment:  
From: Residential Estates  
To: Residential Very Low Suburban (0-2 DU/AC)  
Parcel ID #s: 20-20-28-0000-00-022 & 21-20-28-0000-00-019**

**VICINITY MAP**





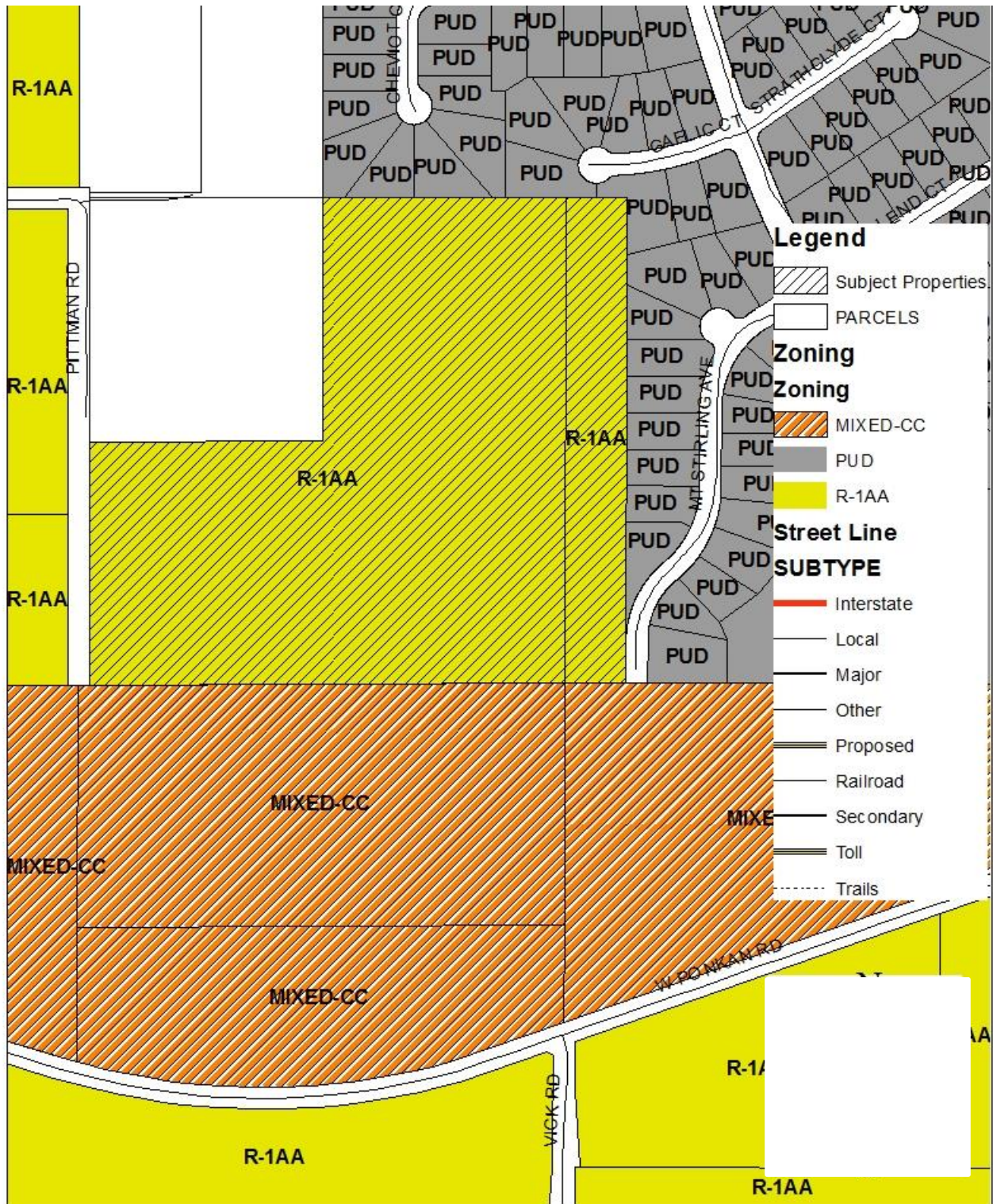
### FUTURE LAND USE MAP







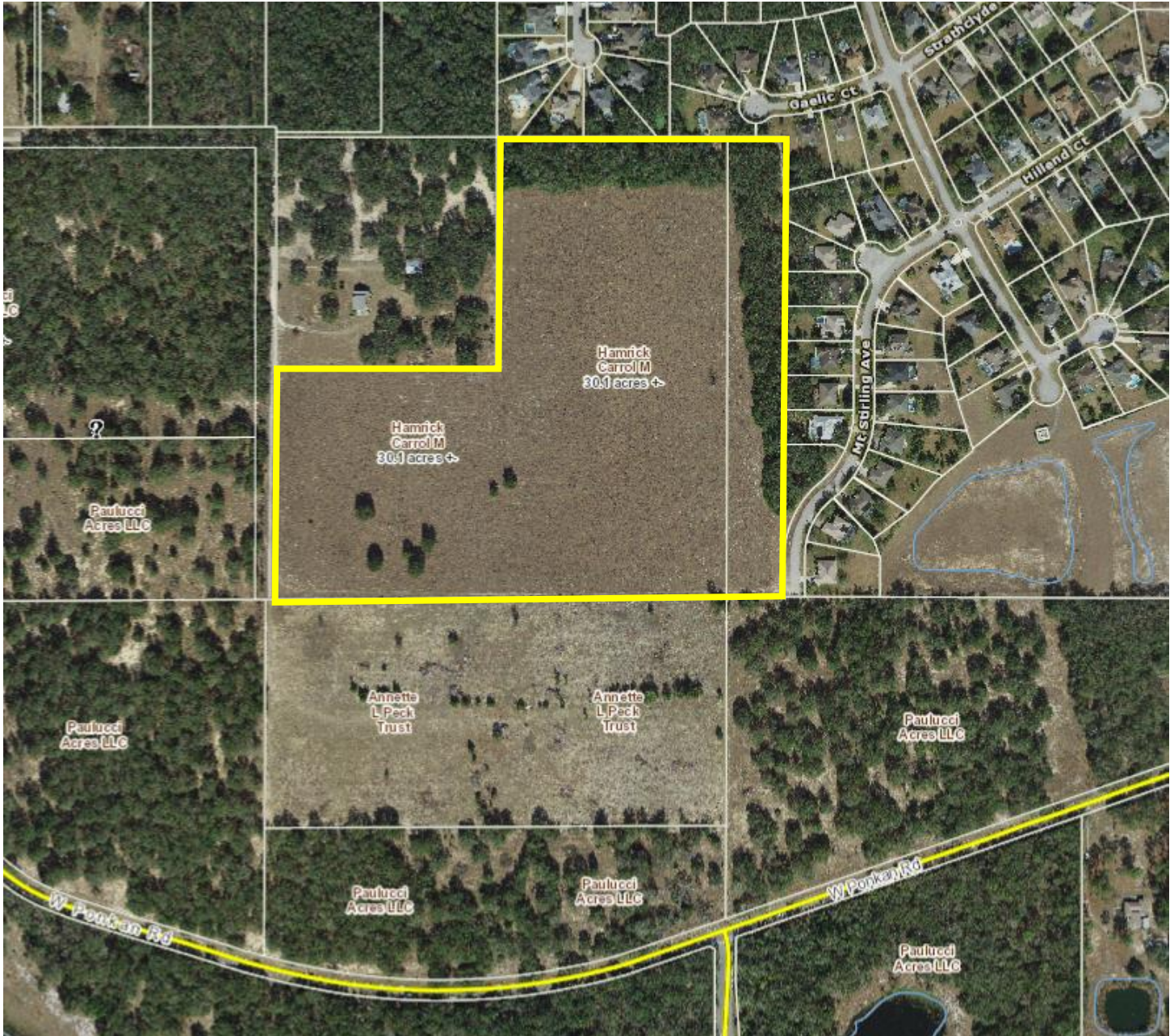
### ADJACENT ZONING







### ADJACENT USES



**ORDINANCE NO. 2690**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM RESIDENTIAL ESTATES TO RESIDENTIAL VERY LOW SUBURBAN FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF WEST PONKAN ROAD AND WEST OF MOUNT STERLING AVENUE, OWNED BY CAROL M. HAMRICK; COMPRISING 35.21 ACRES, MORE OR LESS, PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

WHEREAS, the City Council of the City of Apopka, Florida, on October 2, 1991 adopted Ordinance No. 653 which adopted the Comprehensive Plan for the City of Apopka; and

WHEREAS, the City of Apopka has subsequently amended the Comprehensive Plan for the City of Apopka, most recently through Ordinance No. 2659; and

WHEREAS, the City of Apopka's Local Planning Agency and the City Council have conducted the prerequisite advertised public hearings, as per Chapter 163, Florida Statutes, relative to the transmittal and adoption of this ordinance and the requirements for amendment to the Comprehensive Plan.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: The City of Apopka hereby amends the Future Land Use Element of the adopted Comprehensive Plan as follows:

The Future Land Use Map is hereby amended for the property identified in Exhibit "A" of this Ordinance to Residential Very Low Suburban, and incorporated herein by reference.

SECTION II: This Ordinance shall become effective following adoption and upon issuance by the Department of Economic Opportunity or the Administration Commission, as may be applicable, a final order finding the amendment to be in compliance in accordance with Chapter 163.3184.

SECTION III: If any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION IV: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION V: This Ordinance shall become effective upon issuance of a final order by the Florida Department of Economic Opportunity finding the plan amendment in compliance in accordance with s.163.3184 (2)(a), Florida Statute.

ADOPTED at a regular meeting of the City Council of the City of Apopka, Florida, this \_\_\_\_ day of \_\_\_\_\_, 2019.

READ FIRST TIME: December 5, 2018

READ SECOND TIME: February 6, 2019

READ THIRD TIME AND ADOPTION: \_\_\_\_\_

\_\_\_\_\_  
Bryan Nelson, Mayor

ATTEST:

\_\_\_\_\_  
Linda Goff, City Clerk

DULY ADVERTISED FOR PUBLIC HEARING: November 2, 2018





EXHIBIT "A"

CAROL M HAMRICK

Property Owner

35.21 +/- Acres

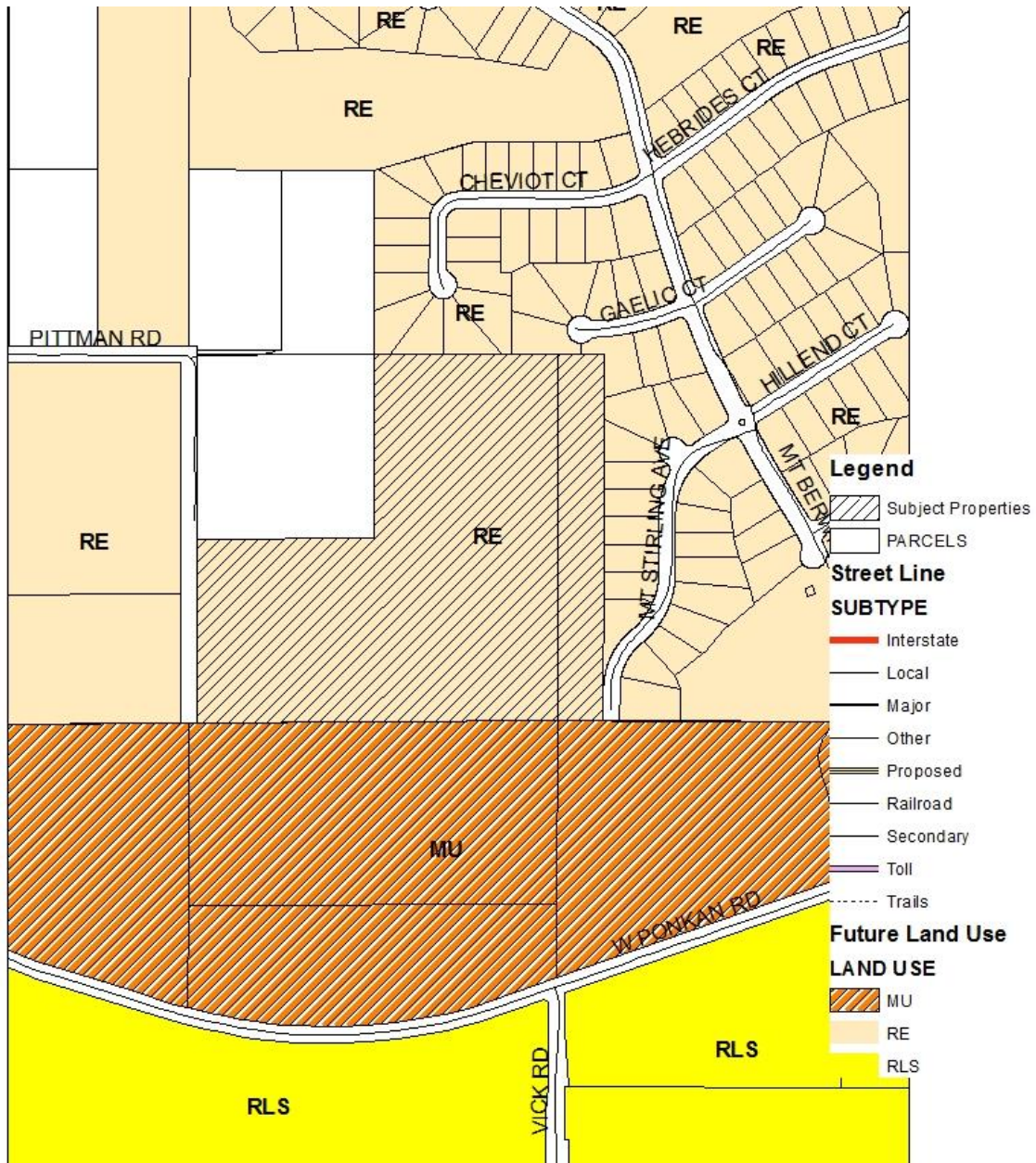
Proposed Large Scale Future Land Use Amendment:

From: Residential Estates (0-1 DU/AC)

To: Residential Very Low Suburban (0-2 DU/AC)

Parcel ID #: 21-20-28-0000-00-019 & 21-20-28-0000-00-022

FUTURE LAND USE MAP







# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: PUD Master Plan;  
Preliminary Development Plan;  
and Preliminary Site Plan

MEETING OF: February 6, 2019  
 FROM: Community Development  
 EXHIBITS: Zoning Report  
 Vicinity Map  
 Adjacent Zoning Map  
 Aerial Map  
 PUD Master Plan Amendment  
 Ordinance No. 2709  
 Preliminary Development Plan  
 Preliminary Site Plan

**SUBJECT:**                           **ORDINANCE NO. 2709 - PUD MASTER PLAN AMENDMENT FOR MID-FLORIDA LOGISTICS PARK**

**REQUEST:**                           **ORDINANCE NO. 2709 – FIRST READING - AMENDMENT OF THE PUD MASTER PLAN; PRELIMINARY DEVELOPMENT PLAN; AND PRELIMINARY SITE PLAN FOR MID-FLORIDA LOGISTICS PARK; AND HOLD OVER FOR SECOND READING AND ADOPTION.**

**SUMMARY:**

**OWNERS:**                               Mid-Florida Freezer Warehouses LTD, Florida Express Trucking, Inc., Eagles Landing at Ocoee, LLC

**APPLICANT:**                           Dave Schmitt Engineering, Inc. c/o Bryan Gaines, AICP

**LOCATION:**                               West side of SR 429, south of General Electric Road, and east of Hermit Smith Road

**PARCEL ID NUMBERS:**               01-21-27-0000-00-060, 06-21-28-7172-12-020, 06-21-28-7172-12-041, 06-21-28-7172-12-060, 01-21-27-0000-00-030, 06-21-28-7172-13-000, 12-21-27-0000-00-010, 12-21-27-0000-00-018, 12-21-27-0000-00-015, 12-21-27-0000-00-017, 12-21-27-0000-00-021

**EXISTING USE:**                           Vacant

**FLUM DESIGNATION:**                Industrial

**CURRENT ZONING:**                   Planned Unit Development (PUD)

**PROPOSED DEVELOPMENT:**        2,342,566 square feet industrial buildings; developed in multiple phases

**PROPOSED ZONING:**                 Planned Unit Development (PUD)

**TRACT SIZE:**                          189.00 +/- acres

**FUNDING SOURCE:** N/A

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**ADDITIONAL INFORMATION:** A revised development agreement will appear on the February 20, 2019 City Council meeting together with the second hearing for the amendment to the PUD Master Plan.

On October 18, 2018, the City Commission approved a PUD Master Plan for Mid-Florida Logistics Park, which detailed the construction of a subdivision consisting of five industrial warehouse buildings totaling 2,406,095 on property located west of SR 429, south of General Electric Road and east of Hermit Smith Road. The applicant has submitted an amendment to the PUD Master Plan for approval, and is requesting to amend the PUD Master Plan to accomplish the following: 1) reduce the overall permitted square footage from 2,406,095 square feet to approximately 2,342,566 square feet, 2) relocate Building 2 into an east-west configuration from a north-south configuration, and extend Building 5 further to the east and rename Building 5 to Building 5A and 5B, 3) reconfigure two public rights-of-ways proposed for construction on the property; and 4) allow extension of the rail spur to connect to the southern-most lot.

**PROJECT DESCRIPTION:** The amended PUD Master Plan proposes an industrial subdivision consisting of five industrial warehouse buildings totaling approximately 2,342,566 square feet. Consistent with the PUD Master Plan that was approved on October 18, 2018, access to the site is proposed via an ingress/egress point on Hermit Smith Road, two ingress/egress points on General Electric Road, and a yet to be constructed road that is dedicated to the public that is referred to as Shelby Industrial Drive, which is proposed to be constructed in a north-south configuration. Shelby Industrial Drive will terminate at Building 5A and 5B, and will intersect with Peterson Road, which is proposed to run in an east-west direction. Peterson Road will extend to the east and will cross under SR 429, which will facilitate roadway connections to properties located on the east side of SR 429. The PUD Master Plan details the dedication of 25-feet of public right-of-way to the east of Building 5A to allow future access to the properties to the south. In addition, three railroad spurs are proposed to lead into buildings 1A and 1B, 2, and 3. The railroad spurs will be located along the right-of-way of Shelby Industrial Drive. An unimproved platted right-of-way known as Peterson Road bisects the property from east to west. This right-of-way is proposed to be vacated when the property is platted, and the right-of-way of Peterson Road will be relocated to the south to allow access to the property owners located to the south of the PUD. The proposed relocation of the Peterson Road right-of-way is shown on the amended PUD Master Plan. The new right-of-way of Peterson Road is proposed at 80-feet in width. Consistent with the approved PUD Master Plan, parking will be provided on each lot, and will be owned and maintained by each property owner.

Four stormwater retention areas are proposed on site. Pond A (dry retention) is proposed south of Building 3, Pond B is proposed east of Buildings 1A and 1B and adjacent to the west of SR 429, and Ponds C1 (dry retention) and C2 (wet detention) are proposed south and west of Buildings 5A and 5B.

**Deviations:** No new deviations are proposed. The applicant is carrying over five (5) deviations to the City's required development standards that were approved with the Master Plan on October 18, 2018. For a PUD Master Plan, a deviation from the City's Land Development Code (LDC) does not represent a variance but a development standard or zoning condition unique to and approved as part of the Planned Unit Development zoning. PUD's are required to satisfy the requirements of the Land Development Code unless the City Council finds that, based on substantial evidence, a proposed alternative development guideline is adequate to protect to the public health safety, and welfare. Any deviations must be consistent with the policies of the Comprehensive Plan.

1. LDC, Section 6.03.02.A. Number of parking spaces required (Wholesale, industrial, manufacture, processing or assembly uses) - 2 spaces per 1,000 square feet of gross floor area up to 150,000 square feet, plus 1 space per vehicle operating from premises or 1 space per 2 employees. 1 space per 1,000 square feet over 150,000 square feet of gross floor area.  
The applicant is proposing 0.89 parking spaces per 1,000 square feet of gross floor area.

The following justification has been provided: "The ITE Parking Generation Manual, Edition, 85<sup>th</sup> percentile parking requirement for warehouse use is 0.81 spaces per 1,000 sq

feet of gross floor area.”

2. LDC, Section 2.02.01.A. - Maximum building height for all zoning districts is 35-feet.

The applicant is proposing a maximum building height of 55-feet within the PUD.

The following justification has been provided: “The modern warehouses require 36-feet to 45-feet of clear space under roof to accommodate automated materials handling equipment and maximize storage.”

3. LDC, Section 2.02.15.F. Yard requirements - Front yard – 25-feet, side yard – 10-feet, Yards adjacent to road right-of-ways shall be a minimum of 25-feet, Rear Yard – 10-feet (30-feet adjacent to residential)

The applicant is proposing 15-foot setback on General Electric Road, Hermit Smith Road to main entrance, 0-feet to 10-feet adjacent to SR 429, 10-feet to 25-feet adjacent to Peterson Road, 10-feet adjacent to Fern Industrial Drive.

The following justification has been provided: “The northwestern portion of the site is constrained by the encroachment of General Electric Road. SR 429 has 300-feet of right-of-way, 6 lanes, and provides a 20-foot high barrier to adjacent property to the east.”

4. LDC, Section 2.02.01.b(8a) – Roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.

The applicant is proposing roof top equipment shall be screened from view from adjacent property lines and public right-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 135-feet, approximately 20-feet above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the subdivision president and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the center line of the public right-of-way. The eye line shall be from the typical height of a person driving an automobile.

The following justification has been provided: “All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and right-of-way.”

5. LDC, Section 6.02.08.B.2 – All subdivisions are required to have four-foot wide concrete sidewalks on both sides of all local and minor collector streets.

The applicant is proposing to construct an 8-foot wide sidewalk along only one side of Fern Industrial Drive.

The following justification has been provided: “We are requesting that we do not place a sidewalk on the east side of the right-of-way proximate to the rail spurs. The pedestrian access plan provided on Sheet 6 of the PUD Master Plan shows a network of pedestrian facilities serving the entire site. The sidewalk on the west side of Fern Industrial is the spine connecting the southern end of the site with General Electric Road. All buildings are connected to this north/south spine and the appropriate crosswalks are provided when needed. We [BlueScope] remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the rail spurs to the east of Fern Industrial serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent interaction of pedestrians and rail vehicles.”

Road, Hermit Smith Road, and Fronds Road. Peterson Road is also a future access point for this project as well as for properties to the south of the Mid-Florida Logistics Park site. The proposed Peterson Road alignment will also create connection to Peterson Road east of SR 429, allowing any residents of Avian Pointe to reach the Logistics Park. The Peterson Road connection between the east and west side of SR 429 also allows another road connection besides using West Orange Avenue and Binion Road, thus allowing traffic to distribute over more routes.

**TRANSPORTATION:** A transportation impact analysis (TIA) was conducted for this project to assess its impacts on the surrounding roadway segments and intersections within a one-mile radius of the project per the City’s adopted TIA methodology. Included in the analysis were segments of US 441, General Electric Road, Binion Road, Hermit Smith Road and Hogshead Road. Intersections analyzed were General Electric Road & Orange Avenue, Hermit Smith Road & General Electric Road, Hermit Smith Road & US 441, SR 429 Connector Road & US 441, Orange Avenue & US 441, Plymouth Sorrento Road & US 441, Boy Scout Boulevard & U&S 441, General Electric Road & Site Access, and Hermit Smith Road & Site Access. Peterson Road connection requires additional right-of-way east of SR 429. In exchange for the City vacating Fromm Road and Peterson Road, Mid-Florida Freezer will be obligated to donate an additional 30-foot width of land along Peterson Road, east of SR 429, to create a 50-foot wide right-of-way.

The project will generate 3,444 daily trips and 246 P.M. Peak Hour trips. It is estimated that 20% of the total traffic generated by this project will be truck traffic. The nature of the land use supports the assumption that most of the truck traffic will leave the site and access SR 429 from US 441 and SR 429 Connector Road.

The addition of project trips to the study roadways will not cause the Level of Service (LOS) to fall below the City’s adopted LOS standard. The addition of project traffic to the intersection of Hermit Smith Road and US 441 will cause the intersection to fail. The applicant is required to design and construct a dedicated right turn lane on Hermit Smith Road to allow for safe access to US 441. The addition of project traffic to the other study intersections is not project to cause failures in the future.

The tenants of the Mid-Florida Logistics Park are unknown at this time, so trip generation is based on the best information currently available; however, it is possible that tenants occupying space at Mid-Florida Logistics Park will exceed the trip generation used to conduct the analysis. As the site develops and becomes occupied, the applicant must reassess the trip generation. If it exceeds the projected trip generation used in the analysis, an updated study is required and additional mitigation for roadway and intersection failures caused by the project traffic.

**PUD RECOMMENDATIONS:** No new PUD recommendations are proposed. The below conditions carryover from the original City Council approval. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be single-family residential uses.
- B. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or

3. Rezone the property to a more appropriate zoning classification.

C. Zoning Standards - The following uses are permitted within the PUD district:

1. All permitted uses allowed under I-1 zoning district;
2. The uses allowed by the “Developer’s Agreement for Development of Copart, Inc. Apopka Property,” as recorded as document number 20160275220 within the official records of Orange County, Florida, shall be available uses within this PUD if the Copart Developer’s Agreement is terminated with the mutual consent of City Council and the property owner subject to the Copart Developer’s Agreement;
3. Long-term outdoor vehicle (bus, car, cab, and truck) storage and terminal use is permitted within the PUD as an accessory use if said vehicle parking is associated with an enclosed building having a minimum floor area of 10,000 square feet and located within the same Lot or abutting lots. All vehicles stored outdoors must be operable.

D. The following uses are Prohibited within the PUD district:

1. Flea markets
2. Day-care centers except when provided solely for on-site employees
3. Churches
4. Public or private schools (K-12th grade) except when located within a stand-alone building
5. Community residential homes
6. All prohibited uses for the I-1 zoning district

E. Special Exceptions: As set forth by the I-1 zoning district except if listed as a permitted or prohibited uses above.

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed amendment and use of the property is consistent with the proposed Industrial Future Land Use designation and is consistent with the Land Development Code, except for those which deviations are proposed to.

**ORANGE COUNTY NOTIFICATION:** Pursuant to Section 7 of the Joint Planning Area agreement, notification to Orange County was provided on December 5, 2018.

**PUBLIC HEARING SCHEDULE:**

January 8, 2019 - Planning Commission (5:30 pm)  
February 6, 2019 - City Council (1:30 pm) - 1st Reading  
February 20, 2019 – City Council (7:00 pm) - 2nd Reading

**DULY ADVERTISED:**

December 21, 2018 – Public Notice (Apopka Chief); Letter, Poster



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**RECOMMENDATION ACTION:**

The **Development Review Committee** finds the proposed amendment to the Planned Unit Development (PUD) Master Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the amendment to the Mid-Florida Logistics Park PUD Master Plan.

The **Planning Commission**, at its meeting on January 8, 2019, unanimously recommended approval of the amendment to the Mid-Florida Logistics Park Planned Unit Development (PUD) Master Plan based on the findings and facts presented in the staff report and exhibits, and subject to City Council approving a revised Development Agreement.

**City Council:** Accept the First Reading of Ordinance No. 2709 and Hold it Over for Second Reading and Adoption on February 20, 2019.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**ZONING REPORT**

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Industrial (max FAR 0.60)	I-1	Transport/freight uses, Copart
East (City)	None assigned	N/A	SR 429 right-of-way
South (County)	Orange County Rural	AG	Vacant property
West (City)	Orange County Rural	AG	Lake Apopka Restoration Area

**LAND USE &**

**TRAFFIC COMPATIBILITY:**

The property is accessed via Hermit Smith Road and General Electric Road and a yet to be constructed public roadway referred to as Fern Industrial Drive, which will be owned and maintained by the City of Apopka. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly Industrial and Rural.

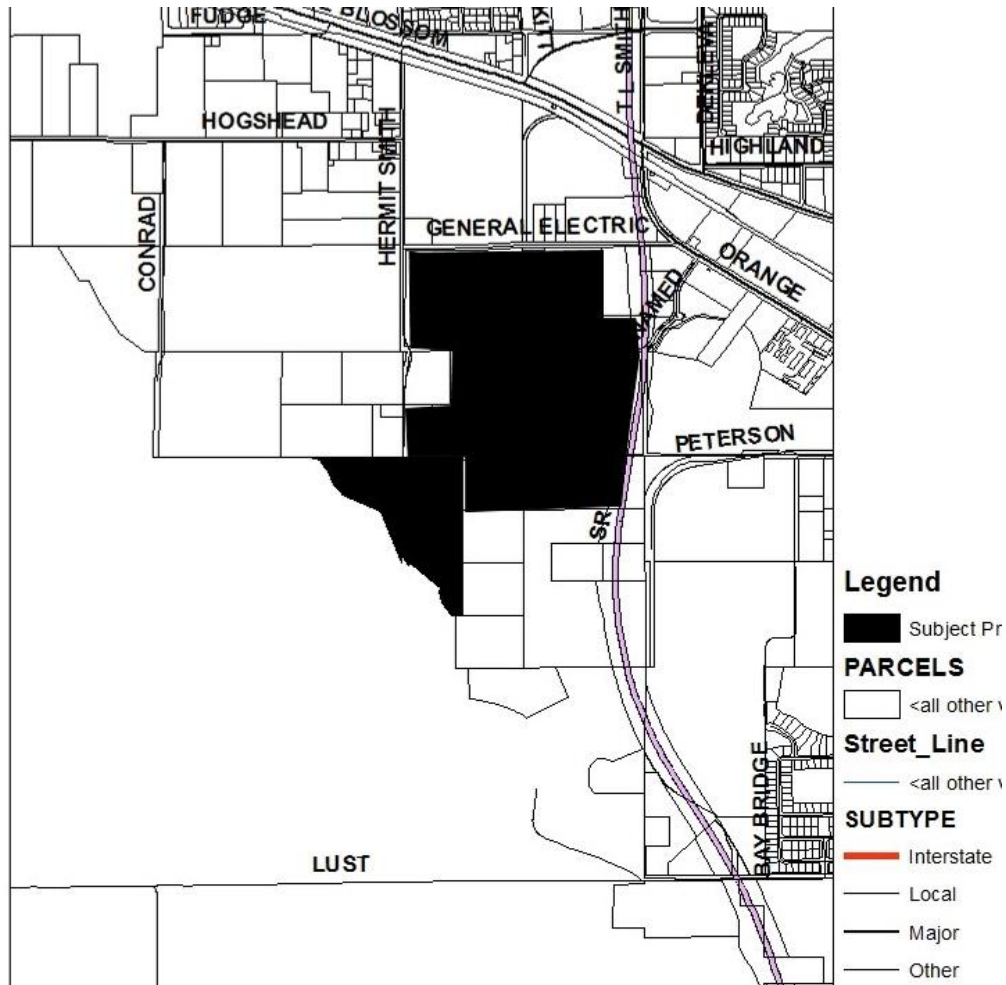
**COMPREHENSIVE  
PLAN COMPLIANCE:**

The proposed PUD zoning is compatible with policies set forth in the Comprehensive Plan.

**ALLOWABLE  
USES:**

Industrial uses as set forth within the Planned Unit Development Master Plan.

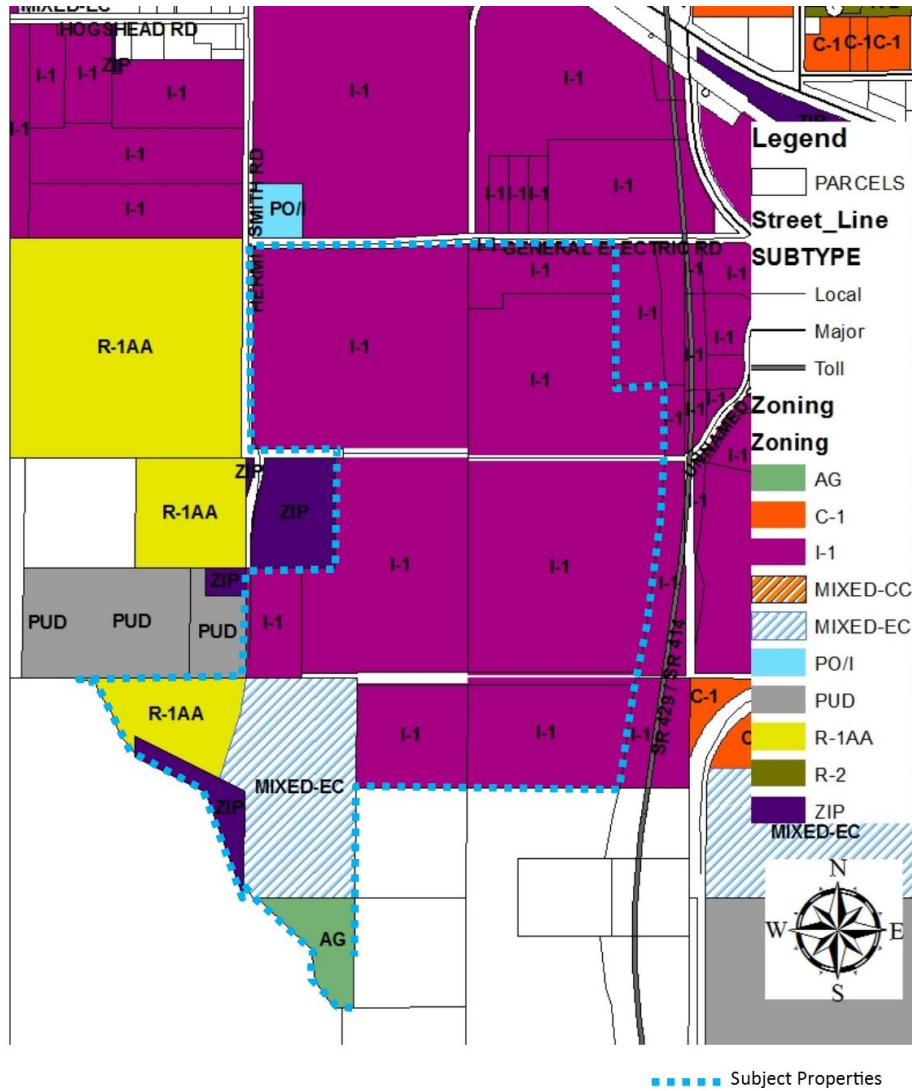
**Project:** MID-FLORIDA LOGISTICS PARK  
**Owned by:** Mid-Florida Freezer Warehouses LTD; Florida Express Trucking, Inc.; Eagles Landing at Ocoee, LLC  
**Located:** East side of Hermit Smith Road, South of General Electric Road, west of SR 429  
**Parcel ID#s:** 01-21-27-0000-00-060; 06-21-28-7172-12-020; 06-21-28-7172-12-041; 06-21-28-7172-12-060; 01-21-27-0000-00-030; 06-21-28-7172-13-000; 12-21-27-0000-00-010; 12-21-27-0000-00-018; 12-21-27-0000-00-015; 12-21-27-0000-00-017; 12-21-27-0000-00-021



**VICINITY MAP**



## ADJACENT ZONING





## AERIAL MAP





**ORDINANCE NO. 2709**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING ORDINANCE NO. 2678, WHICH AMENDS THE ADOPTED “MID-FLORIDA LOGISTICS PARK PLANNED UNIT DEVELOPMENT (PUD) MASTER PLAN” FOR CERTAIN REAL PROPERTY GENERALLY LOCATED ON THE WEST SIDE OF SR 429, SOUTH OF GENERAL ELECTRIC ROAD, AND EAST OF HERMIT SMITH ROAD, COMPRISING 189.00 ACRES MORE OR LESS; OWNED BY MID FLORIDA FREEZER WAREHOUSES LTD, FLORIDA EXPRESS TRUCKING, INC., AND EAGLES LANDING AT OCOEE, LLC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

**WHEREAS**, to manage growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

**WHEREAS**, Dave Schmitt Engineering, Inc. has requested to amend, repeal and replace Ordinance 2678, adopted on October 17, 2018, and replace the adopted Mid-Florida Logistics Park Planned Unit Development (PUD) Master Plan through and by Ordinance No. 2678; and

**WHEREAS**, Ordinance No. 2709 has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

**NOW THEREFORE, BE IT ORDAINED**, by the City Council of the City of Apopka, Florida, as follows:

**Section I.** That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following development standards and provisions, and subject to the following zoning provisions:

- A. The following uses are permitted within the PUD district:
  - 1. All permitted uses allowed under I-1 zoning district;
  - 2. The uses allowed by the “Developer’s Agreement for Development of Copart, Inc. Apopka Property,” as recorded as document number 20160275220 within the official records of Orange County, Florida, shall be available uses within this PUD if the Copart Developer’s Agreement is terminated with the mutual consent of City Council and the property owner subject to the Copart Developer’s Agreement;
  - 3. Long-term outdoor vehicle (bus, car, cab, and truck) storage and terminal use is permitted within the PUD as an accessory use if said vehicle parking is associated with an enclosed building having a minimum floor area of 10,000 square feet and located within the same Lot or abutting lots. All vehicles stored outdoors must be operable.

- B. The following uses are Prohibited within the PUD district:
1. Flea markets
  2. Day-care centers except when provided solely for on-site employees
  3. Churches
  4. Public or private schools (K-12th grade) except when located within a stand-alone building
  5. Community residential homes
  6. All prohibited uses for the I-1 zoning district
- C. Special Exceptions: As set forth by the I-1 zoning district except if listed as a permitted or prohibited uses above.
- D. Development of the property shall occur consistent with the Master Site Plan set forth in Exhibit "B". Where any development standard conflicts between the Master Site Plan and the Land Development Code, the Master Site Plan shall preside. Any proposed revision to the Master Site Plan shall be evaluated and processed pursuant to the Land Development Code.
- E. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Site Plan/PDP provisions will expire. At such time, the City Council may:
1. Permit a single six-month extension for submittal of the required Final Development Plan;
  2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Site Plan provisions and any conditions of approval; or
  3. Rezone the property to a more appropriate zoning classification.

**Section II.** That the zoning classification of the following described Property, being situated in the City of Apopka, Florida, is hereby PUD as defined in the Apopka Land Development Code:

Legal Description: See Exhibit "A"

**Section III.** That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

**Section IV.** That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

**ORDINANCE NO. 2709**

**PAGE 3**

**Section V.** That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance. This Ordinance repeals and replaces Ordinance Number 2678.

**Section VI.** That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section VII.** That this Ordinance shall take effect upon the date of adoption.

READ FIRST TIME: February 6, 2019

READ SECOND TIME  
AND ADOPTED: \_\_\_\_\_

\_\_\_\_\_  
Bryan Nelson, Mayor

ATTEST:

\_\_\_\_\_  
Linda Goff, City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Joseph Byrd, City Attorney

DULY ADVERTISED: December 21, 2018  
February 1, 2019

**Exhibit "A" Legal Description**

THAT PART OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 21 SOUTH, RANGE 27 EAST AND THE NORTHEAST 1/4 OF SECTION 12, TOWNSHIP 21 SOUTH, RANGE 27 EAST, BEING DESCRIBED AS FOLLOWS; COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 1; THENCE RUN S00°14'22"W ALONG THE WEST LINE OF SAID SOUTHEAST 1/4, 60.00 FEET TO A POINT 60.00 FEET SOUTH OF, WHEN MEASURED PERPENDICULAR TO, THE NORTH LINE OF SAID SOUTHEAST 1/4; THENCE RUN N89°59'32"E PARALLEL WITH SAID NORTH LINE, 30.00 FEET TO THE EAST RIGHT OF WAY LINE OF HERMIT SMITH ROAD BEING THE EAST LINE OF A 30.00 RIGHT OF WAY RECORDED IN DEED BOOK 633, PAGE 385, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, FOR THE POINT OF BEGINNING; THENCE CONTINUE N89°59'32"E ALONG THE SOUTH RIGHT OF WAY LINE OF GENERAL ELECTRIC ROAD, AS RECORDED IN DEED BOOK 966, PAGE 424, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, 800.00 FEET; THENCE CONTINUE ALONG SAID SOUTH RIGHT OF WAY LINE N86°30'41"E, 494.11 FEET TO THE NORTHWEST CORNER OF LOT 4, BLOCK "L", MAP OF PLYMOUTH, AS RECORDED IN PLAT BOOK B, PAGES 17-18, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N89°59'32"E ALONG THE NORTH LINE OF SAID BLOCK "L", 872.00 FEET TO THE NORTHWEST CORNER OF LOT 1 OF SAID BLOCK "L"; THENCE RUN S00°08'04"E ALONG THE WEST LINE OF LOT 1 AND LOT 8 OF SAID BLOCK "L", 852.07 FEET TO THE NORTHWEST CORNER OF LOT 9 OF SAID BLOCK "L"; THENCE RUN N89°59'14"E ALONG THE NORTH LINE OF SAID LOT 9, 305.56 FEET TO THE WEST RIGHT OF WAY LINE OF STATE ROAD 429 (WESTERN BELTWAY); THENCE RUN THE FOLLOWING SIX (6) COURSES ALONG SAID WEST RIGHT OF WAY LINE S03°11'39"E, 222.83 FEET TO A CURVE CONCAVE TO THE WEST; THENCE RUN SOUTHERLY ALONG SAID CURVE HAVING A CENTRAL ANGLE OF 06°55'43", A RADIUS OF 7850.00 FEET, AN ARC LENGTH OF 949.26 FEET, A CHORD BEARING OF S04°57'27"W AND A CHORD DISTANCE OF 948.68 FEET; S08°25'18"W, 432.58 FEET; S12°48'38"W, 196.00 FEET; S07°57'36"W, 604.02 FEET; S15°57'29"W, 30.55 FEET TO THE SOUTH LINE OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 12; THENCE RUN S89°58'43"W ALONG SAID SOUTH LINE AND THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 12, 1583.51 FEET TO THE SOUTHWEST CORNER OF SAID NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4; THENCE RUN S00°26'22"W ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 12, 1316.77 FEET TO THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4; THENCE RUN S89°53'17"W ALONG THE SOUTH LINE OF SAID NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4, 124.64 FEET TO THE EASTERN BOUNDARY OF LANDS DEDICATED TO ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT PROPERTY PER OFFICIAL RECORDS BOOK 7711, PAGE 4081, OFFICIAL RECORDS BOOK 7786, PAGE 3958, AND OFFICIAL RECORDS BOOK 5586, PAGE 2510; THENCE RUN THE FOLLOWING FIFTEEN (15) COURSES ALONG SAID EASTERN BOUNDARY OF LANDS

**ORDINANCE NO. 2709**

**PAGE 5**

DEDICATED TO ST. JOHN'S RIVER WATER MANAGEMENT DISTRICT; N34°51'34"W, 185.69 FEET; N09°14'28"W, 154.82 FEET; N57°52'23"E, 35.05 FEET; N47°21'45"W, 206.75 FEET; N46°03'10"W, 257.06 FEET; S64°40'44"W, 30.12 FEET; N33°59'32"W, 130.01 FEET; S00°32'05"W, 79.45 FEET; N19°49'43"W, 669.98 FEET; N63°05'41"W, 470.00 FEET; N00°32'05"E, 19.26 FEET; N38°59'11"W, 151.57 FEET; N20°38'44"W, 140.91 FEET; N32°02'37"W, 141.62 FEET; N24°49'10"W, 65.79 FEET; N77°14'37"W, 124.93 FEET TO THE NORTH LINE OF AFORESAID NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 12; THENCE RUN S89°54'33"E ALONG SAID NORTH LINE, 1028.15 FEET TO THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF SAID SECTION 12; THENCE RUN S89°58'53"E ALONG THE NORTH LINE OF THE NORTHEAST 1/4 OF SECTION 12, 333.31 FEET TO THE WEST LINE OF THE EAST 3/4 OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE RUN N00°11'01"E ALONG THE WEST LINE OF SAID EAST 3/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, 659.17 FEET TO THE SOUTH LINE OF THE NORTH 660.00 FEET OF SAID EAST 3/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE RUN S89°59'40"E, PARALLEL WITH SAID SOUTH LINE, 200.00 FEET TO A LINE 200.00 FEET EAST OF THE WEST LINE OF SAID EAST 3/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4; THENCE RUN N00°11'01"E PARALLEL WITH SAID WEST LINE, 720.00 FEET TO A LINE 30.00 FEET NORTH OF, WHEN MEASURED PERPENDICULAR TO, THE SOUTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SAID SECTION 1, BEING THE NORTH LINE OF A 60.00 FOOT RIGHT OF WAY RECORDED IN OFFICIAL RECORDS BOOK 889, PAGE 331, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N89°59'40"W ALONG SAID NORTH LINE OF RIGHT OF WAY, 501.97 FEET TO A LINE 30.00 FEET EAST OF, WHEN MEASURED PERPENDICULAR TO, THE WEST LINE OF SAID NORTHEAST 1/4 OF THE SOUTHEAST 1/4, BEING THE EAST LINE OF A 30.00 RIGHT OF WAY RECORDED IN DEED BOOK 633, PAGE 385, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN N00°14'22"E ALONG SAID EAST RIGHT OF WAY LINE, 1199.11 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 188.893 ACRES MORE OR LESS.

Parcel ID Numbers: 01-21-27-0000-00-030; 01-21-27-0000-00-060; 06-21-28-7172-12-020; 06-21-28-7172-12-041; 06-21-28-7172-12-060; 06-21-28-7172-13-000; 12-21-27-0000-00-010; 12-21-27-0000-00-015; 12-21-27-0000-00-017; 12-21-27-0000-00-018; 12-21-27-0000-00-021

Containing 188.893 +/- Acres



ENGINEER / PLANNER:

DAVE SCHMITT ENGINEERING, INC.  
12301 LAKE UNDERHILL ROAD SUITE 241.  
ORLANDO, FL 32828  
407-207-9088  
FAX 407-207-9089  
CONTACTS: DAVE SCHMITT, P.E.

DEVELOPER:

BlueScope Properties Group LLC  
1540 Genessee Street  
Kansas City, MO 64102  
Matt Roth, VP and General Counsel

OWNER:

Mid Florida Freezer Warehouse Ltd.  
2560 West Orange Blossom Trail  
Apopka, FL 32761  
Pat Lee

Florida Express Trucking, Inc.  
P.O. BOX 572  
Cape Canaveral, FL 32920-0572  
Pat Lee

Eagles Landing  
PO Box 770609  
Winter Garden, FL 34777-0609  
Randy June

# PUD MASTER PLAN for MID-FLORIDA LOGISTICS PARK

## APOPKA, FLORIDA

DEVIATIONS OF WAIVER REQUEST TABLE

Code Number	Code Requirement	Requested Modification	Justification	Location
6.03.02.A	Parking 2 spaces per 1,000 sf of GFA up to 150,000 sf plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sf of GFA.	0.89 Space per 1,000 sf of GFA	The ITE Parking Generation Manual, 4th Edition, 55th percentile parking requirement for warehouse use is 0.81 spaces per 1,000 sf of GFA.	Entire Site
2.02.01.A	Building Height Maximum Building Height 35'	Maximum Building Height 55'	The modern warehouses require 35' to 45' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	All Buildings
2.02.15.F	Buffer Yard Front 25', Side 10', Rear 10' (30' Adjacent to Residential), 25' Road ROW	15' on GE Road, Hermit Smith Road to Main Entrance, 0/10' Adjacent to SR 429, 10/25' Adjacent to Peterson Road, 10' Adjacent to Fern Industrial	The northwestern portion of the site is constrained by the encroachment of GE Road. SR 429 has 300' of ROW, 6 lanes, and provides a ~20' high barrier to adjacent property to the east.	North and East
2.02.01.BS.4(a)	Roof Top Screening All roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public rights-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 135', approximately 50' above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the Subdivision President and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the centerline of the public right-of-way. The eye line shall be from the typical height of a person standing on the sidewalk.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.08	Sidewalk Location Build sidewalks on both sides of public streets	Build sidewalk only on the west side of Fern Industrial Drive.	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spurs. The pedestrian access plan provided on Sheet 6 of the PUD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Fern Industrial is the spine connecting the southern end of the site with GE Road. All buildings are connected to this north-south spine and the appropriate crosswalks are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spurs east of Fern Industrial serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent interaction of pedestrians and rail vehicles.	Entire Site

NOTE: THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF I-1 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THE DEVIATION TABLE.

PARCEL ID No.

- #01-21-27-0000-00-060, #06-21-28-7172-12-020
- #06-21-28-7172-12-041, #06-21-28-7172-12-060
- #01-21-27-0000-00-030, #06-21-28-7172-13-000
- #12-21-27-0000-00-010, #12-21-27-0000-00-018
- #12-21-27-0000-00-015, #12-21-27-0000-00-017
- #12-21-27-0000-00-021

NOTE: THE TWENTY-FIVE FOOT WIDE PROPERTY WHICH IS THE SUBJECT OF OR BOOK 10014, PAGE 4293 IS NOT PROPOSED FOR DEDICATION OR INCLUSION IN THE RIGHT OF WAY FOR THE RE-ALIGNED PETERSON ROAD.



Know what's below.  
Call before you dig.

FL STATUTE 553.851 (1979) REQUIRES MIN. OF 2 DAYS AND MAX. OF 5 DAYS NOTICE BEFORE YOU EXCAVATE.

PREPARED FOR:

# BLUESCOPE PROPERTIES GROUP LLC

SITE DATA

TOTAL SITE AREA	189.00 ACRES
TOTAL PUD AREA (SITE AREA LESS PUBLIC ROW)	186.03 ACRES
FUTURE LAND USE	INDUSTRIAL, MIXED USE, AGRICULTURE
EXISTING ZONING	I-1, MIXED EC, R-1AA, AG, ZIP-(I-1)
PROPOSED ZONING	PUD
BUILDING HEIGHT	35' MAX (PROPOSED 55')
FLOOR AREA	60%

BUILDING AREA

BUILDING 1A	330,566 SF
BUILDING 1B	324,000 SF
BUILDING 2	255,000 SF
BUILDING 3	399,000 SF
BUILDING 4	655,000 SF
BUILDING 5A	289,000 SF
BUILDING 5B	90,000 SF
TOTAL	2,342,566 SF

BUILDING SETBACKS

FRONT:	25'
SIDE:	10'
CORNER:	25'
REAR:	10'
ADJACENT TO RESIDENTIAL USE:	30'

LANDSCAPE BUFFER

FRONT:	25'
SIDE:	10'
REAR:	10'
CORNER:	25'
SR429:	25' (PROPOSED 0')
GE ROAD:	25' (PROPOSED 15' WEST OF MAIN ENTRANCE)

HERMIT SMITH ROAD  
SHELBY INDUSTRIAL DRIVE  
PETERSON ROAD

PARKING PROPOSED:	1,546 REGULAR	614 TRUCK	48 HANDICAP	2,141 TOTAL (2,085 REQUIRED)
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OPEN SPACE:	48.63 AC
POND TRACT AREA:	42.87 AC

IMPERVIOUS AREA:	153.71 AC	82.63%
PERVIOUS AREA:	32.32 AC	17.37%
TOTAL PUD AREA:	186.03 AC	100.00%

TABLE OF CONTENTS

Sheet Number	Sheet Title
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03	PUD MASTER PLAN
04	PRELIMINARY DEVELOPMENT PLAN / SUBDIVISION PLAN
05	OWNERSHIP & MAINTENANCE PLAN
06	PEDESTRIAN ACCESS PLAN
07	LOT 1 PLAN
08	LOT 1 PRELIMINARY GRADING PLAN
09	LOT 2 PLAN
10	LOT 2 PRELIMINARY GRADING PLAN
11	LOT 3 PLAN
12	LOT 3 PRELIMINARY GRADING PLAN
13	LOT 4 PLAN
14	LOT 4 PRELIMINARY GRADING PLAN
15	LOT 5 PLAN
16	LOT 5 PRELIMINARY GRADING PLAN
17	PRELIMINARY STORMWATER POND PLAN
18	GE ROAD OFFSITE IMPROVEMENTS
18A	PETERSON ROAD AUTO-TURN

PLANS BY OTHERS:

LANDSCAPE PLAN



SITE

SITE LOCATION

SCALE = 1 MILE  
0 1/4 1/2 1



DAVE SCHMITT  
ENGINEERING, INC.  
12301 LAKE UNDERHILL RD. SUITE 241  
ORLANDO, FL 32828  
407-207-9088 FAX 407-207-9089  
Certification of Authorization #27471

DATE: JUNE 2018

JOB NO.: ANC-1

SHEET: 01 OF 18

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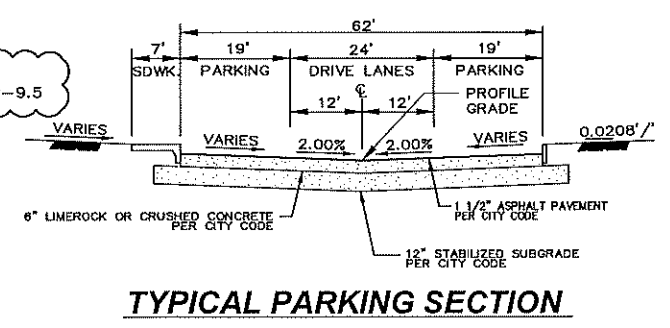
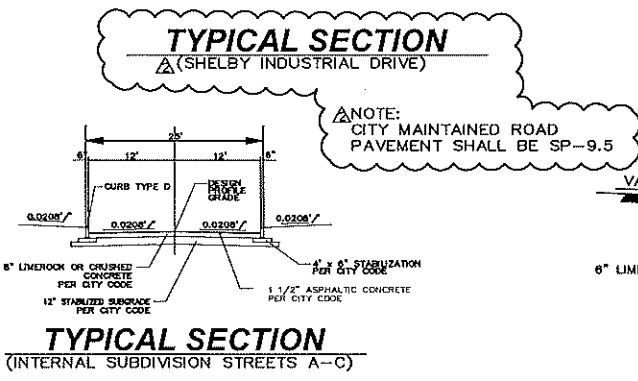
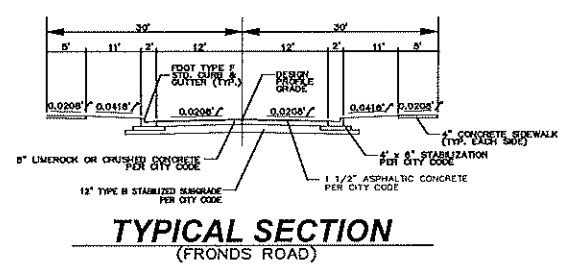
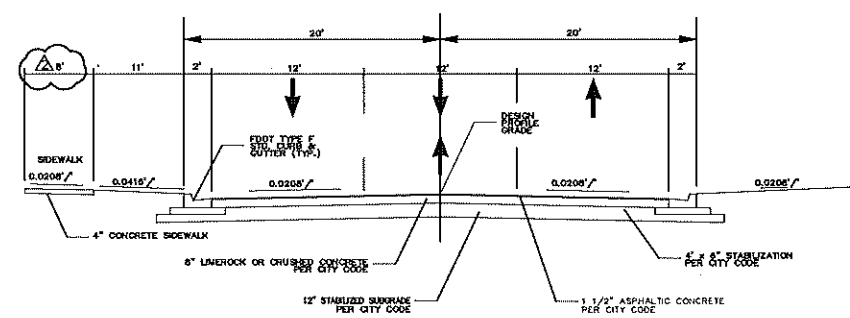
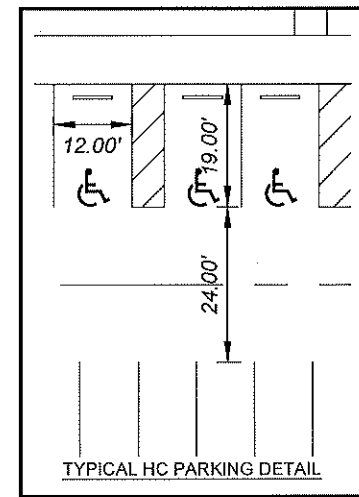
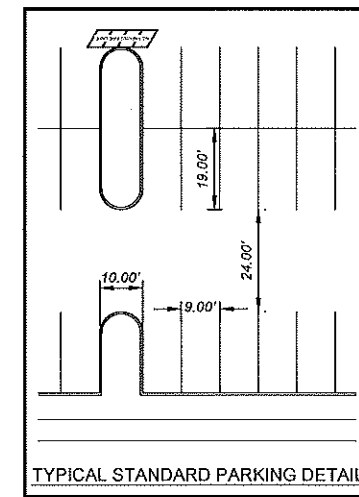
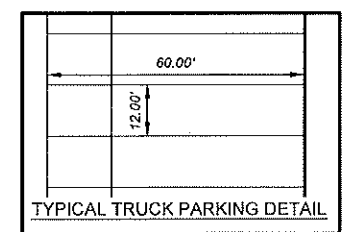
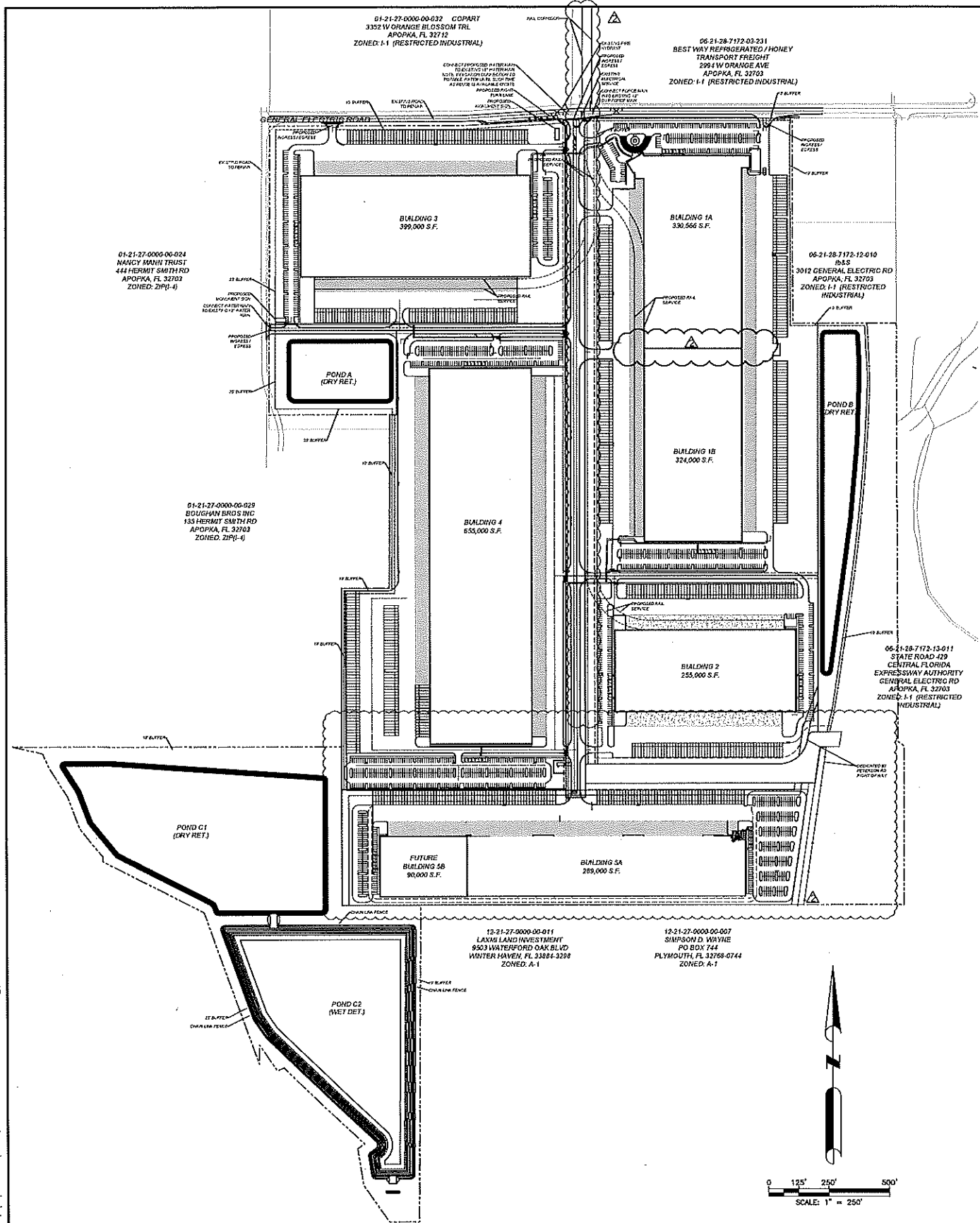
REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	MG	REVISED PER CLIENT REQUEST			

THIS IS TO CERTIFY THAT THE ROADWAY CONSTRUCTION PLANS AND SPECIFICATIONS AS CONTAINED HEREIN WERE DESIGNED TO APPLICABLE STANDARDS AS SET FORTH IN THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR STREET AND HIGHWAY" AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION





F:\ANC1\CAD\Plan\set\p-d-dev plan\03 PUD MASTER PLAN.dwg, 12/14/2018 3:14:03 PM



**DAVE SCHMITT ENGINEERING, INC.**  
 12301 Lake Underhill Road Suite 241  
 ORLANDO, FL 32828  
 407-207-9088 FAX 407-207-9089  
 Certification of Authorization #27471

**CONTRACTOR "AS-BUILT'S"**  
 I hereby state that these "As-Built's" were furnished to me by the contractor listed below, I, or an employee under my direct supervision have reviewed these "As-Built's" and believe them to be in compliance with my knowledge of what was actually constructed. This statement is based upon site observations of the construction.  
 Contractor: \_\_\_\_\_ Engineer: \_\_\_\_\_  
 Not valid without the signature and the original raised seal of a Florida Registered Engineer.

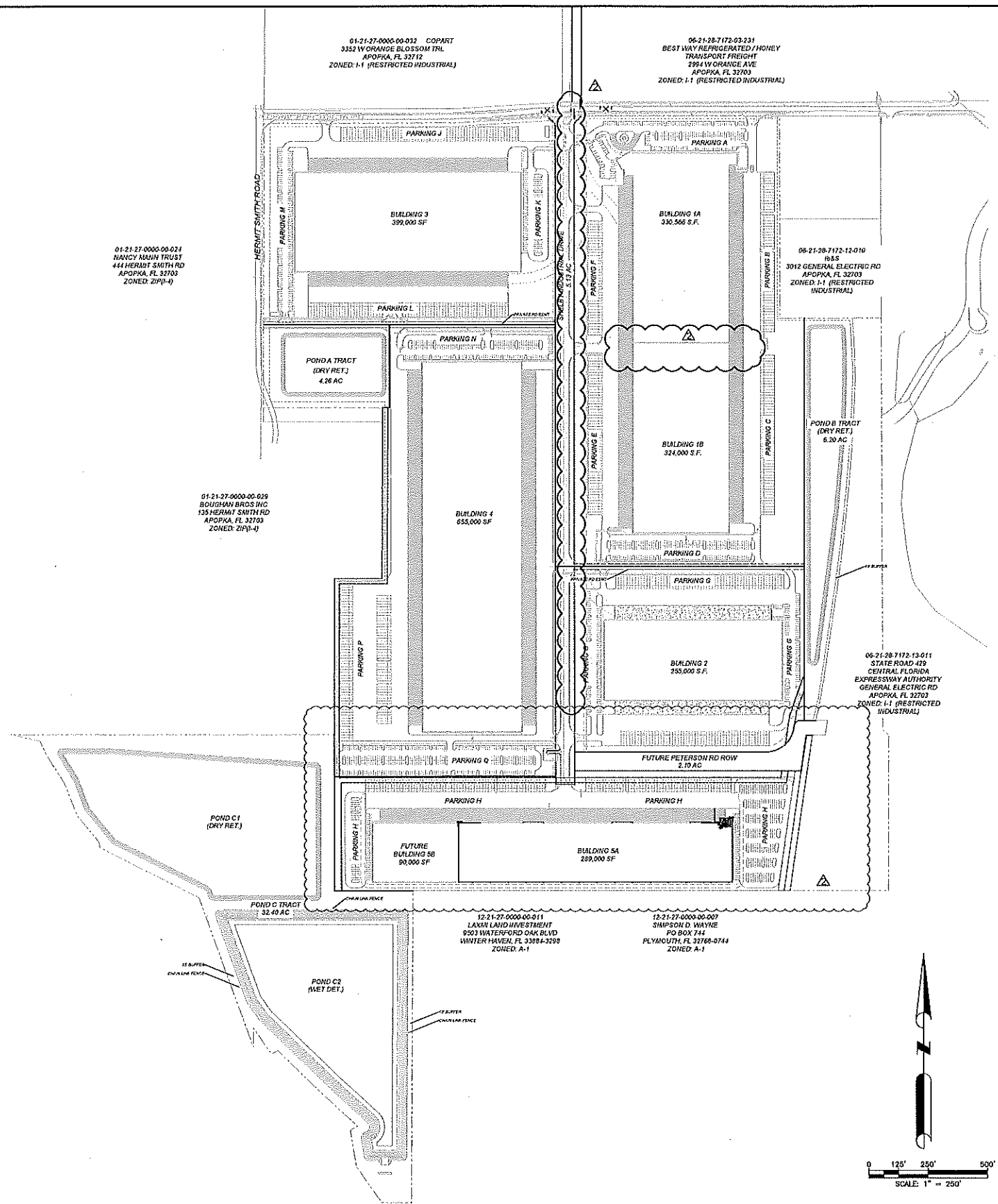
REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	JMG	REVISED PER CLIENT REQUEST			

DAVE M. SCHMITT  
 FLORIDA REG. NUMBER  
 48274

**PUD MASTER PLAN**  
**MID-FLORIDA LOGISTICS PARK**  
 APOPKA, FLORIDA

DATE: JUNE 2018  
 PROJECT NO.: ANC-1  
 DRAWN BY: MTP  
 CHECKED BY: DSE  
 SCALE: 1"=250'  
 SHEET: 03 OF 18

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▲ LOT AREAS

LOT 1	40.12 ACRES
LOT 2	17.22 ACRES
LOT 3	24.02 ACRES
LOT 4	35.37 ACRES
LOT 5	22.00 ACRES
<b>TOTAL LOT AREA</b>	<b>138.73 ACRES</b>

BUILDING AREAS

BUILDING 1A	330,566 SF
BUILDING 1B	324,000 SF
BUILDING 2	255,000 SF
BUILDING 3	399,000 SF
BUILDING 4	655,000 SF
BUILDING 5A	289,000 SF
BUILDING 5B	90,000 SF
<b>TOTAL BUILDING AREA</b>	<b>2,342,566 SF</b>

POND TRACT AREAS

POND A TRACT	4.26 ACRES
POND B TRACT	6.20 ACRES
POND C TRACT	32.41 ACRES
<b>TOTAL POND TRACT AREA</b>	<b>42.87 ACRES</b>

PLANNED UNIT DEVELOPMENT AREA

TOTAL LOT AREA	137.16 ACRES
TOTAL POND TRACT AREA	42.87 ACRES
<b>TOTAL PUD AREA</b>	<b>180.03 ACRES</b>

TOTAL SITE AREA

PUD AREA	180.03 ACRES
SHELBY INDUSTRIAL DRIVE	5.13 ACRES
PETERSON ROAD ROW	2.10 ACRES
25' ROW	0.29 ACRES
LIFT STATION	0.66 ACRES
<b>TOTAL SITE AREA</b>	<b>188.21 ACRES</b>

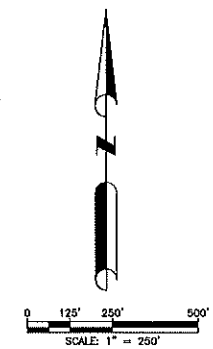
OPEN SPACE  
AREA REQUIRED: 20% OF TOTAL SITE AREA  
189.00 x 0.20 = 37.80 ACRES

▲ OPEN SPACE PROVIDED PER LOT: (FOR PONDS, 50% OF OPEN TRACT AREA)

LOT 1 OPEN SPACE	8.55 ACRES
LOT 2 OPEN SPACE	3.23 ACRES
LOT 3 OPEN SPACE	4.78 ACRES
LOT 4 OPEN SPACE	3.60 ACRES
LOT 5 OPEN SPACE	2.78 ACRES
POND A TRACT OPEN SPACE	2.04 ACRES
POND B TRACT OPEN SPACE	3.10 ACRES
POND C TRACT OPEN SPACE	16.20 ACRES
<b>TOTAL OPEN SPACE PROVIDED</b>	<b>44.28 ACRES</b>

▲ PRELIMINARY PHASING PLAN (SUBJECT TO CHANGE)

PHASE 1:	LOT 1	PETERSON RD DEDICATION POND A, B AND C TRACT NORTHERN 1900' OF SHELBY INDUSTRIAL DRIVE
PHASE 2:	LOT 5	REMAINDER OF SHELBY INDUSTRIAL DRIVE
PHASE 3:	LOT 2	
PHASE 4:	LOT 3	
PHASE 5:	LOT 4	



**DAVE SCHMITT  
ENGINEERING, INC.**  
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ORLANDO, FL 32828  
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11-13-18	MG	REVISED PER CLIENT REQUEST			

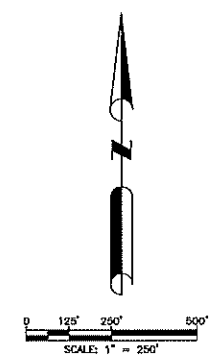
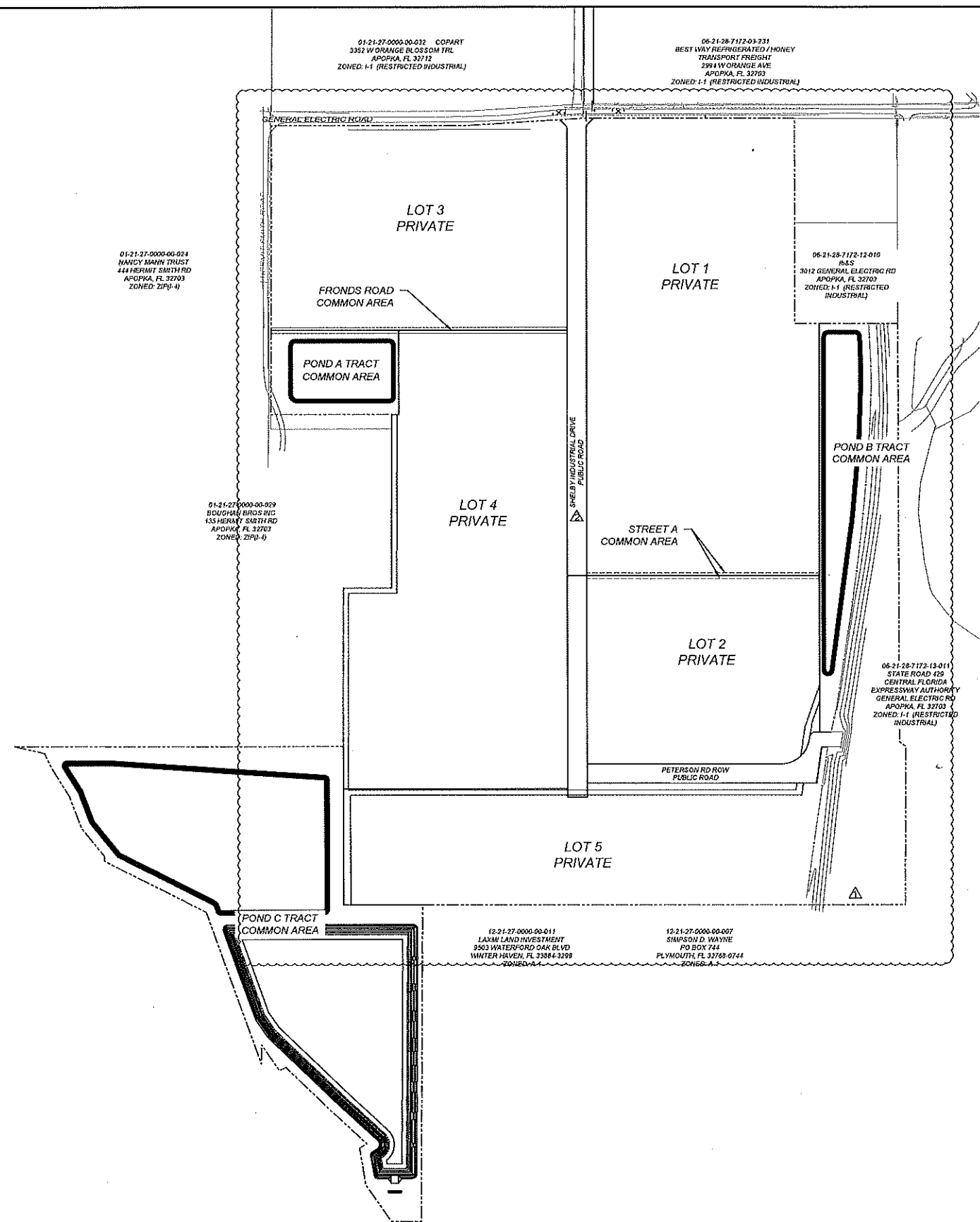
DAVE M. SCHMITT  
FLORIDA REG. NUMBER  
48274

**PRELIMINARY DEVELOPMENT PLAN - SUBDIVISION PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1"=250'  
SHEET: 04 OF 18

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F:\ANC1\CAD\plans\set\dp-pd-dev plan\05 OWNERSHIP AND MAINTENANCE PLAN.dwg, 12/4/2018 7:31:12 PM



- OWNERSHIP/MAINTENANCE:**
- A. PRIVATE LOTS: TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
  - B. PUBLIC ROADWAYS: SHELBY INDUSTRIAL DRIVE & PETERSON ROAD; TO BE OWNED AND MAINTAINED BY THE CITY OF APOPKA.
  - C. PRIVATE ROADWAYS: FRONDS ROAD & STREET A; TO BE OWNED AND MAINTAINED BY THE POA.
  - D. COMMON AREAS: POND TRACTS/OPEN SPACE TO BE OWNED AND MAINTAINED BY THE POA.
  - E. RAIL: MAIN SPUR TO BE OWNED BY THE P.O.A. BUILDING SPURS TO BE PRIVATE EASEMENT TO PROPERTY OWNERS.



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11-13-18	IMG	REVISED PER CLIENT REQUEST			

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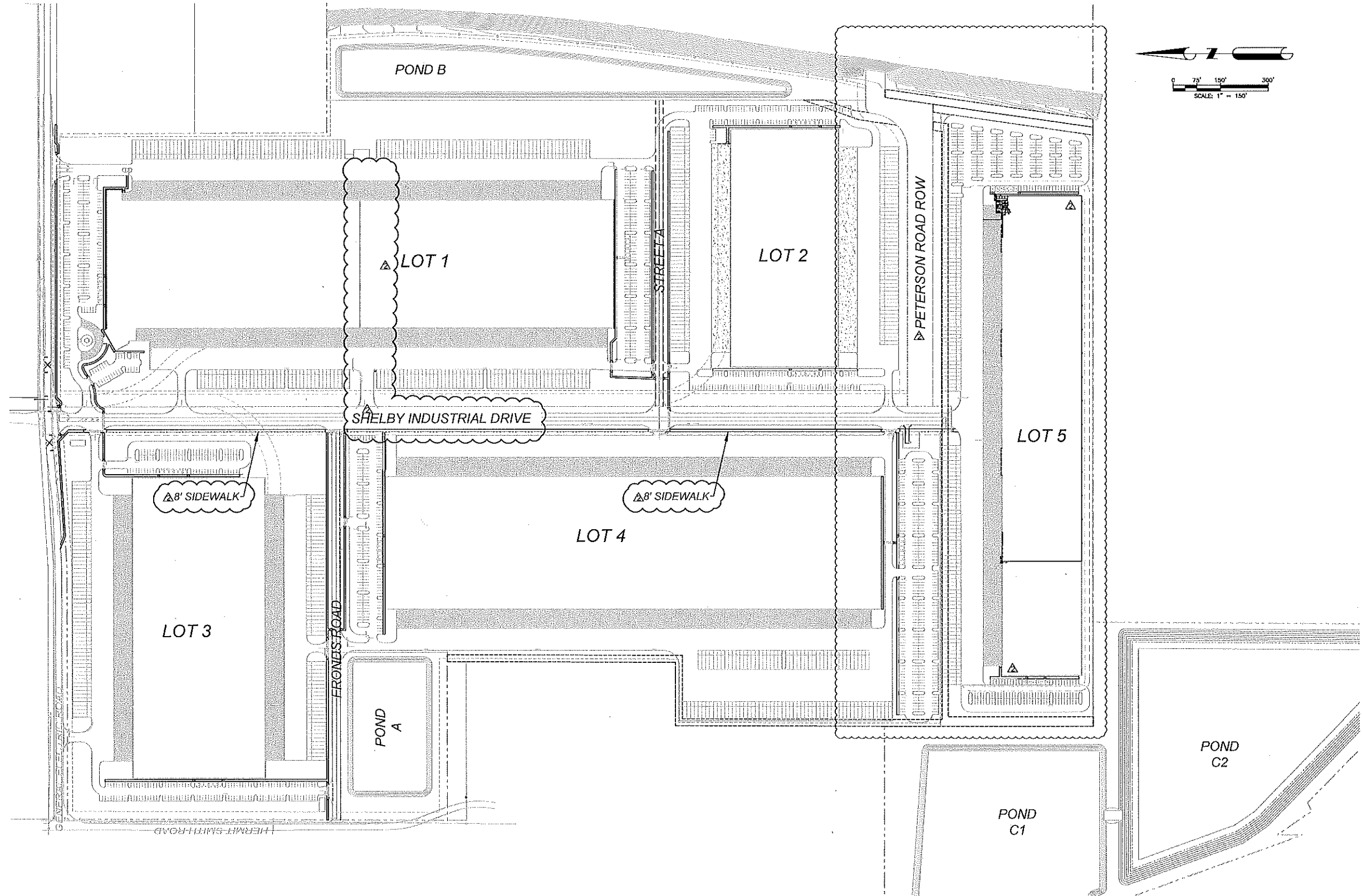
**OWNERSHIP & MAINTENANCE PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1"=250'  
SHEET: 05 OF 18

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11-13-18	MG	REVISED PER CLIENT REQUEST			

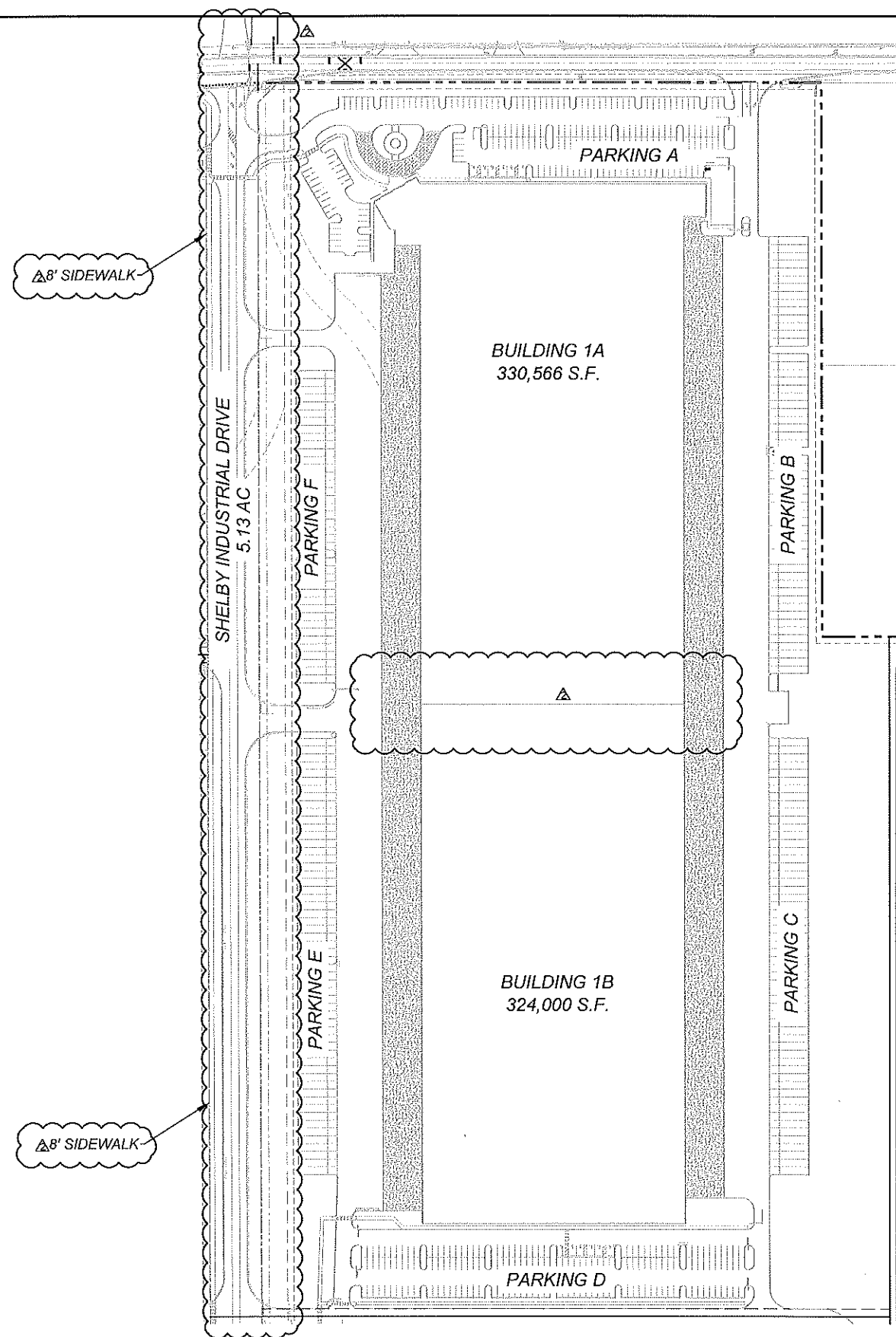
DAVE M. SCHMITT  
FLORIDA REG. NUMBER  
48274

**PEDESTRIAN ACCESS PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1"=250'  
SHEET: 06 OF 18

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**LOT 1 PARCEL NUMBERS**  
 #06-21-28-7172-12-020  
 #06-21-28-7172-12-041  
 #06-21-28-7172-12-060

**LOT 1 AREA** 40.10 ACRES

**OPEN SPACE REQUIRED: 20 % OF LOT AREA**  
 40.10 x 0.20 = 8.02 ACRES

**OPEN SPACE PROVIDED**  
 LOT 1 OPEN SPACE 8.55 ACRES  
 POND B TRACT OPEN SPACE 3.10 ACRES

**TOTAL OPEN SPACE** 11.65 ACRES

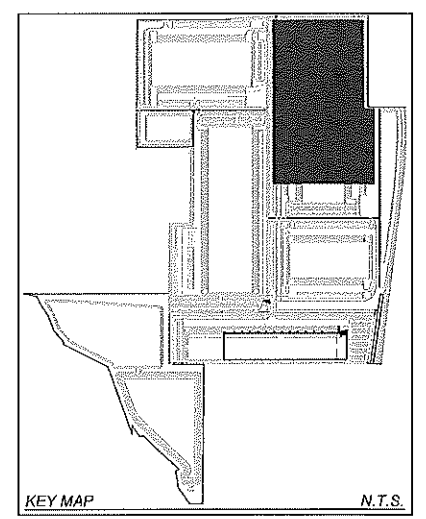
**BUILDING 1 AREA** 654,566 SF

**PARKING REQUIRED: 0.89 SPACE PER 1,000 SF OF GROSS FLOOR AREA**  
**PARKING SPACES REQUIRED** 583 SPACES

**PARKING PROVIDED:**

	PARKING AREA A	PARKING AREA B	PARKING AREA C	PARKING AREA D	PARKING AREA E	PARKING AREA F
STANDARD SPACES	205	0	0	168	0	0
HANDICAP SPACES	6	0	0	6	0	0
TRUCK SPACES	0	43	59	0	56	40
<b>SUBTOTAL</b>	<b>211</b>	<b>43</b>	<b>59</b>	<b>174</b>	<b>56</b>	<b>40</b>

**TOTAL PARKING SPACES** 583



**DEVIATIONS OF WAIVER REQUEST TABLE**

Code Number	Code Requirement	Requested Modification	Justification	Location
6.02.02 A	Parking 2 spaces per 1,000 sf of GFA up to 100,000 sf plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sf of over 100,000 sf of GFA.	0.89 Space per 1,000 sf of GFA	The ITE Parking Generation Manual, 4th Edition, 85th percentile parking requirement for warehouse use is 0.81 spaces per 1,000 sf of GFA.	Extra Site
2.02.01 A	Building Height Maximum Building Height 35'	Maximum Building Height 55'	The modern warehouses require 35' to 45' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	All Buildings
2.02.15 F	Buffer Yard Front 25', Side 10', Rear 10' (30' Adjacent to Residential), 25' Road RGV	15' on GE Road, Hermit Smith Road to Main Entrance, 0/10' Adjacent to SR 429, 10/25' Adjacent to Peterson Road, 10' Adjacent to Spine Road	The northeastern portion of the site is constrained by the encroachment of GE Road. SR 429 has 300' of ROW, 4 lanes, and provides a 25' high barrier to adjacent property to the east.	North and East
2.02.01 B5 (b)	Roof Top Screening All roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public rights-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 135', approximately 20' above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the Subdivision President and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the centerline of the public right-of-way. The eye line shall be from the typical height of a person viewing the site.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Extra Site
6.02.08	8' Sidewalks Build sidewalks on both sides of public streets	Build sidewalk only on the west side of Spine Road.	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spurs. The pedestrian access plan provided on Sheet 6 of the PUD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Spine Road is the spine connecting the southern end of the site with GE Road. All buildings are connected to this north-south spine and the appropriate crosswalks are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spurs east of Spine Road serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent interaction of pedestrians and rail vehicles.	Extra Site

NOTE: THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF I-1 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THE DEVIATION TABLE.



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11-13-18	IMG	REVISED PER CLIENT REQUEST			

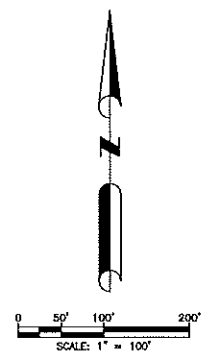
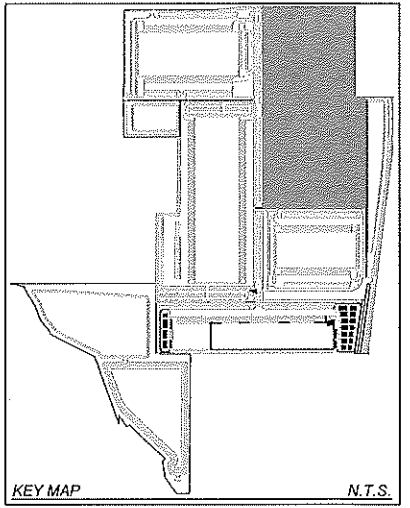
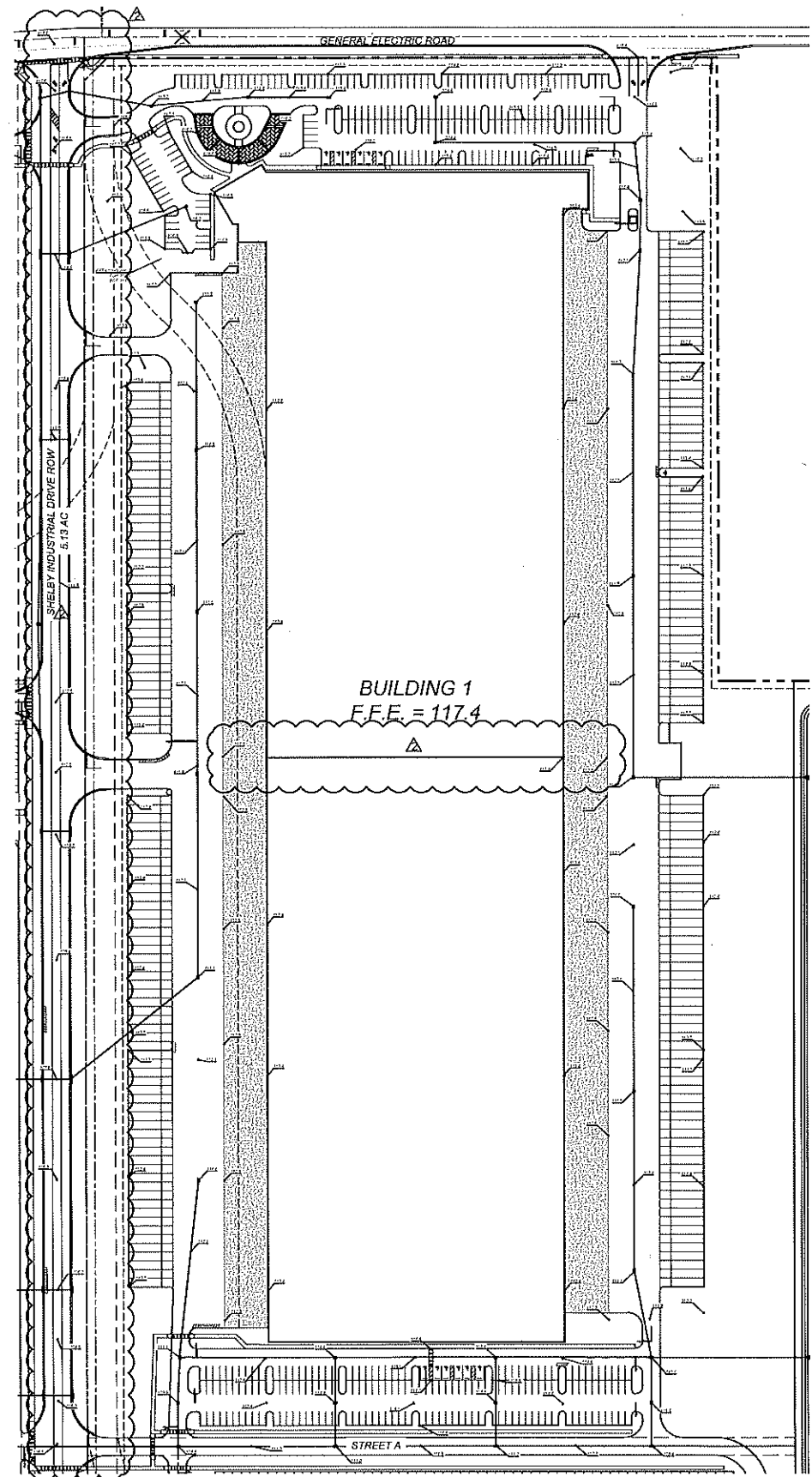
DAVE M. SCHMITT  
 FLORIDA REG. NUMBER  
 48274

**LOT 1 PLAN**  
**MID-FLORIDA LOGISTICS PARK**  
**APOPKA, FLORIDA**

DATE: JUNE 2018  
 PROJECT NO.: ANC-1  
 DRAWN BY: MTP  
 CHECKED BY: DSE  
 SCALE: 1"=100'  
 SHEET: 07 OF 18

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F:\ANC1\CAD\Plans\set\p-d-dev plan\07 PRELIMINARY GRADING & STORMWATER PLANS.dwg, 12/5/2018 3:04:47 PM



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12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	MG	REVISED PER CLIENT REQUEST			

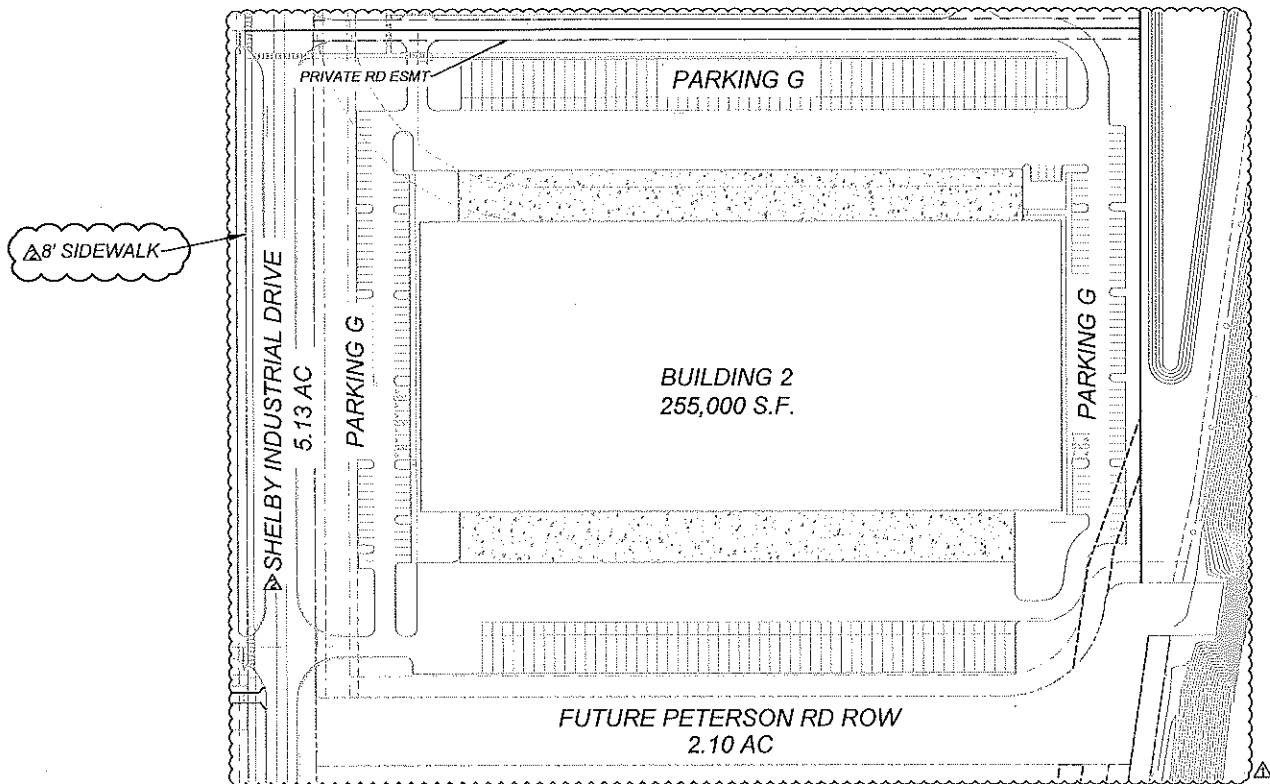
DAVE M. SCHMITT  
FLORIDA REG. NUMBER  
48274

**LOT 1 PRELIMINARY GRADING PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1" = 100'  
SHEET: 08 OF 18

235

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**LOT 2 PARCEL NUMBERS**  
#06-21-28-7172-12-060  
#06-21-28-7172-13-000

▲ **LOT 2 AREA** 27.32 ACRES

**OPEN SPACE REQUIRED: 20% OF USABLE LOT AREA**  
27.32 x 0.20 = 5.46 ACRES

**OPEN SPACE PROVIDED**  
LOT 2 OPEN SPACE 6.03 ACRES  
1/3 OF POND C1 TRACT OPEN SPACE 5.40 ACRES

**TOTAL OPEN SPACE** 11.43 ACRES

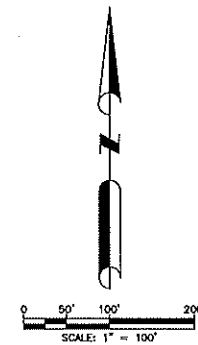
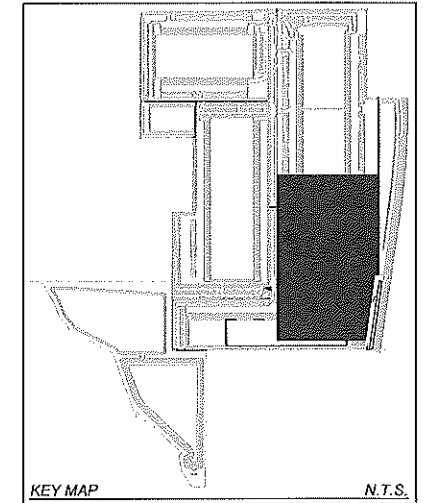
▲ **BUILDING 2 AREA** 255,000 SF

**PARKING REQUIRED: 0.89 SPACE PER 1,000 SF OF GROSS FLOOR AREA**  
**PARKING SPACES REQUIRED** 227 SPACES

**PARKING PROVIDED:**

	PARKING AREA G
STANDARD SPACES	173
HANDICAP SPACES	12
TRUCK SPACES	111
<b>SUBTOTAL</b>	<b>296</b>

**TOTAL PARKING SPACES** 296



**DEVIATIONS OF WAIVER REQUEST TABLE**

Code Number	Code Requirement	Requested Modification	Justification	Location
6.03.02.A	<b>Parking</b> 2 spaces per 1,000 sq ft of GFA, up to 150,000 sq ft plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sq ft over 150,000 sq ft of GFA.	0.89 Space per 1,000 sq ft of GFA	The ITE Parking Generation Manual, 4th Edition, 85th percentile parking requirement for warehouse use is 0.81 spaces per 1,000 sq ft of GFA.	Entire Site
2.02.01.A	<b>Building Height</b> Maximum Building Height 35'	Maximum Building Height 55'	The modern warehouse require 35' to 45' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	All Buildings
2.02.15.F	<b>Buffer Yard</b> Front 25', Side 10', Rear 10' (30' Adjacent to Residential), 25' Road ROW	15' on GE Road, Hermit South Road to Main Entrance, 0/10' Adjacent to SR 429, 10/25' Adjacent to Peterson Road, 10' Adjacent to Spine Road	The reconfiguration portion of the site is constrained by the encroachment of GE Road. SR 429 has 100' of ROW, 6 lanes, and provides a 25' right-of-way to adjacent property to the east.	North and East
2.02.01.BS (b)(8)	<b>Roof Top Screening</b> All roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public rights-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 135', approximately 30' above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the Sub-division President and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the centerline of the public right-of-way. The eye line shall be from the typical height of a person viewing an automobile.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.08	<b>Signage/Accession</b> Build sidewalks on both sides of public streets	Build sidewalk only on the west side of Spine Road	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spur. The pedestrian access plan provided on Sheet 6 of the PUD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Spine Road is the spine connecting the southern end of the site with GE Road. All buildings are connected to this north-south spine and the appropriate crosswalks are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spur east of Spine Road serving the site. The benefit of the additional sidewalk does not, in our opinion, outweigh the risk of inadvertent interaction of pedestrians and rail vehicles.	Entire Site

NOTE: THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF F-1 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THE DEVIATION TABLE.



**DAVE SCHMITT ENGINEERING, INC.**  
12301 Lake Underhill Road Suite 241  
ORLANDO, FL 32828  
407-207-9088 FAX 407-207-9089  
Certification of Authorization #27471

CONTRACTOR "AS-BUILTS"  
I hereby state that these "As-Builts" were furnished to me by the contractor listed below, or an employee under my direct supervision have reviewed these "As-Builts" and believe them to be in compliance with my knowledge of what was actually constructed. This statement is based upon site observations of the construction.  
Contractor \_\_\_\_\_ Engineer \_\_\_\_\_  
Not valid without the signature and the original raised seal of a Florida Registered Engineer.

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	MG	REVISED PER CLIENT REQUEST			

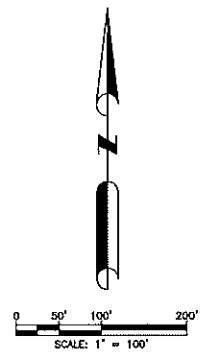
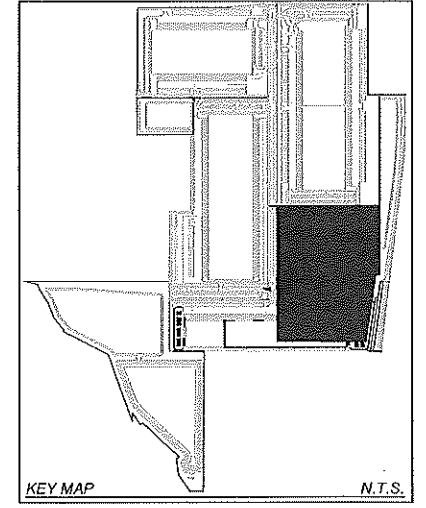
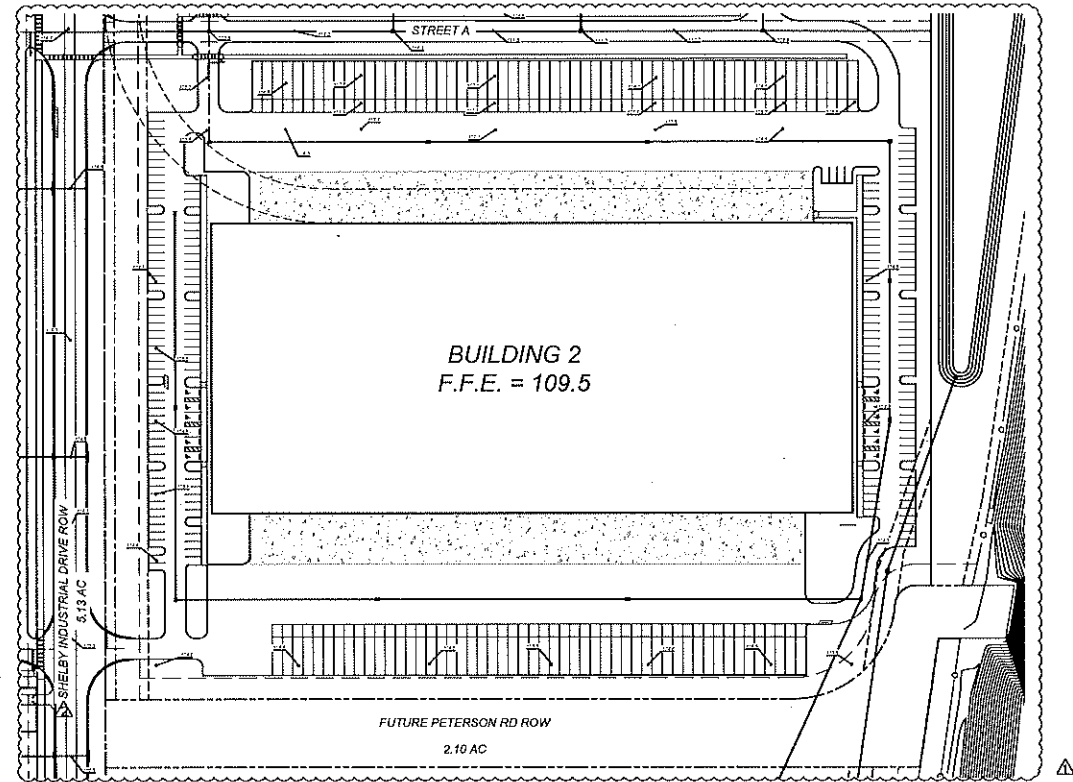
DAVE M. SCHMITT  
FLORIDA REG. NUMBER  
48274

**LOT 2 PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1"=100'  
SHEET: 09 OF 18

236

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**DAVE SCHMITT  
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Not valid without the signature and the original raised seal of a Florida Registered Engineer.

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	MG	REVISED PER CLIENT REQUEST			

DAVE M. SCHMITT  
FLORIDA REG. NUMBER  
48274

**LOT 2 PRELIMINARY GRADING PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1" = 100'  
SHEET: 10 OF 18



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LOT 3 PARCEL NUMBERS  
#01-21-27-0000-00-060

LOT 3 AREA 24.00 ACRES

OPEN SPACE REQUIRED: 20% OF USABLE LOT AREA  
24.00 x 0.20 = 4.80 ACRES

OPEN SPACE PROVIDED  
LOT 3 OPEN SPACE 4.78 ACRES  
POND A TRACT OPEN SPACE 2.04 ACRES

TOTAL OPEN SPACE 6.82 ACRES

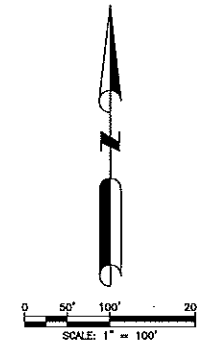
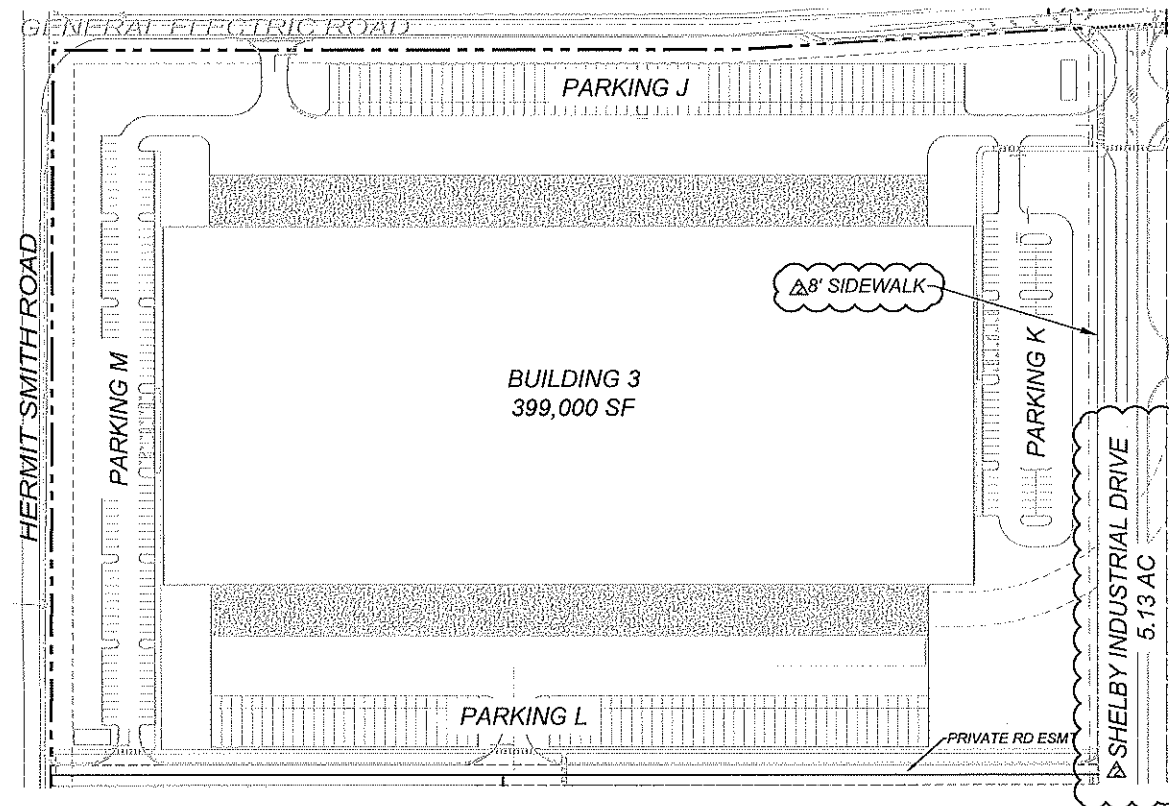
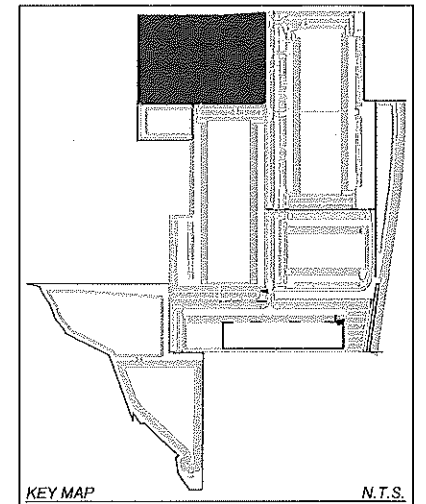
BUILDING 3 AREA 399,000 SF

PARKING REQUIRED: 0.89 SPACE PER 1,000 SF OF GROSS FLOOR AREA  
PARKING SPACES REQUIRED 355 SPACES

PARKING PROVIDED:

	PARKING AREA J	PARKING AREA K	PARKING AREA L	PARKING AREA M
STANDARD SPACES	0	90	0	128
HANDICAP SPACES	0	6	0	6
TRUCK SPACES	62	0	63	0
SUBTOTAL	62	96	63	134

TOTAL PARKING SPACES 355



DEVIATIONS OF WAIVER REQUEST TABLE

Code Number	Code Requirement	Requested Modification	Justification	Location
6.02.02 A	Parking 2 spaces per 1,000 sf of GFA up to 150,000 sf plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sf of over 150,000 sf of GFA.	0.89 Space per 1,000 sf of GFA	The ITE Parking Generation Manual, 4th Edition, 85th percentile parking requirement for warehouse use is 0.81 spaces per 1,000 sf of GFA.	Entire Site
2.02.01 A	Maximum Building Height 35'	Maximum Building Height 55'	The modern warehouses require 30' to 40' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	All Buildings
2.02.15 F	Buffer Yard Front 25', Side 10', Rear 10' (30' Adjacent to Residential), 25' Road ROW	15' on GE Road, Hermit Smith Road to Main Entrance, 0' to 10' Adjacent to SR 429, 10' to 25' Adjacent to Peterson Road, 10' Adjacent to Spine Road	The northwestern portion of the site is constrained by the encroachment of GE Road. SR 429 has 300' of ROW, 6 lanes, and provides a 20' high barrier to adjacent property to the east.	North and East
2.02.01 BS b(9a)	Roof Top Screening All roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public rights-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 135', approximately 20' above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the Subdivision President and the City of Apopka. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the corner of the public right-of-way. The eye line shall be from the typical height of a person 5'6" at the roadway.	All buildings will have a site line evaluation to confirm that roof top equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.08	Streets and Sidewalks Build sidewalks on both sides of public streets	Build sidewalk only on the west side of Spine Road Industrial Drive.	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spurs. The pedestrian access plan provided on Sheet 6 of the PUD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Spine Road is the spine connecting the southern end of the site with GE Road. All buildings are connected to this corridor through spine and the appropriate crosswalks are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spurs east of Spine Road Industrial serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent obstruction of pedestrians and/or vehicles.	Entire Site

NOTE: THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF I-1 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THE DEVIATION TABLE.

**DAVE SCHMITT ENGINEERING, INC.**  
12301 Lake Underhill Road Suite 241  
ORLANDO, FL 32828  
407-207-9088 FAX 407-207-9089  
Certification of Authorization #27471

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I hereby state that these "As-Builts" were furnished to me by the contractor listed below. I, or an employee under my direct supervision have reviewed these "As-Builts" and believe them to be in compliance with my knowledge of what was actually constructed. This statement is based upon a site observation of the construction.  
Contractor: \_\_\_\_\_ Engineer: \_\_\_\_\_  
Not valid without the signature and the original raised seal of a Florida Registered Engineer.

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	MG	REVISED PER CLIENT REQUEST			

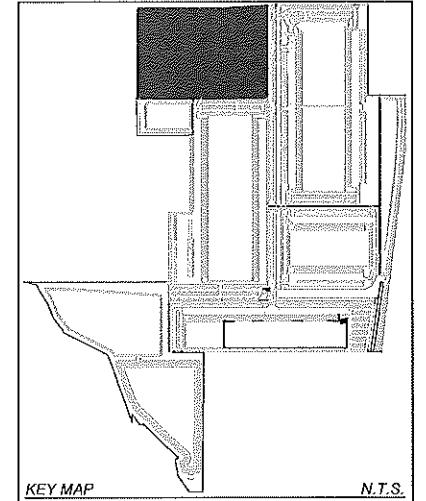
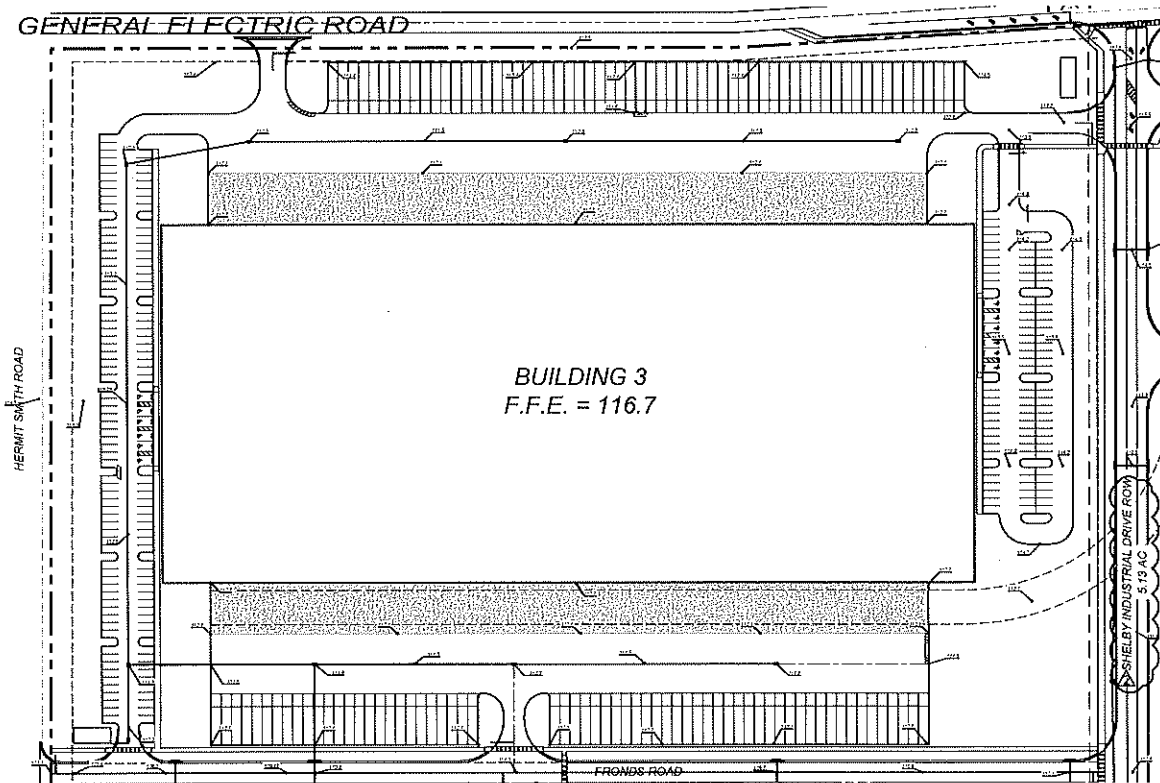
DAVE M. SCHMITT  
FLORIDA REG. NUMBER  
46274

**LOT 3 PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1"=100'  
SHEET: 11 OF 18

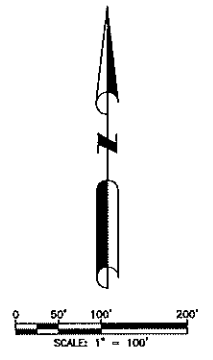
238

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KEY MAP

N.T.S.



**DAVE SCHMITT  
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DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
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11-13-18	MG	REVISED PER CLIENT REQUEST			

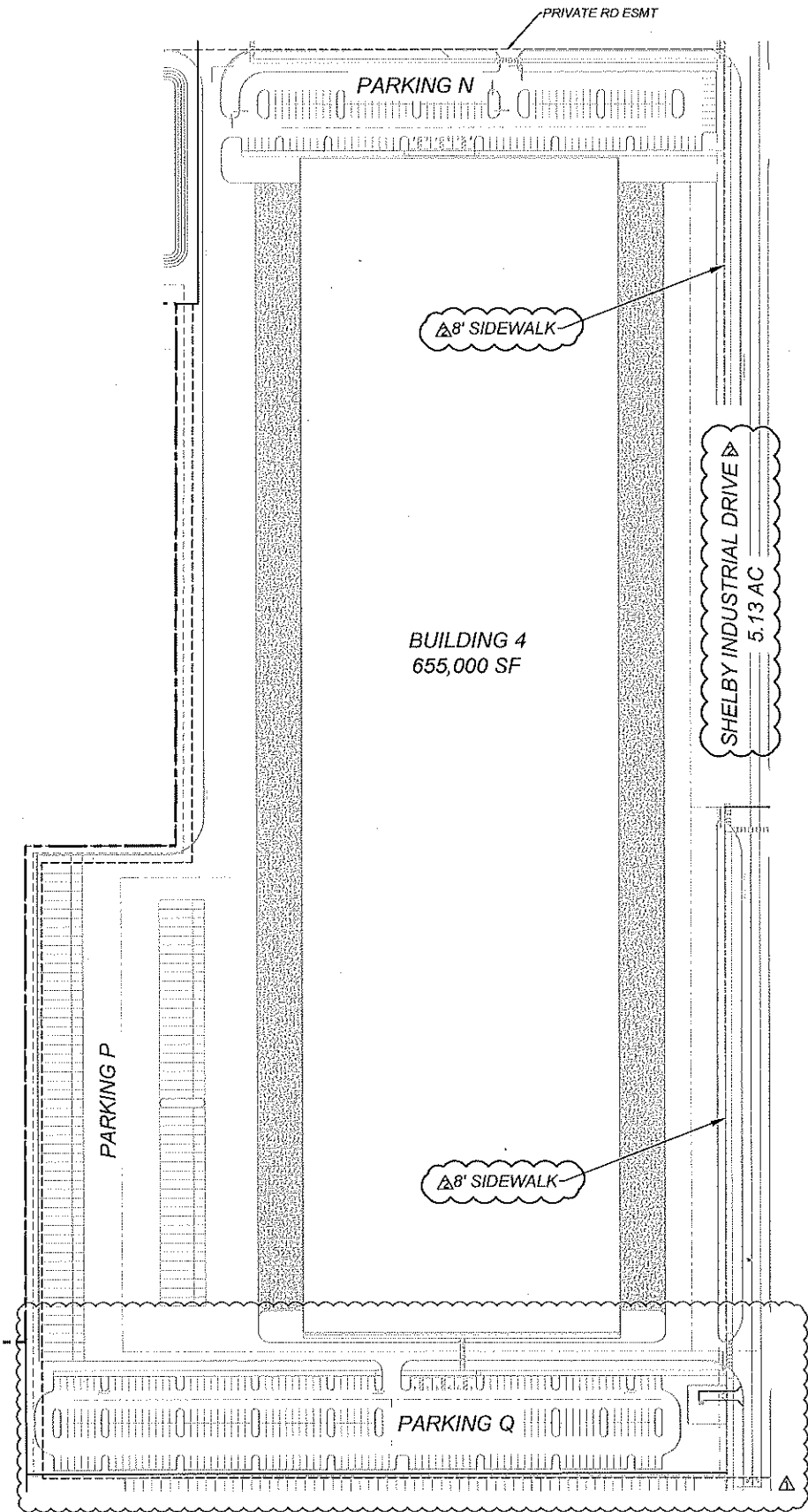
DAVE M. SCHMITT  
FLORIDA REG. NUMBER  
48274

**LOT 3 PRELIMINARY GRADING PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1"=100'  
SHEET: 12 OF 18

239

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**LOT 4 PARCEL NUMBERS**  
 #01-21-27-0000-00-060  
 #01-21-27-0000-00-030

**LOT 4 AREA** 35.37 ACRES

**OPEN SPACE REQUIRED: 20% OF USABLE LOT AREA**  
 35.32 x 0.20 = 7.06 ACRES

**OPEN SPACE PROVIDED**  
 LOT 4 OPEN SPACE 3.05 ACRES  
 1/3 OF POND C1 & C2 OPEN SPACE 5.40 ACRES

**TOTAL OPEN SPACE** 8.45 ACRES

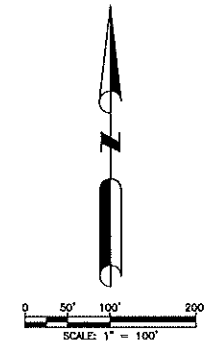
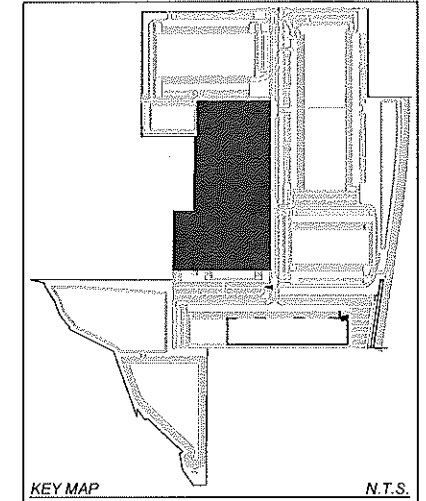
**BUILDING 4 AREA** 655,000 SF

**PARKING REQUIRED: 0.89 SPACE PER 1,000 SF OF GROSS FLOOR AREA**  
**PARKING SPACES REQUIRED** 583 SPACES

**PARKING PROVIDED:**

	PARKING AREA N	PARKING AREA Q	PARKING AREA P
STANDARD SPACES	160	296	0
HANDICAP SPACES	6	0	0
TRUCK SPACES	0	0	121
<b>SUBTOTAL</b>	<b>166</b>	<b>296</b>	<b>121</b>

**TOTAL PARKING SPACES** 583



**DEVIATIONS OF WAIVER REQUEST TABLE**

Code Number	Code Requirement	Requested Modification	Justification	Location
6.03.02.A	<b>Parking</b> 2 spaces per 1,000 sq ft of GFA up to 150,000 sq ft plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sq ft over 150,000 sq ft of GFA.	0.89 Space per 1,000 sq ft of GFA	The ITE Parking Generation Manual, 4th Edition, 85th percentile parking requirement for warehouse size is 0.81 spaces per 1,000 sq ft of GFA.	Entire Site
2.02.01.A	<b>Building Height</b> Maximum Building Height 35'	Maximum Building Height 55'	The modern warehouses require 35' to 45' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	All Buildings
2.02.15.F	<b>Buffer Yard</b> Front 25', Side 10', Rear 10' (30' Adjacent to Residential), 25' Road ROW	15' on GE Road, Herold Smith Road to Main Entrance, 0'10' Adjacent to SR 429, 10'25' Adjacent to Peterson Road, 15' Adjacent to Spine Road Industrial	The northwestern portion of the site is constrained by the encroachment of GE Road. SR 429 has 300' of ROW, 8 lanes, and provides a ~20' gap barrier to adjacent property to the east.	North and East
2.02.01.B5 (a)	<b>Roof Top Screening</b> All roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public rights-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 135', approximately 20' above the finished floor height of Building 2. Screening shall be reviewed through a sight line document from the nearest adjacent property line and/or from the centerline of the public right-of-way. The eye line shall be from the typical height of a person standing 5 feet from the centerline.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.08	<b>Sidewalk location</b> Build sidewalks on both sides of public streets	Build sidewalk only on the west side of Spine Road Industrial Drive.	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spur. The pedestrian access path provided on Sheet 6 of the PUD Master Plan shows a network of pedestrian facilities serving entire site. The sidewalk on the west side of Spine Road Industrial is the spine connecting the southern end of the site with GE Road. All buildings are connected to this north-south spine and the appropriate crosswalks are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spurs east of Spine Road Industrial serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent interaction of pedestrians and road vehicles.	Entire Site

NOTE: THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF I-1 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THE DEVIATION TABLE.



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 ORLANDO, FL 32828  
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 Certification of Authorization #27471

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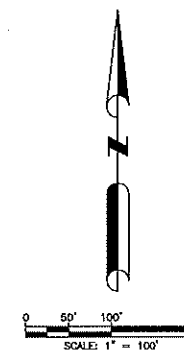
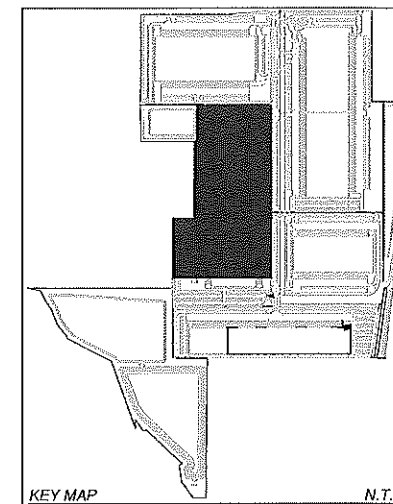
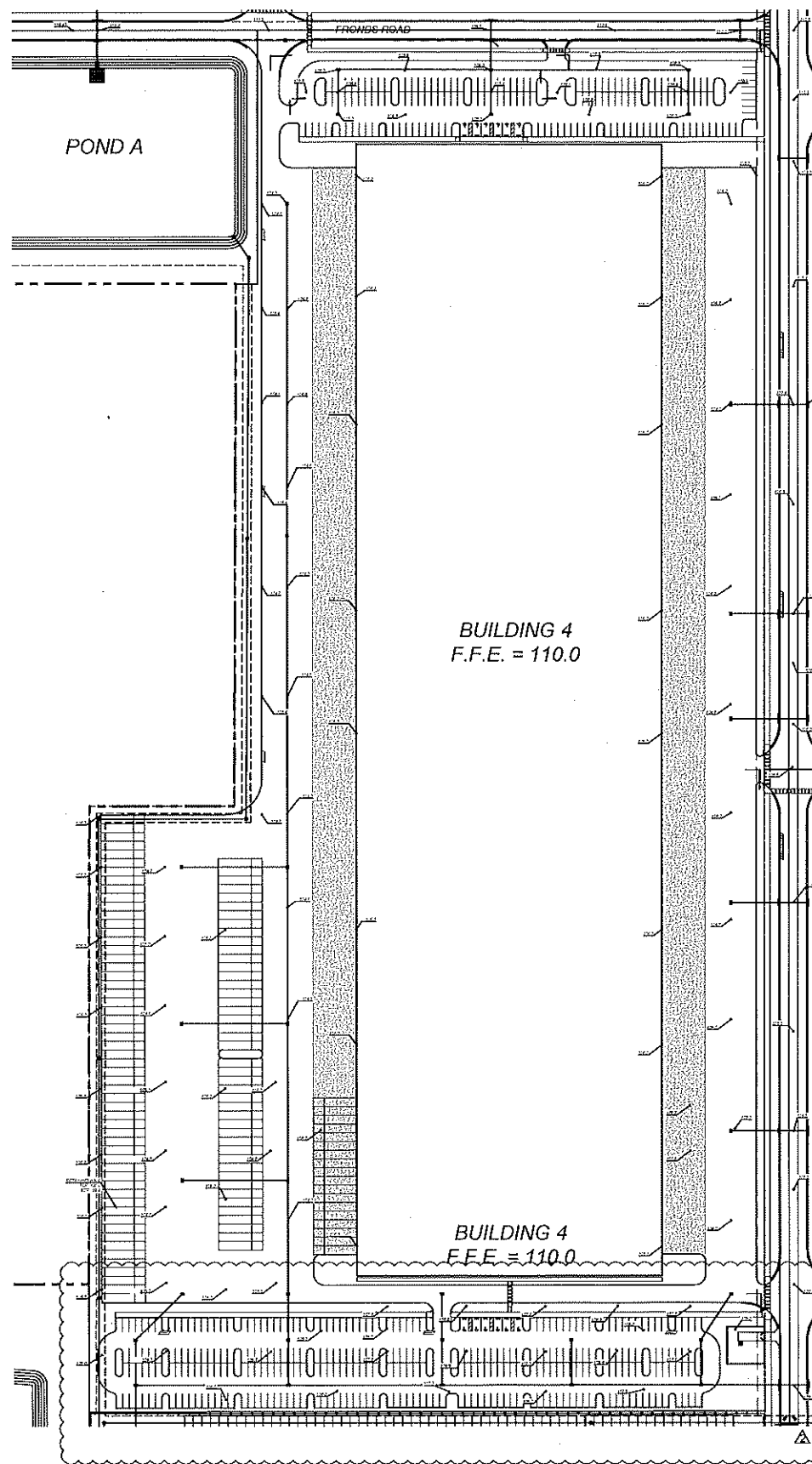
REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	MG	REVISED PER CLIENT REQUEST			

DAVE M. SCHMITT  
 FLORIDA REG. NUMBER  
 48274

**LOT 4 PLAN**  
 MID-FLORIDA LOGISTICS PARK  
 APOPKA, FLORIDA

DATE: JUNE 2018  
 PROJECT NO.: ANC-1  
 DRAWN BY: MTP  
 CHECKED BY: DSE  
 SCALE: 1"=100'  
 SHEET: 13 OF 18

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12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	MG	REVISED PER CLIENT REQUEST			

DAVE M. SCHMITT  
FLORIDA REG. NUMBER  
48274

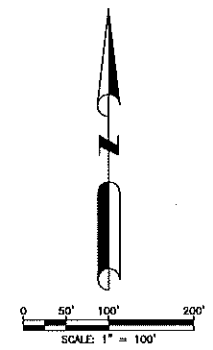
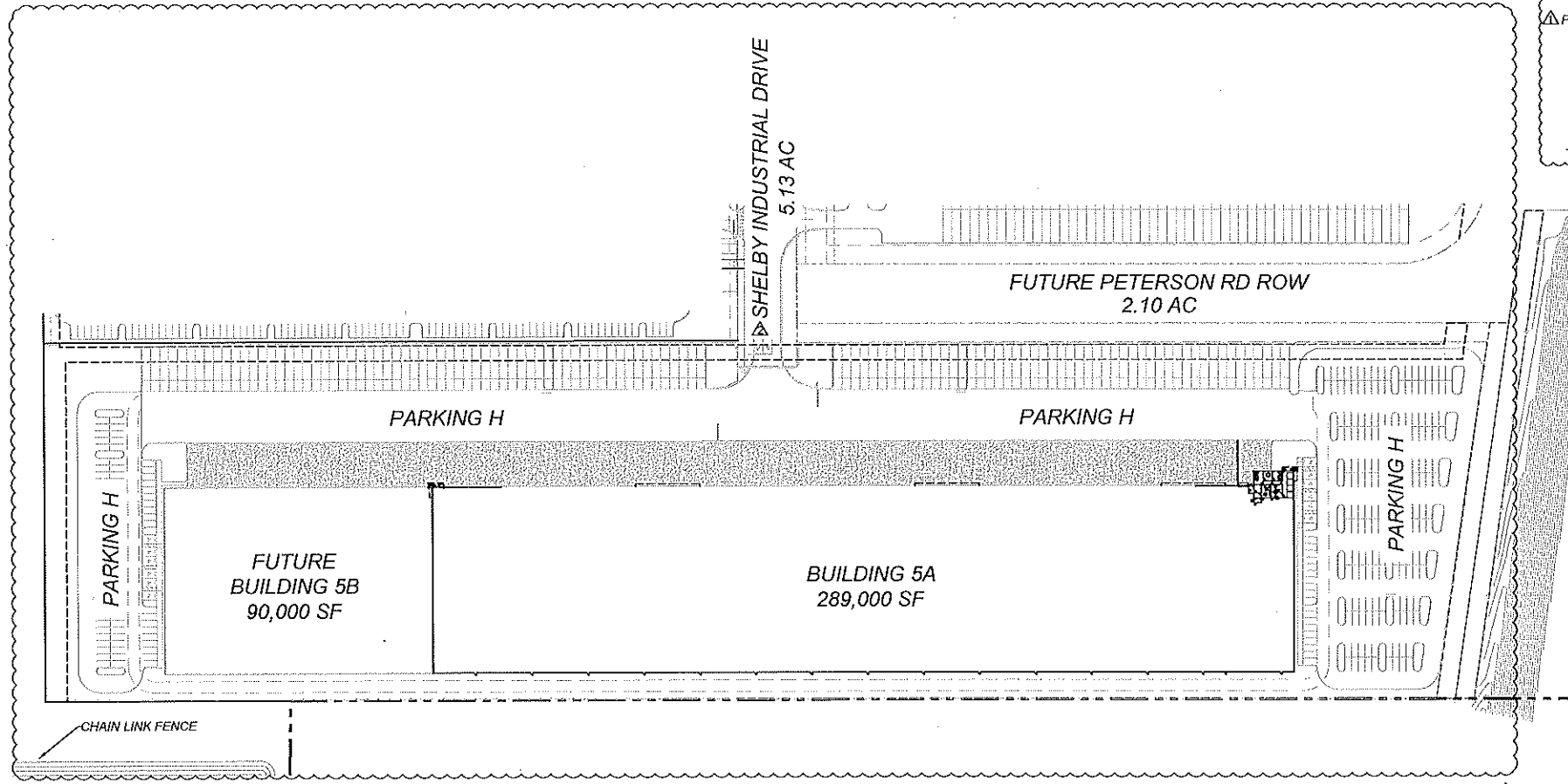
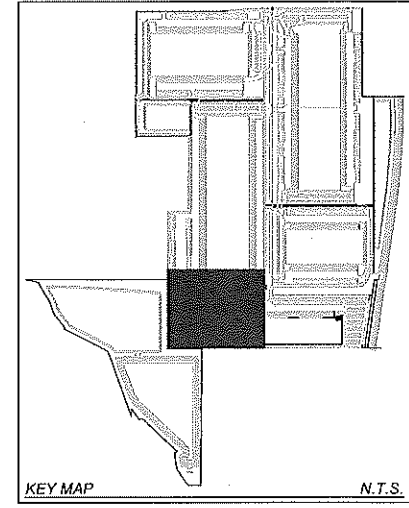
**LOT 4 PRELIMINARY GRADING PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1"=100'  
SHEET: 14 OF 18

241

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<b>LOT 5 PARCEL NUMBERS</b>	
#12-21-27-0000-00-010	
#12-21-27-0000-00-0315	
<b>LOT 5 AREA</b>	22.00 ACRES
OPEN SPACE REQUIRED: 20% OF USABLE LOT AREA	
22.00 x 0.20 = 4.40 ACRES	
OPEN SPACE PROVIDED	
LOT 5 OPEN SPACE	2.37 ACRES
1/3 OF POND 3 & 4 OPEN SPACE	5.40 ACRES
<b>TOTAL OPEN SPACE</b>	6.77 ACRES
<b>BUILDING 5 AREA</b> 379,000 SF	
PARKING REQUIRED: 0.89 SPACE PER 1,000 SF OF GROSS FLOOR AREA	
PARKING SPACES REQUIRED 337 SPACES	
<b>PARKING PROVIDED:</b>	
<b>PARKING AREA H</b>	
STANDARD SPACES	286
HANDICAP SPACES	12
TRUCK SPACES	113
SUBTOTAL	411
<b>TOTAL PARKING SPACES</b>	411



**DEVIATIONS OF WAIVER REQUEST TABLE**

Code Number	Code Requirement	Requested Modification	Justification	Location
6.01.02.A	<b>Parking</b> 2 spaces per 1,000 sf of GFA up to 150,000 sf plus 1 space per vehicle operating on the premises or 2 spaces per employee and 1 space per 1,000 sf of over 150,000 sf of GFA.	0.89 Space per 1,000 sf of GFA	The ITE Parking Generation Manual, 4th Edition, 85th percentile parking requirement for warehouse site is 0.81 spaces per 1,000 sf of GFA.	Entire Site
2.02.01.A	<b>Building Height</b> Maximum Building Height 35'	Maximum Building Height 55'	The modern warehouses require 35' to 45' of clear space under roof to accommodate automated materials handling equipment and maximize storage.	All Buildings
2.02.15.F	<b>Buffer Yard</b> Front 25', Side 10', Rear 10' / 30' Adjacent to Residential, 25' Road ROW	15' on GE Road, Hermit Smith Road to Main Entrance, 0' / 10' Adjacent to SR 429, 10' / 25' Adjacent to Peterson Road, 10' Adjacent to Spine Road Industrial	The northern portion of the site is controlled by the encroachment of GE Road, SR 429 has 300' of ROW, 6 lanes, and provides a 20' high barrier to adjacent property to the east.	North and East
2.02.01.BS b(9)	<b>Roof Top Screening</b> All roof top equipment shall be completely screened from adjacent properties and rights-of-way to the maximum extent possible.	Roof top equipment shall be screened from view from adjacent property line and public rights-of-way, with the exception of SR 429 due to the large elevation change of the roadway and the finished floor elevation of the building. SR 429 is at an elevation of 135', approximately 20' above the finished floor height of Building 2. Screening shall be reviewed to be in conformance by the Subdivision President and the City of Apopka. Screening shall be reviewed through a split line document from the nearest adjacent property line and/or from the corner of the public right-of-way. The eye line shall be from the typical height of a person.	All buildings will have a site line evaluation to confirm that rooftop equipment will not be visible from adjacent properties and ROW.	Entire Site
6.02.00	<b>Sidewalks</b> Build sidewalks on both sides of public streets	Build sidewalks only on the west side of Spine Road Industrial Drive.	We are requesting that we do not place a sidewalk on the east side of the ROW proximate to the rail spur. The pedestrian access plan provided on sheet 8 of the PUD Master Plan shows a network of pedestrian facilities serving the site. The sidewalk on the west side of Spine Road Industrial to the spine crossing the southern end of the site with GE Road. All buildings are connected to this north-south spine and the appropriate crosswalks are provided where needed. We remain concerned that placement of a sidewalk will not increase the pedestrian connectivity over the current plan but will put pedestrians in close proximity to the internal rail spur east of Spine Road Industrial serving the site. The benefit of the additional sidewalk does not, in our opinion, warrant the risk of inadvertent intrusion of pedestrians and/or vehicles.	Entire Site

NOTE: THIS PROJECT WILL CONFORM TO ALL REQUIREMENTS OF 14 ZONING WITH THE EXCEPTION OF THE DEVIATIONS NOTED ON THE DEVIATION TABLE.

**DSE**  
DAVE SCHMITT  
ENGINEERING, INC.  
12301 Lake Underhill Road Suite 241  
ORLANDO, FL 32828  
407-207-9088 FAX 407-207-9089  
Certification of Authorization #27471

CONTRACTOR "AS-BUILTS"  
I hereby state that these "As-Builts" were furnished to me by the contractor listed below, I or an employee under my direct supervision have reviewed these "As-Builts" and believe them to be in compliance with my knowledge of what was actually constructed. This statement is based upon site observations of the construction.  
Contractor: \_\_\_\_\_ Engineer: \_\_\_\_\_  
Not valid without the signature and the original raised seal of a Florida Registered Engineer.

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	MG	REVISED PER CLIENT REQUEST			

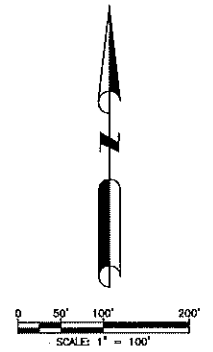
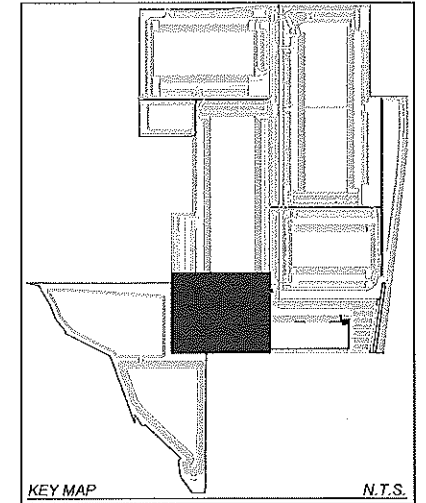
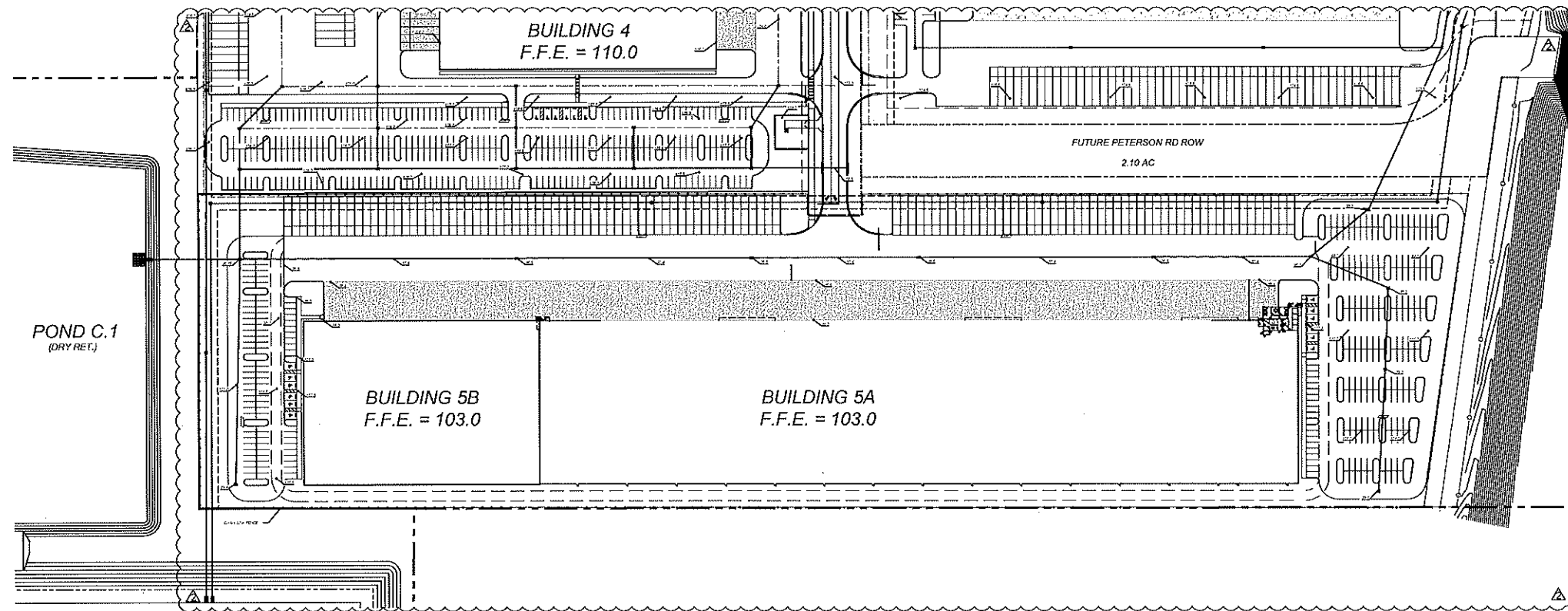
DAVE M. SCHMITT  
FLORIDA REG. NUMBER  
48274

**LOT 5 PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1"=10'  
SHEET: 15 OF 18



f:\ANC1\CAD\Plans\set\p-d-dev plan\07 PRELIMINARY GRADING & STORMWATER PLANS.dwg, 12/5/2018 3:04:47 PM



**DAVE SCHMITT ENGINEERING, INC.**  
 12301 Lake Underhill Road Suite 241  
 ORLANDO, FL 32828  
 407-207-9088 FAX 407-207-9089  
 Certification of Authorization #27471

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 Not valid without the signature and the original raised seal of a Florida Registered Engineer.

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	MG	REVISED PER CLIENT REQUEST			

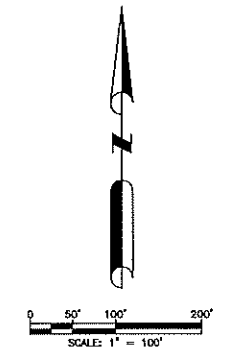
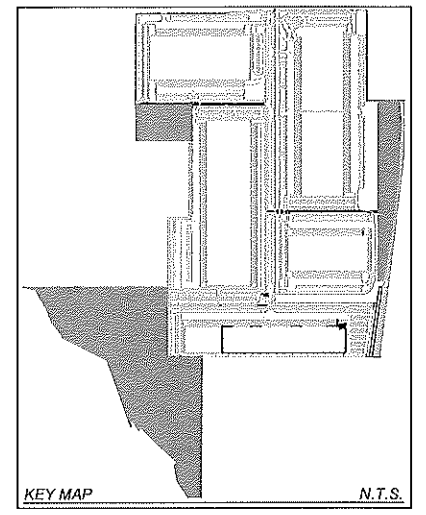
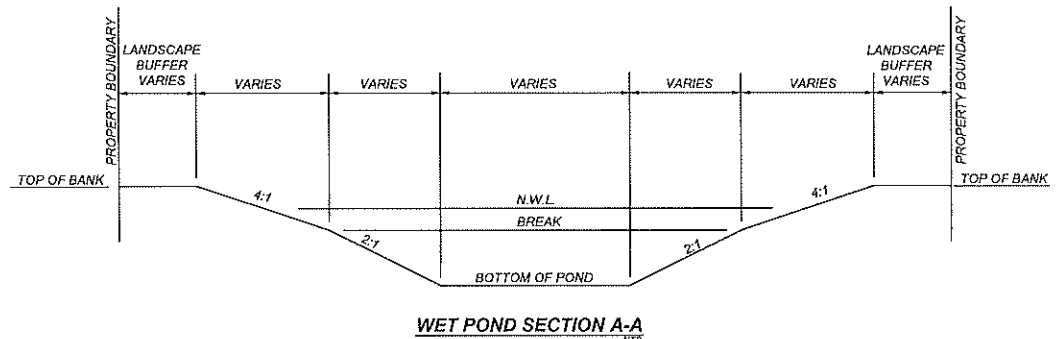
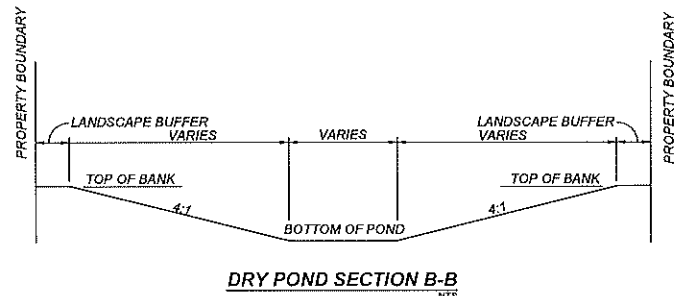
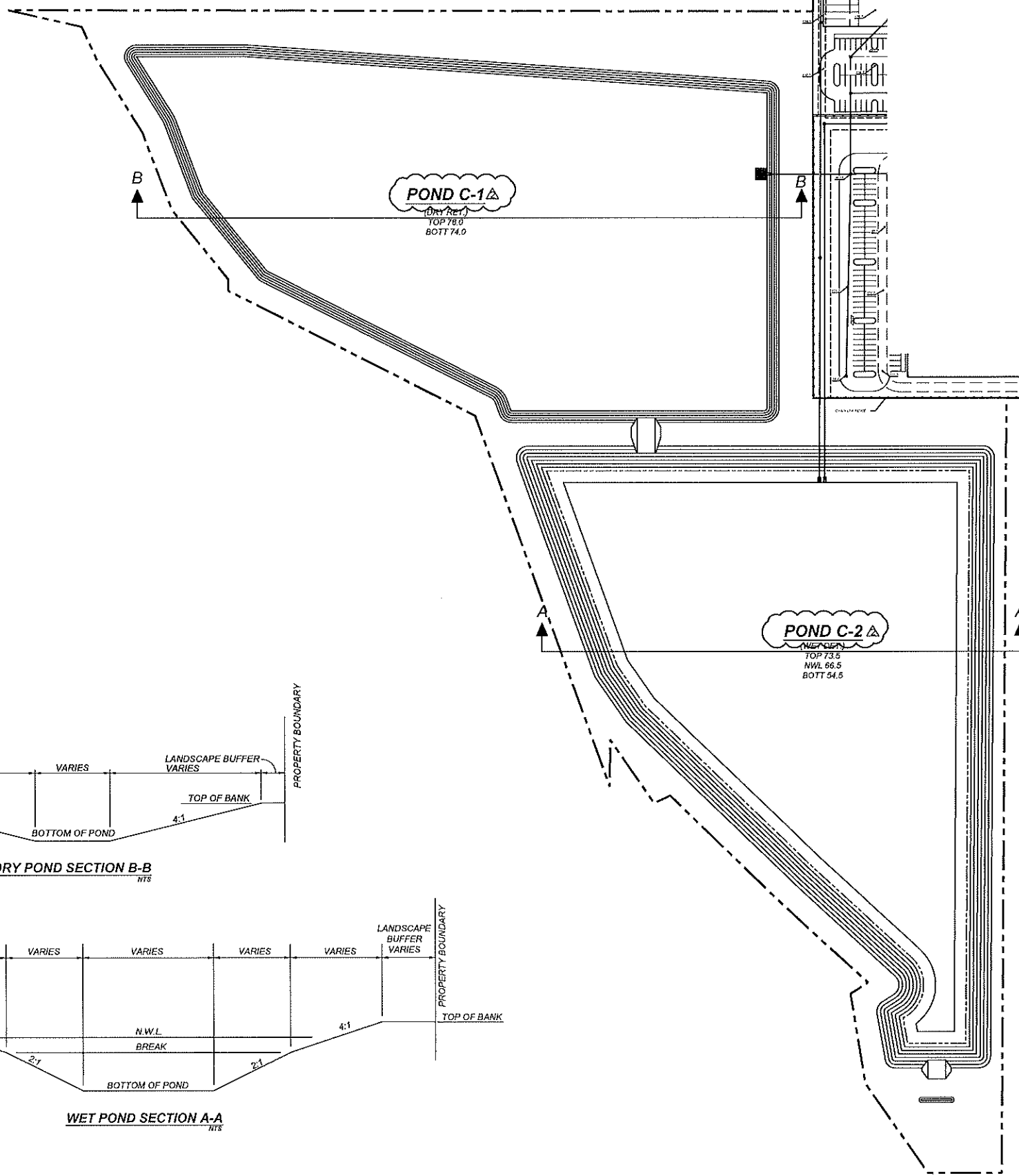
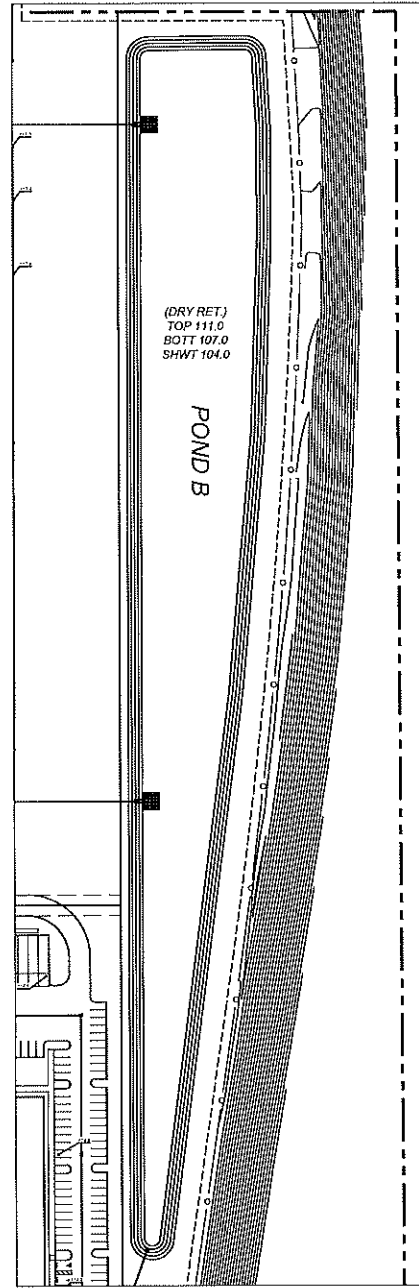
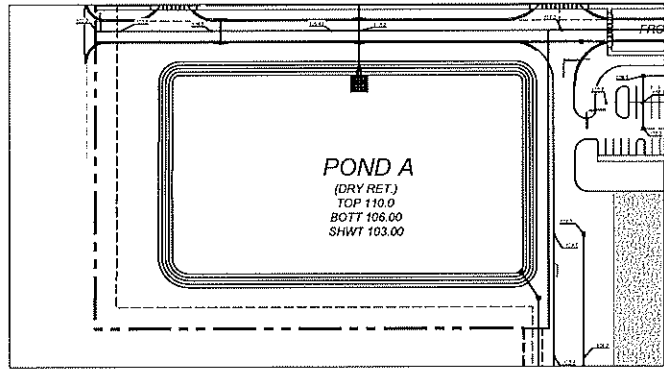
DAVE M. SCHMITT  
 FLORIDA REG. NUMBER  
 48274

**LOT 5 PRELIMINARY GRADING PLAN**  
**MID-FLORIDA LOGISTICS PARK**  
 APOPKA, FLORIDA

DATE: JUNE 2018  
 PROJECT NO.: ANC-1  
 DRAWN BY: MTP  
 CHECKED BY: DSE  
 SCALE: 1"=100'  
 SHEET: 16 OF 18

243

f:\ANC1\CAD\planset\dp-pd-dev\plan\07 PRELIMINARY GRADING & STORMWATER PLANS.dwg,12/5/2018 3:04:47 PM



**DAVE SCHMITT ENGINEERING, INC.**  
12301 Lake Underhill Road Suite 241  
ORLANDO, FL 32828  
407-207-9088 FAX 407-207-9089  
Certification of Authorization #27471

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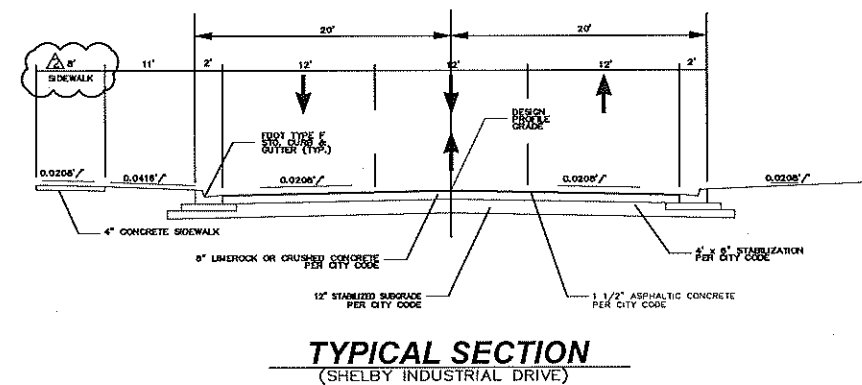
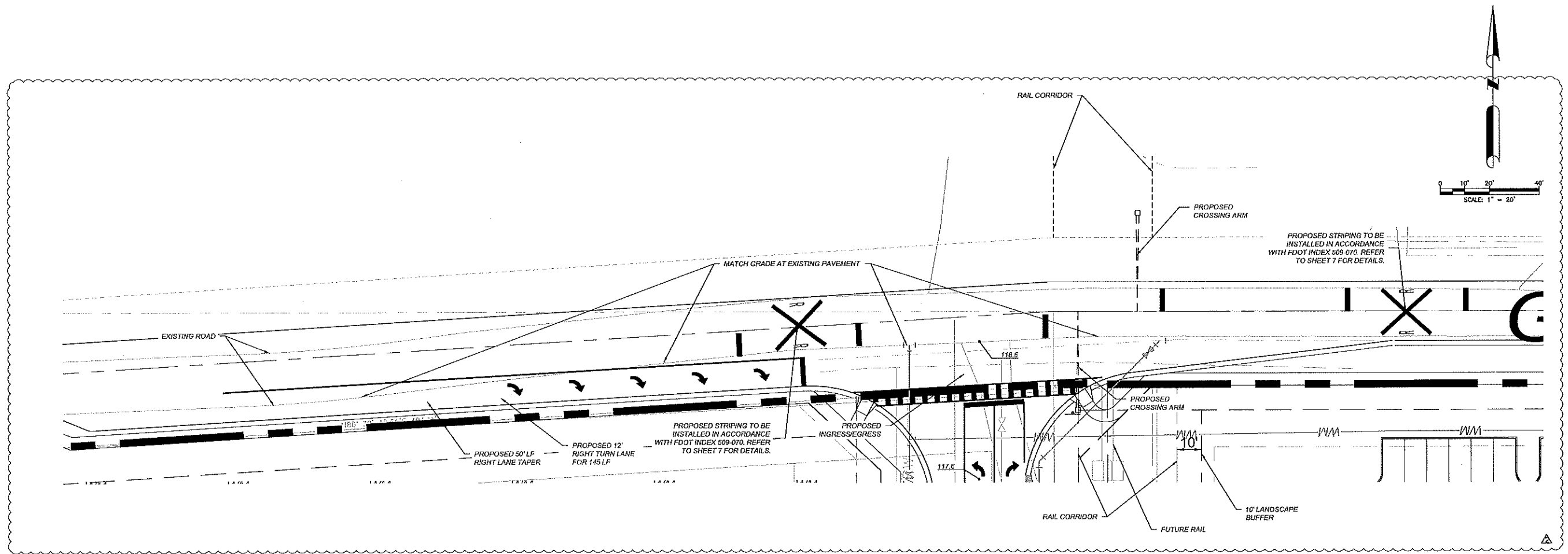
REVISIONS	
DATE	DESCRIPTION
12-04-18	DLS REVISED PER CLIENT REQUEST
11-13-18	MG REVISED PER CLIENT REQUEST

DAVE M. SCHMITT  
FLORIDA REG. NUMBER 48274

**PRELIMINARY STORMWATER POND PLAN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018  
PROJECT NO.: ANC-1  
DRAWN BY: MTP  
CHECKED BY: DSE  
SCALE: 1" = 100'  
SHEET: 17 OF 18

F:\ANC1\CAD\Plans\set\p-d-dev plan\18 GENERAL ELECTRIC ROAD OFFSITE IMPROVEMENTS.dwg, 12/4/2018 12:05:44 PM



**DAVE SCHMITT ENGINEERING, INC.**  
 12301 Lake Underhill Road Suite 241  
 ORLANDO, FL 32828  
 407-207-9088 FAX 407-207-9089  
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REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12-04-18	DLS	REVISED PER CLIENT REQUEST			
11-13-18	MG	REVISED PER CLIENT REQUEST			

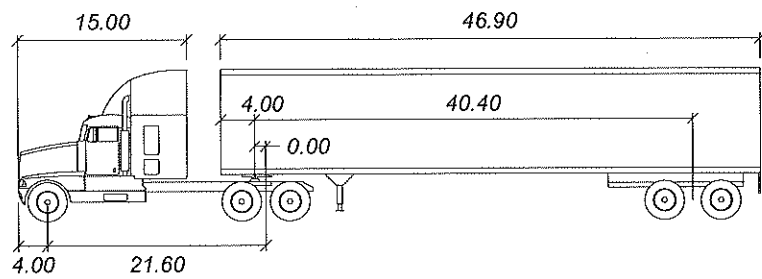
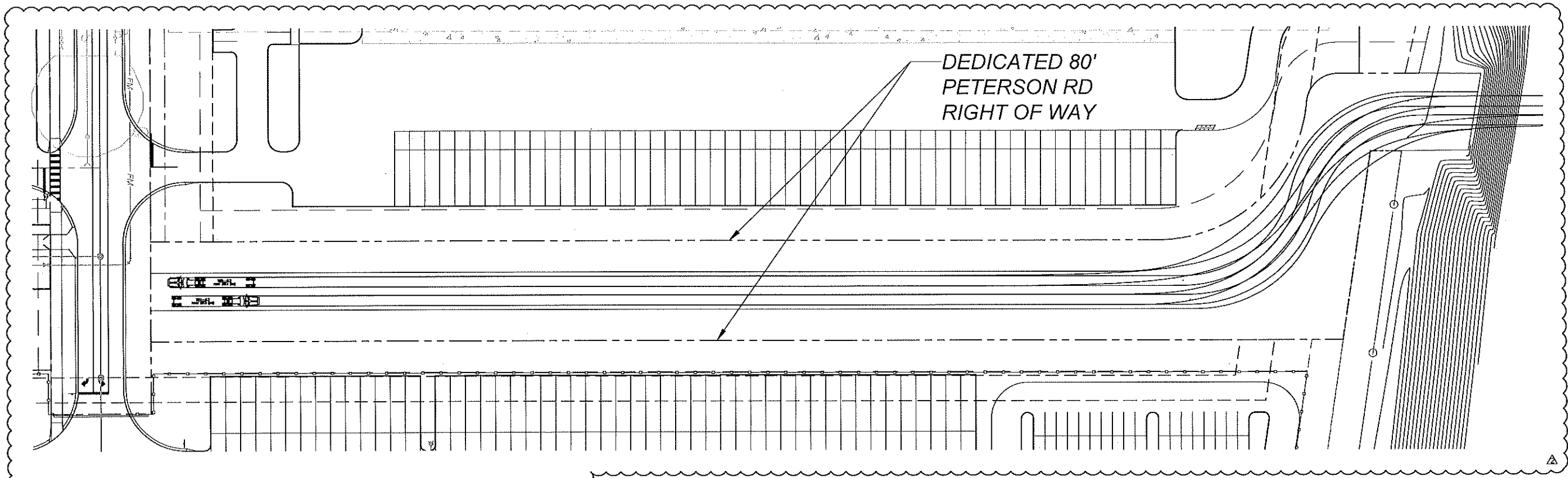
245

DAVE M. SCHMITT  
 FLORIDA REG. NUMBER  
 48274

**GE ROAD OFFSITE IMPROVEMENTS**  
 MID-FLORIDA LOGISTICS PARK  
 APOPKA, FLORIDA

DATE: JUNE 2018  
 PROJECT NO.: ANC-1  
 DRAWN BY: MTP  
 CHECKED BY: DSE  
 SCALE: 1"=20'  
 SHEET: 18 OF 18

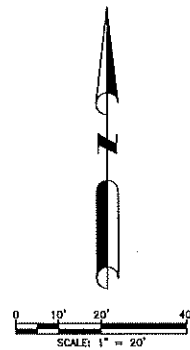
F:\ANC1\CAD\Plans\set\dp-pd-dev\plan\18A W62 TRUCK.dwg, 12/4/2018 8:35:21 PM



WB-62

feet

Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 31.9
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



**DAVE SCHMITT  
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Contractor \_\_\_\_\_ Engineer \_\_\_\_\_  
Not valid without the signature and the original raised seal of a Florida Registered Engineer.

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
12-04-18	JL	SHEET ADDED TO PLAN SET			

DAVE M. SCHMITT  
FLORIDA REG. NUMBER  
48274

**PETERSON ROAD AUTO-TURN**  
MID-FLORIDA LOGISTICS PARK  
APOPKA, FLORIDA

DATE: JUNE 2018
PROJECT NO.: ANC-1
DRAWN BY: MTP
CHECKED BY: DSE
SCALE: 1"=20'
SHEET: 18A OF 18



# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 6, 2019  
 FROM: Community Development  
 EXHIBIT(S): Ordinance No. 2710  
 Sketch/Legal Description  
 Vicinity Map  
 Aerial Map

**SUBJECT:**            **ORDINANCE NO. 2710 – VACATING A 30-FOOT WIDE PUBLIC RIGHT-OF-WAY, EAST OF S.R. 414 AND WEST OF SOUTH HAWTHORNE AVENUE**

**REQUEST:**           **ORDINANCE NO. 2710 – FIRST READING - VACATE A 30-FOOT WIDE PUBLIC RIGHT-OF-WAY, EAST OF S.R. 414 AND WEST OF SOUTH HAWTHORNE AVENUE; AND HOLD OVER FOR SECOND READING AND ADOPTION.**

**SUMMARY:**

OWNER:                    City of Apopka  
 APPLICANT:              Emerson Point Phase II, LLC  
 LOCATION:                East of S.R. 414 and west of South Hawthorne Avenue  
 PARCEL ID #:              N/A  
 EXISTING USE:            Unimproved right-of-way  
 TRACT SIZE:              0.25 +/- acre; 10,993 square feet +/-

**FUNDING SOURCE:** N/A

**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-1	Vacant\Undeveloped
East (County)	Residential Low	R-1A	S. Hawthorne Ave\ Single Family Residential
South (City)	FLIP*	ZIP* (A-1 County)	Vacant
West (City)	ROW\Mixed Use	Mixed-EC	S.R. 414\Vacant

\*Recently annexed into the City. City Future Land Use Designation and Zoning not yet assigned.

**SUMMARY OF REQUEST:** Applicant is seeking to vacate a 30-foot wide unimproved public right-of-way with an area of about 0.25 acre, located east of S.R. 414 and west of South Hawthorne Avenue. The applicant intends to combine this land area with those larger parcels to its north and south, both owned by the applicant, for development.

The Public Services Department has evaluated the site and has no objection to the right-of-way being vacated. The City has letters on file from all utility providers indicating no objections to the proposed vacate. The vacated right-of-way will be transferred to the property owner to the north and south, which is the same owner – Emerson Point II LLC. A replat will be required to combine this with the north and southern parcels and shall be approved by the City Council.

**PUBLIC HEARING SCHEDULE:**

February 6, 2019 - City Council - 1<sup>st</sup> Reading (1:30 p.m.)  
 February 20, 2019 - City Council - 2<sup>nd</sup> Reading (7:00 p.m.)

**DULY ADVERTISED:**

January 18, 2019 - Public Hearing Notice  
 February 8, 2019 - Ordinance Heading Ad

---

**RECOMMENDATION ACTION:**

The **Development Review Committee** does not object to the request by Emerson Point Phase II to vacate a 30-foot wide unimproved public right-of-way, as described in the legal description.

Accept the First Reading of Ordinance No. 2710 and hold it over for Second Reading and Adoption on February 20, 2019.

**RIGHT OF WAY VACATION  
 SKETCH OF DESCRIPTION**

**LEGAL DESCRIPTION:**

A PORTION OF A 30 FOOT WIDE RIGHT OF WAY AS DESCRIBED IN DEED BOOK 785, PAGE 113, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA LYING IN SECTION 21, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH 1/4 CORNER OF SECTION 21, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN SOUTH 00°34'48" WEST, ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 21, FOR A DISTANCE OF 1296.10 FEET, TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 21, SAID POINT LYING ON THE WEST RIGHT-OF-WAY LINE OF HAWTHORNE AVENUE, AS DESCRIBED IN OFFICIAL RECORDS BOOK 30, PAGE 57, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 89°22'09" WEST, ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 21, AND ALONG THE SAID WEST RIGHT OF WAY LINE OF HAWTHORNE AVENUE FOR A DISTANCE OF 30.00 FEET, TO THE POINT OF BEGINNING, SAID POINT LYING ON THE SOUTH LINE OF SAID 30 FOOT WIDE RIGHT OF WAY AS DESCRIBED IN DEED BOOK 785, PAGE 113; THENCE RUN NORTH 89°22'09" WEST, ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 21, AND ALONG THE SOUTH LINE OF SAID 30 FOOT WIDE RIGHT OF WAY AS DESCRIBED IN DEED BOOK 785, PAGE 113, FOR A DISTANCE OF 351.18 FEET TO A POINT ON THE NORTH LIMITED ACCESS RIGHT OF WAY LINE OF STATE ROAD 414, AS DESCRIBED IN OFFICIAL RECORDS DOCUMENT NUMBER 20170079066, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 44°52'33" WEST, ALONG THE SAID NORTH LIMITED ACCESS RIGHT OF WAY LINE OF STATE ROAD 414, FOR A DISTANCE OF 42.81 FEET, TO A POINT LYING ON THE NORTH LINE OF SAID 30 FOOT WIDE RIGHT OF WAY AS DESCRIBED IN DEED BOOK 785, PAGE 113; THENCE RUN SOUTH 89°22'09" EAST, ALONG THE NORTH LINE OF SAID 30 FOOT WIDE RIGHT OF WAY AS DESCRIBED IN DEED BOOK 785, PAGE 113, FOR A DISTANCE OF 381.69 FEET, TO A POINT ON THE SAID WEST RIGHT OF WAY LINE OF HAWTHORNE AVENUE; THENCE RUN SOUTH 00°34'48" WEST, ALONG SAID WEST RIGHT OF WAY LINE OF HAWTHORNE AVENUE, FOR A DISTANCE OF 30.00 FEET, TO THE POINT OF BEGINNING.

CONTAINING 10,993.00 SQUARE FEET, MORE OR LESS.

**LEGEND:**

- |         |  |          |                       |
|---------|--|----------|-----------------------|
| CB –    | CHORD BEARING                              | ORB –    | OFFICIAL RECORDS BOOK |
| CFX –   | CENTRAL FLORIDA EXPRESSWAY AUTHORITY       | PB –     | PLAT BOOK             |
| CH –    | CHORD LENGTH                               | PG –     | PAGE                  |
| D –     | CENTRAL ANGLE                              | P.O.B. – | POINT OF BEGINNING    |
| DOC # – | OFFICIAL RECORDS DOCUMENT NUMBER           | P.O.C. – | POINT OF COMMENCEMENT |
| DB –    | DEED BOOK                                  | R –      | RADIUS                |
| L –     | ARC LENGTH                                 | RGE –    | RANGE                 |
| L.A. –  | LIMITED ACCESS                             | R/W –    | RIGHT-OF-WAY          |
| N/A –   | NOT APPLICABLE                             | SEC –    | SECTION               |
| NAD –   | NORTH AMERICAN DATUM                       | TWP –    | TOWNSHIP              |
| NO. –   | NUMBER                                     |          |                       |
| NT –    | NON TANGENT                                |          |                       |
| OOCEA – | ORLANDO-ORANGE COUNTY EXPRESSWAY AUTHORITY |          |                       |

**SURVEY CERTIFICATION:**

I HEREBY CERTIFY THAT THE INFORMATION PROVIDED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, THAT THE INFORMATION WAS GATHERED AND PREPARED UNDER MY DIRECT SUPERVISION, AND THAT ALL INFORMATION CONFIRMS TO THE STANDARDS OF PRACTICE AS SET FORTH IN RULE SJ-17, ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTE 472 AS APPLICABLE.

*Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.*

11/15/18  
Date


*Corey A. Hopkins*  
Corey A. Hopkins, LS 6149

**SURVEYORS NOTES:**

1. THIS SKETCH IS NOT A SURVEY.
2. BEARINGS SHOWN HEREON ARE BASED ON THE EAST LINE OF THE NORTHWEST 1/4 OF SECTION 21, TOWNSHIP 21 SOUTH, RANGE 28 EAST, THAT BEARING BEING S 00°34'48" W, FLORIDA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD 83/90.
3. NOT VALID WITHOUT ALL SHEETS.

No.	Revisions	Date
1	Sketch of Description	11/15/18
2		
3		
4		
5		

**On the Mark Surveying, LLC**  
 LB 7931  
 143 Meadow Boulevard  
 Sanford, Florida 32771  
 Phone: (321)625-6376  
 Email: OTMSurveying@gmail.com

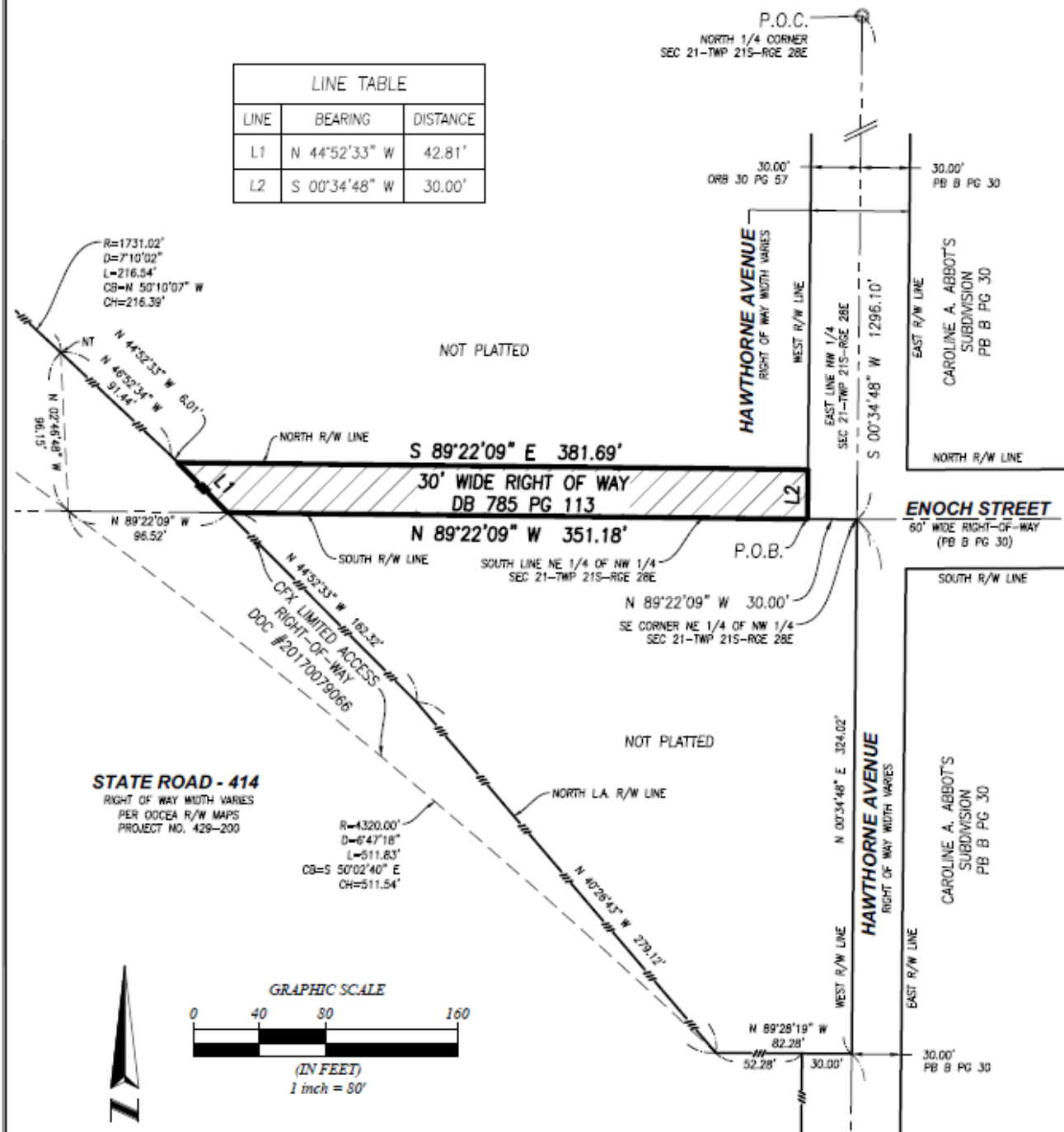


**SKETCH OF  
 DESCRIPTION**

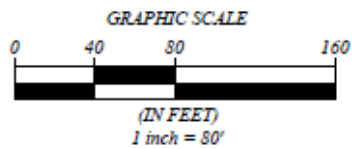
Field Date:	N/A	Drawn by:	CAH
Scale:	N/A	Checked by:	CAH
Sheet 1 of 2		Job Number:	EMERSON

RIGHT OF WAY VACATION  
 SKETCH OF DESCRIPTION

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 44°52'33" W	42.81'
L2	S 00°34'48" W	30.00'



**STATE ROAD - 414**  
 RIGHT OF WAY WIDTH VARIES  
 PER OOOEA R/W MAPS  
 PROJECT NO. 429-200



No.	Revisions	Date
1	Sketch of Description	11/15/18
2		
3		
4		
5		

**On the Mark**  
 On the Mark Surveying, LLC  
 LB 7931  
 143 Meadow Boulevard  
 Sanford, Florida 32771  
 Phone: (321)626-6376  
 Email: OTMSurveying@gmail.com

SKETCH OF  
 DESCRIPTION

Field Date:	N/A	Drawn by:	CAH
Scale:	1" = 80'	Checked by:	CAH
Sheet 2 of 2		Job Number:	EMERSON II

**Owner:** City of Apopka  
**Applicant:** Emerson Point Phase II, LLC  
**Location:** East of S.R. 414 and west of South Hawthorne Avenue  
**Total Acre(s):** 0.25 +/- acre

### VICINITY MAP

Emerson Point Phase II (30-foot Wide Right-of-Way to be vacated)





## AERIAL MAP

Emerson Point Phase II (30-foot Wide Right-of-Way to be vacated)





**ORDINANCE NO. 2710**

**AN ORDINANCE OF THE CITY OF APOPKA, TO VACATE A 30-FOOT WIDE RIGHT-OF-WAY, LOCATED NORTH OF EAST S.R. 414 AND WEST OF SOUTH HAWTHORNE AVENUE IN SECTION 21, TOWNSHIP 21, RANGE 28 OF ORANGE COUNTY, FLORIDA; PROVIDING DIRECTIONS TO THE CITY CLERK, FOR SEVERABILITY, FOR CONFLICTS, AND AN EFFECTIVE DATE**

**WHEREAS**, pursuant to provisions of Florida Statutes, Section 336.10, a Petition has been filed by the City of Apopka, to vacate, abandon, discontinue, renounce and disclaim alleyway as shown in Exhibit "A"; and

**WHEREAS**, CenturyLink (f/k/a Embarq), Duke Energy, Charter Spectrum Communications and Lake Apopka Natural Gas District have no objection to the abandonment of a portion of the existing utility easement; and

**WHEREAS**, the City Council has determined that under the proposed circumstances there exists no public need for this existing easement; and

**WHEREAS**, after public notice in accordance with Florida Statute 336.10, the City Council has determined that it is not contrary to public interest to vacate and abandon said existing easement.

**NOW THEREFORE, BE IT ORDAINED**, by the City Council of the City of Apopka, Florida, as follows:

**Section 1.** That the following lands, and graphically depicted by the attached Exhibit "A," shall be officially closed, discontinued, and vacated:

**Legal Description:**

A PORTION OF A 30 FOOT WIDE RIGHT OF WAY AS DESCRIBED IN DEED BOOK 785, PAGE 113, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA LYING IN SECTION 21, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTH 1/4 CORNER OF SECTION 21, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE RUN SOUTH 00°34'48" WEST, ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 21, FOR A DISTANCE OF 1296.10 FEET, TO THE SOUTHEAST CORNER OF THE NORTHEAST 1/4

OF THE NORTHWEST 1/4 OF SAID SECTION 21, SAID POINT LYING ON THE WEST RIGHT-OF-WAY LINE OF HAWTHORNE AVENUE, AS DESCRIBED IN OFFICIAL RECORDS BOOK 30, PAGE 57, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 89°22'09" WEST, ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 21, AND ALONG THE SAID WEST RIGHT OF WAY LINE OF HAWTHORNE AVENUE FOR A DISTANCE OF 30.00 FEET, TO THE POINT OF BEGINNING, SAID POINT LYING ON THE SOUTH LINE OF SAID 30 FOOT WIDE RIGHT OF WAY AS DESCRIBED IN DEED BOOK 785, PAGE 113; THENCE RUN NORTH 89°22'09" WEST, ALONG THE SOUTH LINE OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 21, AND ALONG THE SOUTH LINE OF SAID 30 FOOT WIDE RIGHT OF WAY AS DESCRIBED IN DEED BOOK 785, PAGE 113, FOR A DISTANCE OF 351.18 FEET TO A POINT ON THE NORTH LIMITED ACCESS RIGHT OF WAY LINE OF STATE ROAD 414, AS DESCRIBED IN OFFICIAL RECORDS DOCUMENT NUMBER 20170079066, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 44°52'33" WEST, ALONG THE SAID NORTH LIMITED ACCESS RIGHT OF WAY LINE OF STATE ROAD 414, FOR A DISTANCE OF 42.81 FEET, TO A POINT LYING ON THE NORTH LINE OF SAID 30 FOOT WIDE RIGHT OF WAY AS DESCRIBED IN DEED BOOK 785, PAGE 113; THENCE RUN SOUTH 89°22'09" EAST, ALONG THE NORTH LINE OF SAID 30 FOOT WIDE RIGHT OF WAY AS DESCRIBED IN DEED BOOK 785, PAGE 113, FOR A DISTANCE OF 381.69 FEET, TO A POINT ON THE SAID WEST RIGHT OF WAY LINE OF HAWTHORNE AVENUE; THENCE RUN SOUTH 00°34'48" WEST, ALONG SAID WEST RIGHT OF WAY LINE OF HAWTHORNE AVENUE, FOR A DISTANCE OF 30.00 FEET, TO THE POINT OF BEGINNING.

CONTAINING 10,993.00 SQUARE FEET, MORE OR LESS.

**Section II. NOTICE.** That notice of the adoption of this Ordinance be published and the Ordinance be filed with the Clerk of the Circuit Court of Orange County, Florida, and duly recorded among the Public Records of Orange County, Florida.

**Section III. SEVERABILITY.** That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this Ordinance.

**Section IV. CONFLICT.** That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

**Section V. EFFECTIVE DATE.** That this Ordinance shall take effect upon the date of adoption.

READ FIRST TIME: February 6, 2019

READ SECOND TIME  
AND ADOPTED: February 20, 2019

\_\_\_\_\_  
Bryan Nelson, Mayor

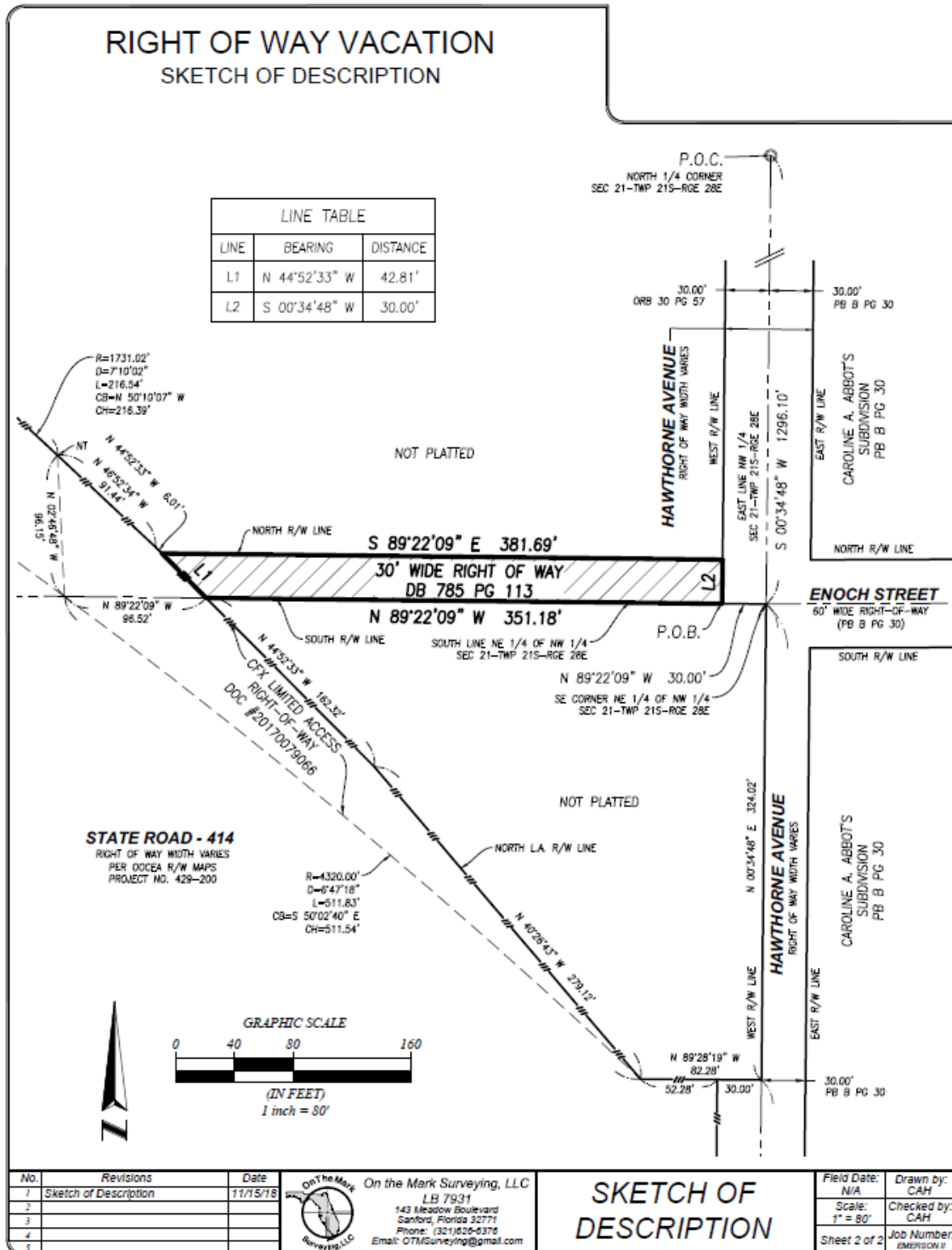
ATTEST:

\_\_\_\_\_  
Linda Goff, City Clerk

APPROVED AS TO FORM:

DULY ADVERTISED FOR PUBLIC HEARING: January 18, 2019 and February 8, 2019

City of Apopka  
Proposed Vacate of Right-of-Way





# CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA  
 PUBLIC HEARING  
 SPECIAL REPORTS  
 OTHER: Annexation

MEETING OF: February 6, 2019  
FROM: Community Development  
EXHIBITS: Vicinity Map  
Aerial Map  
Ordinance No. 2712

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**SUBJECT: ORDINANCE NO. 2712 – ANNEXATION – 3251 HARRY STREET**

**REQUEST: ORDINANCE NO. 2712 – FIRST READING - ANNEXATION – 3251 HARRY STREET; AND HOLD OVER FOR SECOND READING & ADOPTION.**

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**SUMMARY:**

OWNER/APPLICANT: City of Apopka  
LOCATION: 3251 Harry Street  
PARCEL ID NO: 36-20-27-7189-01-200  
EXISTING USE: Apopka Lift Station  
TRACT SIZE: 1.22 +/- acres

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**FUNDING SOURCE: N/A**

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**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



**ADDITIONAL COMMENTS:** Abutting current boundaries of the City of Apopka, the subject site is consistent with Florida Statutes addressing annexation of unincorporated lands into a municipality. The proposed annexation shall be on the basis of the existing County Future Land Use and Zoning Designations. Assignment of a City Future Land Use and Zoning designation will occur at a later date, and through action by the City Council.

Parcels to the east and southeast of this City-owned parcel were annexed into the City on December 5, 2018, making this site now contiguous to the City’s jurisdictional boundary.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify Orange County 15 days prior to the first reading of any annexation ordinance. The City provided notification to the County on January 3, 2019.

**DULY ADVERTISED:**  
January 18, 2019  
January 25, 2019

**PUBLIC HEARING SCHEDULE:**  
February 6, 2019 (1:30 PM) - City Council 1<sup>st</sup> Reading  
February 20, 2019 (7:00 PM) - City Council 2<sup>nd</sup> Reading and Adoption

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**RECOMMENDATION ACTION:**

The **Development Review Committee** recommends approval of the annexation for property owned by the City of Apopka.

Accept the First Reading of Ordinance No. 2712, and Hold it Over for Second Reading and Adoption on February 20, 2019.

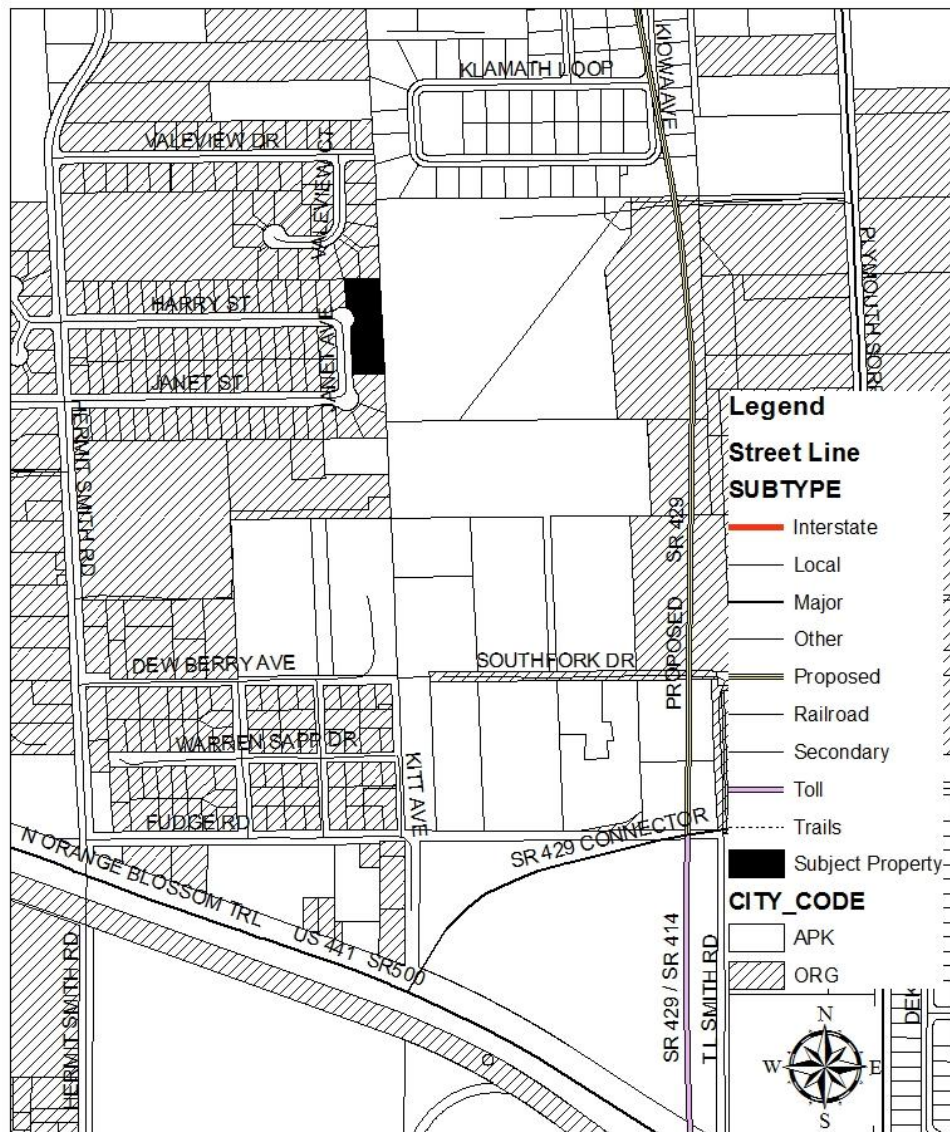
**ANNEXATION**  
**City of Apopka**  
**3251 Harry Street**

**Property Description:** PLYMOUTH HILLS, PLAT BOOK 3, PAGE 64, LOT 19 (LESS THE WEST 60-FEET) & LOTS 20 THROUGH 24, BLOCK A

**Parcel ID Nos.:** 36-20-27-7189-01-200

**Total Acres:** 1.22 ac +/-

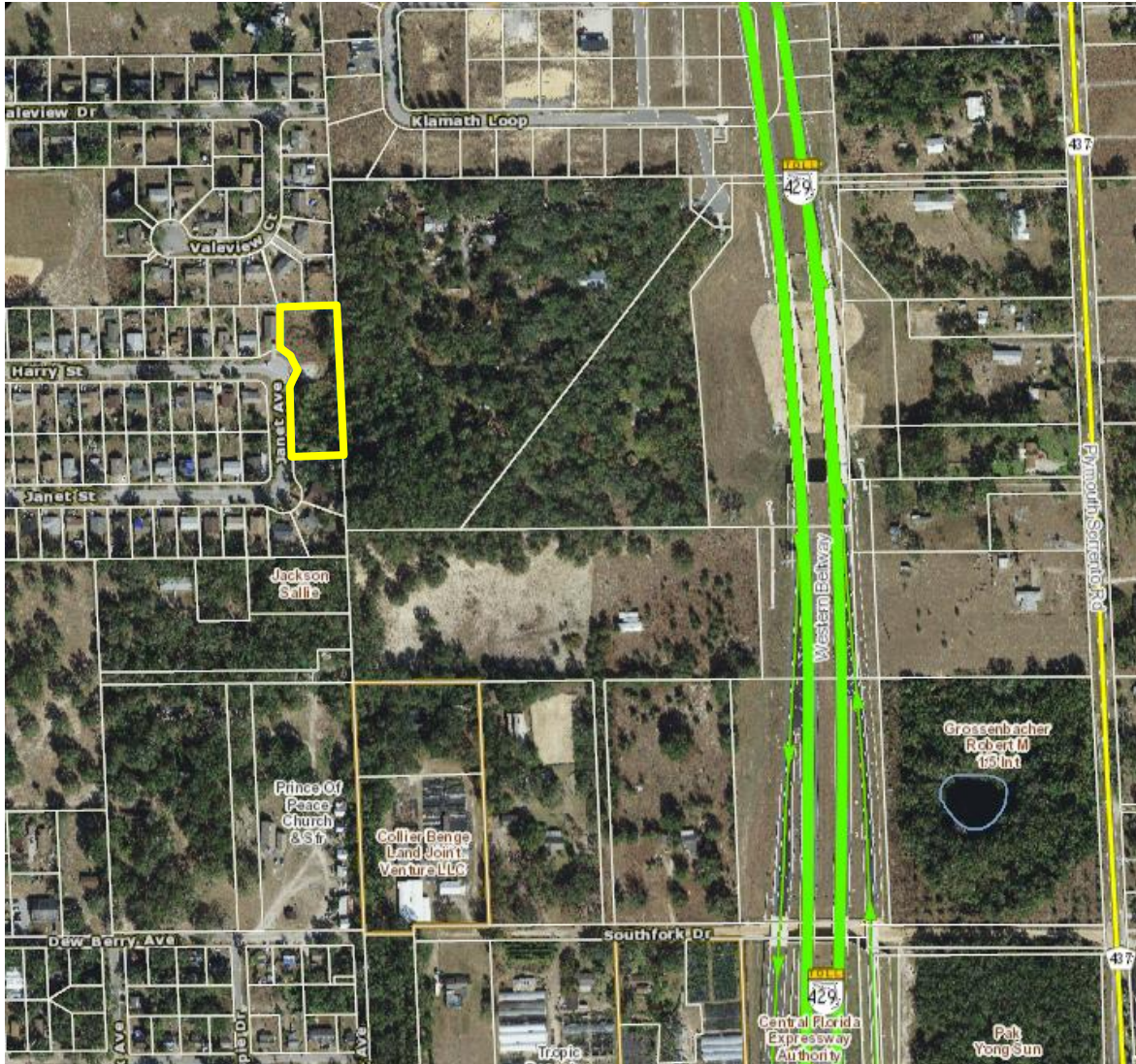
**VICINITY MAP**



(THIS MAP IS FOR REFERENCE PURPOSES ONLY AND IS NOT TO SCALE)



# AERIAL MAP



**ORDINANCE NO. 2712**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, TO EXTEND ITS TERRITORIAL AND MUNICIPAL LIMITS TO ANNEX PURSUANT TO FLORIDA STATUTE 171.044 THE HEREINAFTER DESCRIBED LANDS SITUATED AND BEING IN ORANGE COUNTY, FLORIDA, OWNED BY THE CITY OF APOPKA; LOCATED AT 3251 HARRY STREET; PROVIDING FOR DIRECTIONS TO THE CITY CLERK, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.**

**WHEREAS**, the City of Apopka, owner thereof, has petitioned the City Council of the City of Apopka, Florida, to annex the property located at 3251 Harry Street; and

**WHEREAS**, Florida Statute 171.044 of the General Laws of Florida provide that a municipal corporation may annex property into its corporate limits upon voluntary petition of the owners, by passing and adopting a non-emergency ordinance to annex said property; and

**WHEREAS**, the City Council of the City of Apopka, Florida is desirous of annexing and redefining the boundaries of the municipality to include the subject property pursuant to Florida Statute 171.044.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

**SECTION I:** That the following described properties, being situated in Orange County, Florida, totaling 1.22 +/- acres, and graphically depicted by the attached Exhibit "A", is hereby annexed into the City of Apopka, Florida, pursuant to the voluntary annexation provisions of Chapter 171.044, Florida Statutes, and other applicable laws:

Property Description:

PLYMOUTH HILLS, PLAT BOOK 3, PAGE 64, LOT 19 (LESS THE WEST 60-FEET) & LOTS 20 THROUGH 24, BLOCK A

Parcel ID No: 36-20-27-7189-01-200

**SECTION II:** That the corporate territorial limits of the City of Apopka, Florida, are hereby redefined to include said land herein described and annexed.

**SECTION III:** That the City Council will designate the land use classification and zoning category of these annexed lands in accordance with applicable City ordinances and State laws.

**SECTION IV:** That the land herein described and future inhabitants of the land herein described shall be liable for all debts and obligations and be subject to all species of taxation, laws, ordinances and regulations of the City.



**ORDINANCE NO. 2712**

**PAGE 2**

SECTION V: That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION VI: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

SECTION VII: That this ordinance shall take effect upon passage and adoption, thereafter the City Clerk is hereby directed to file this ordinance with the Clerk of the Circuit Court in and for Orange County, Florida; the Orange County Property Appraiser; and the Department of State of the State of Florida.

READ FIRST TIME: February 6, 2019

READ SECOND TIME  
AND ADOPTED: \_\_\_\_\_

\_\_\_\_\_  
Bryan Nelson, Mayor

ATTEST:

\_\_\_\_\_  
Linda Goff, City Clerk

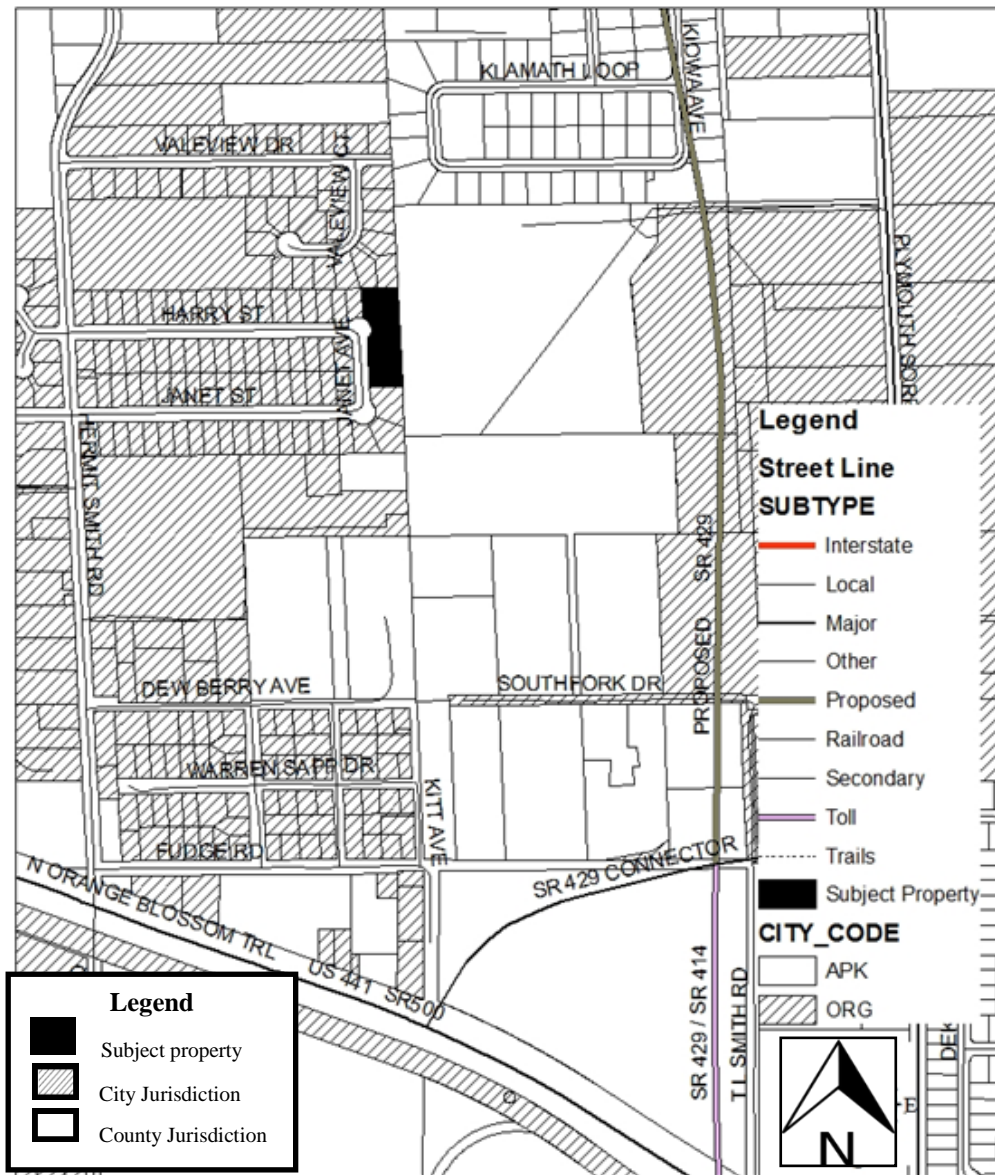
DULY ADVERTISED FOR PUBLIC HEARING: January 18, 2019 and January 25, 2019



ANNEXATION  
3251 Harry Street

Property Description: PLYMOUTH HILLS 3/64 LOT 19 (LESS W 60 FT) & LOTS 20 THRU 24  
BLK A  
Parcel ID No: 36-20-27-7189-01-200  
Total Acres: 1.22 +/-

**Vicinity Map**



(THIS MAP IS FOR REFERENCE PURPOSES ONLY AND IS NOT TO SCALE.)



# CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Resolution No. 2019-03

MEETING OF: February 6, 2019  
FROM: Finance Department  
EXHIBITS: Exhibit A & B

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**SUBJECT: RESOLUTION NO. 2019 – 03 – AMENDING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2018 AND ENDING SEPTEMBER 30, 2019**

**REQUEST: REQUEST COUNCIL TO ADOPT RESOLUTION NO. 2019-03 TOTALING \$9,292,726.83**

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**SUMMARY:**

On September 19, 2018, by Resolution No. 2018-19 the City Council adopted the final budgets for fiscal year 2018/2019. The City has committed to expenditures and has experienced unanticipated revenues/expenditures through the current fiscal year that need to be reflected in the current budget. Florida Statutes, Section 166.241(4) requires the governing body amend the budget in the same manner as the original budget is adopted.

Exhibit A – This amendment includes changes in funding and appropriations for fiscal year 2018 purchase order carryovers, CRA funding carry overs for the Alonzo Williams Community Center Project, SCADA system funding, Police Department Donations and Events, and the Stryker Flex Financial capital lease debt service for EMS equipment.

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**FUNDING SOURCE:**

FY 2018 - 2019 Budget Amendment #4 includes funding from reserves from general fund, CRA Fund and other revenue sources such as donations and fees.

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**RECOMMENDATION ACTION:**

Adopt Resolution No. 2019-03

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**DISTRIBUTION**

Mayor Nelson	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**RESOLUTION NO. 2019-03**

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, AMENDING THE BUDGET FOR THE FISCAL YEAR BEGINNING OCTOBER 1, 2018 AND ENDING SEPTEMBER 30, 2019, PROVIDING FOR A BUDGET AMENDMENT

**WHEREAS**, the City Council of the City of Apopka, Florida, has determined that the Budget for Fiscal Year 2018/2019 should be amended; and

**WHEREAS**, Florida Statutes, Section 166.241(4) requires the governing body amend the budgets in the same manner as the original budget is adopted; and

**WHEREAS**, the City Council adopted the final budgets for fiscal year 2018/2019 through resolution on September 19, 2018.

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA, AS FOLLOWS:**

**SECTION 1:** That the Budget for the City of Apopka, Florida, and Fiscal Year 2018/2019 is hereby amended as indicated in Exhibit A & Exhibit B – with an amendment totaling \$9,292,726.83 which are hereby attached and made part of this Resolution by reference thereto.

**SECTION 2:** Effective Date. This Resolution shall take effect upon final passage and adoption.

ADOPTED THIS 6<sup>TH</sup> DAY OF FEBRUARY, 2019

**CITY OF APOPKA, FLORIDA**

\_\_\_\_\_  
BRYAN NELSON, MAYOR

ATTEST:

\_\_\_\_\_  
LINDA GOFF, CITY CLERK

**EXHIBIT A  
CITY OF AOPKA  
BUDGET AMENDMENT  
Wednesday, February 6, 2019  
Budget Resolution 2019-03**

Date : \_\_\_\_\_  
Prepared by: \_\_\_\_\_  
Approved by: \_\_\_\_\_  
Entry Code: \_\_\_\_\_

Date Entered: \_\_\_\_\_  
Entered By: \_\_\_\_\_  
Batch #: \_\_\_\_\_  
Posted By: \_\_\_\_\_

ACCOUNT NUMBER	J/E DESCRIPTION	TO	FROM
See Exhibit B	RESERVES FROM PRIOR YEAR POS		7,886,384.83
See Exhibit B	ATTACHED PO REQUESTS	7,886,384.83	

**BUDGET AMENDMENT IS FOR THE PURCHASE ORDER CARRY OVERS FROM THE 2018 FISCAL YEAR INTO THE 2019 FISCAL YEAR. THE ATTACHED LIST OF PURCHASE ORDERS ARE PURCHASE ORDERS THAT ARE RELATED TO CONTRACTUAL OBLIGATIONS OR RELATED CAPITAL PROJECTS.**

ACCOUNT NUMBER	J/E DESCRIPTION	TO	FROM
610-389-0009	CARRY-OVER APPROPRIATIONS		621,114.00
610-9011-581-9150	TRANSFER OUT TO THE GRANT FUND	621,114.00	
150-381-0610	TRANSFER IN FROM CRA FUND		621,114.00
150-3613-572-6200	ALONZO WILLIAMS COMMUNITY CENTER (CDBG)	621,114.00	

**BUDGET AMENDMENT IS FOR THE CRA FUNDING ASSOCIATED WITH THE ALONZO WILLIAMS CDBG GRANT. THIS TRANSACTION WILL ALLOW FOR THE ACTUAL MOVEMENT OF FUNDS FROM THE CRA FUND TO THE GRANTS FUND WHICH WILL ALLOW FOR THE APPROPRIATIONS.**

ACCOUNT NUMBER	J/E DESCRIPTION	TO	FROM
403-343-6000	SCADA SYSTEM FEES		73,000.00
403-8019-536-6400	EQUIPMENT & MACHINERY	73,000.00	

**BUDGET AMENDMENT IS TO RECOGNIZE THE FUNDS RECEIVED BY DEVELOPERS TO IMPROVE OUR SCADA SYSTEMS IN OUR LIFT STATIONS. THE DEVELOPERS PROVIDE THE FUNDING AND THE CITY MAKES THE IMPROVEMENTS. THIS TRANSACTION WILL RECOGNIZE THE FUNDS THAT HAVE ALREADY BEEN RECEIVED AND THE CORRESPONDING APPROPRIATION.**

ACCOUNT NUMBER	J/E DESCRIPTION	TO	FROM
106-366-9003	DONATIONS - POLICE DEPARTMENT		23,328.00
106-2220-521-5203	OP - SUPPLIES - DONATIONS	15,176.00	
106-2220-521-8201	POLICE DONATIONS	8,152.00	

**BUDGET AMENDMENT IS TO RECOGNIZE THE POLICE DEPARTMENT'S REVENUES RAISED FOR CYSTIC FIBROSIS AND SHOP WITH THE COP EVENTS AND THE ASSOCIATED APROPRIATION. THIS FUND WAS NOT FULLY FUNDED BECAUSE THE INTENT IS FOR ADDITIONAL APPROVALS TO BE GIVEN AS NEEDED. THE CYSTIC FIBROSIS EVENT COLLECTED \$12,728 WITH ASSOCIATED EXPENDITURES SUCH AS T-SHIRTS, BANNERS AND TROPHIES IN THE AMOUNT OF \$4,576, LEAVING \$8,152 TO BE DONATED DIRECTLY TO THE NON-PROFIT. SHOP WITH THE COP RAISED OVER \$10,600 DUE TO GIFT CARDS BEING DONATED BUT THE CITY EXPENDED ONLY \$10,600 IN ACTUAL FUNDS COLLECTED.**

ACCOUNT NUMBER	J/E DESCRIPTION	TO	FROM
001-389-0010	FUNDING FROM RESERVES		67,786.00
001-9011-590-7194	STRYKER UPGRADES #820-02583328-002	17,784.00	
001-9011-590-7195	STRYKER UPGRADES #820-02583328-003	50,002.00	

**BUDGET AMENDMENT FUNDING FROM RESERVES THE STRYKER FLEX FINANCIAL TERMS AND CONDITIONS CAPITAL LEASE DEBT AGREEMENT FOR FY 2019.**

TOTAL 9,292,726.83 9,292,726.83

COMMENTS: **RESOLUTION 2019-03**

**EXHIBIT B  
CITY OF APOPKA**

**FISCAL YEAR 2018 PURCHASE ORDER CARRY FORWARDS INTO FISCAL YEAR 2019**

Account	Description	PO #	PO Date	Prior Year Line	Item	Item Description	Amount	Vendor #	Vendor Name	First Enc Date
001-1010-512-6200	BUILDINGS	18-08367	9/19/2018		1	exterior spot-lighting bldg	2,500.00	ILLUM005	ILLUMINATIONS USA	9/19/2018
001-1020-512-3400	OTHER CONTRACTUAL SERVICES	18-08514	9/28/2018		1	AYW CareerSource Payment	27,267.51	CAREE005	CAREERSOURCE CENTRAL FLORIDA	9/28/2018
001-1022-519-3100	PROFESSIONAL SERVICES	18-03642	2/14/2018		1	Engineer Roof Assessment FS 4	2,850.00	GARLA005	GARLAND/DBS, INC.	2/14/2018
001-1022-519-3400	OTHER CONTRACTUAL SERVICES	18-07582	8/9/2018		1	City Hall (ADM 3) Clean Carpet	2,850.00	JANIK005	JANI- KING OF ORLANDO	8/9/2018
001-1022-519-3400	OTHER CONTRACTUAL SERVICES	18-07582	8/9/2018		2	City Hall (ADM 3) Clean Tile	950.00	JANIK005	JANI- KING OF ORLANDO	8/9/2018
001-1022-519-4600	REPAIR & MAINT.-BLDG & EQUIP	18-00390	10/13/2017		1		750.00	T3CUS005	T3 CUSTOM FABRICATION, INC.	10/13/2017
001-1022-519-4600	REPAIR & MAINT.-BLDG & EQUIP	18-02164	12/14/2017		2		164.00	GRAIN005	GRAINGER	12/14/2017
001-1022-519-4600	REPAIR & MAINT.-BLDG & EQUIP	18-04469	4/3/2018		6	Blanket	90.31	GRAIN005	GRAINGER	4/3/2018
001-1022-519-4600	REPAIR & MAINT.-BLDG & EQUIP	18-04867	4/23/2018		1	Fire Station #1 Ice Maker	520.00	SERVCO05	SERVCO APPLIANCE SALES& SERVIC	4/23/2018
001-1022-519-4600	REPAIR & MAINT.-BLDG & EQUIP	18-06312	6/5/2018		1	FI/IT Side Door	818.00	DYNAP005	DYNAFIRE, INC	6/5/2018
001-1022-519-6300	INFRASTRUCTURE	17-04030	5/10/2017	Y	177	Security and Fire Alarm System	21,551.34	SPACE015	SPACE COAST FIRE AND SAFETY	5/10/2017
001-1030-512-3400	OTHER CONTRACTUAL SERVICES	18-07377	7/31/2018		2	Recodification of Code	7,582.03	MUNIC005	MUNICIPAL CODE CORPORATION	7/31/2018
001-1030-512-3400	OTHER CONTRACTUAL SERVICES	18-07377	7/31/2018		3	Recodification of Code	450.00	MUNIC005	MUNICIPAL CODE CORPORATION	7/31/2018
001-1030-512-3400	OTHER CONTRACTUAL SERVICES	18-07377	7/31/2018		4	Recodification of Code	9,797.97	MUNIC005	MUNICIPAL CODE CORPORATION	7/31/2018
001-1120-513-6200	BUILDINGS	18-08515	9/28/2018		1	2 ADDITIONAL OFFICE SPACE FIN	2,480.00	BAWAG005	B.A. WAGNER, INC	9/28/2018
001-1120-513-6200	BUILDINGS	18-08515	9/28/2018		2	2 ADDITIONAL OFFICE AC/ELEC	600.00	BAWAG005	B.A. WAGNER, INC	9/28/2018
001-1120-513-6200	BUILDINGS	18-08515	9/28/2018		3	CONTINGENCY	308.00	BAWAG005	B.A. WAGNER, INC	9/28/2018
001-1120-513-6400	EQUIPMENT AND MACHINERY	18-08486	9/27/2018		1	FINANCE SPACE SAVING FILE SYST	4,150.00	TIGER020	TIGERMEDICAL	9/27/2018
001-1170-513-3100	PROFESSIONAL SERVICES	17-06561	9/27/2017	Y	1	C&C STUDY	25,000.00	MGTCO05	MGT CONSULTING GROUP	9/27/2017
001-2120-522-4400	RENTALS AND LEASES	18-07240	7/26/2018		4	Temporary Station 6	1,572.35	IBERI005	IBERIA BANK	7/26/2018
001-2120-522-6200	BUILDINGS	18-06143	5/24/2018		2	FD 4 Roof Relacement	16,733.00	GARLA005	GARLAND/DBS, INC.	5/24/2018
001-2120-522-6400	EQUIPMENT AND MACHINERY	18-00474	10/18/2017		3	Quint 6 for Station 6	350,218.00	ROSEN015	ROSENBAUER SOUTH DAKOTA, LLC	10/18/2017
001-2120-522-6400	EQUIPMENT AND MACHINERY	18-07209	7/25/2018		1	Mid Mount Tower Truck	1,018,702.00	ROSEN015	ROSENBAUER SOUTH DAKOTA, LLC	7/25/2018
001-2120-522-6400	EQUIPMENT AND MACHINERY	18-07362	7/30/2018		1	Tower Truck Equipment	22,000.00	MUNIC010	MUNICIPAL EQUIPMENT COMPANY	7/30/2018
001-2120-522-6400	EQUIPMENT AND MACHINERY	18-07363	7/30/2018		1	Tower Truck Equipment	51,931.00	MUNIC015	MUNICIPAL EMERGENCY SERVICES	7/30/2018
001-2120-522-6400	EQUIPMENT AND MACHINERY	18-08358	9/18/2018		1	Cables for Radio System	1,152.00	MOTOR010	MOTOROLA SOLUTIONS, INC.	9/18/2018
001-2130-526-4600	REPAIR & MAINT.-BLDG.& EQUIPMENT	18-07734	8/17/2018		1	Mass Casulty Floor Mounts	5,248.80	STRYK005	STRYKER SALES CORPORATION	8/17/2018
001-2130-526-6400	EQUIPMENT AND MACHINERY	18-07208	7/25/2018		1	Life Support Ambulance	176,250.00	REVRT005	REV RTC, INC.	7/25/2018
001-3612-572-4600	REPAIRS & MAINT. - BLDG.& EQUIPMENT	18-06531	6/22/2018		2	Irrigation repairs / lightning	50.65	TWCDI005	TWC DISTRIBUTORS	6/22/2018
001-3613-572-3100	PROFESSIONAL SERVICES	18-08522	9/28/2018		1	Task 1. Estimating	3,360.00	CH2MH005	CH2M HILL ENGINEERS INC	9/28/2018
001-3613-572-3100	PROFESSIONAL SERVICES	18-08522	9/28/2018		2	Task 2. Bidding Service	4,820.00	CH2MH005	CH2M HILL ENGINEERS INC	9/28/2018
001-3613-572-3100	PROFESSIONAL SERVICES	18-08522	9/28/2018		3	Task 3. Construction	26,790.00	CH2MH005	CH2M HILL ENGINEERS INC	9/28/2018
001-4020-515-3100	PROFESSIONAL SERVICES	18-02674	1/11/2018		10	Prof Ser Con't LDC Amendment	5,999.99	CLARI005	CLARION ASSOCIATES, LLC	1/11/2018
001-4020-515-3100	PROFESSIONAL SERVICES	18-02674	1/11/2018		11	Prof Ser Con't LDC Amendment	19,780.31	CLARI005	CLARION ASSOCIATES, LLC	1/11/2018
001-5110-519-3400	OTHER CONTRACTUAL SERVICES	18-08437	9/25/2018		1	IBM MaaS360 License Renewal	5,940.00	IBMCO005	INTERNATIONAL BUSINESS MACHINE	9/25/2018
001-5110-519-6300	INFRASTRUCTURE	18-08583	9/30/2018		1	WIFI ACCESS POINTS AT NWREC	14,500.00	RAPID005	RAPID SYSTEMS	9/30/2018
001-5110-519-6800	INTANGIBLE ASSETS	18-03876	2/26/2018		7	CIMS Cloud Implementation	1,687.50	RAMAK005	RAMAKER & ASSOCIATES, INC.	2/26/2018
001-5110-519-6800	INTANGIBLE ASSETS	18-03876	2/26/2018		8	CIMS Cloud Implementation	1,687.50	RAMAK005	RAMAKER & ASSOCIATES, INC.	2/26/2018
001-5110-519-6800	INTANGIBLE ASSETS	18-03876	2/26/2018		9	CIMS Cloud Implementation	650.00	RAMAK005	RAMAKER & ASSOCIATES, INC.	2/26/2018
001-5110-519-6800	INTANGIBLE ASSETS	18-03876	2/26/2018		10	CIMS Cloud Implementation	1,010.00	RAMAK005	RAMAKER & ASSOCIATES, INC.	2/26/2018
101-3412-541-4600	REPAIR & MAINT.-BLDG.& EQUIPMENT	18-08364	9/19/2018		1	#767-D Vantage TS2 IM	3,045.15	ITERI005	ITERIS, INC	9/19/2018
101-3412-541-4600	REPAIR & MAINT.-BLDG.& EQUIPMENT	18-08364	9/19/2018		2	#765 Iteris Vantage Edge 2	7,272.00	ITERI005	ITERIS, INC	9/19/2018
101-3412-541-4600	REPAIR & MAINT.-BLDG.& EQUIPMENT	18-08364	9/19/2018		3	#771 Iteris Vantage SmartSpan	3,918.80	ITERI005	ITERIS, INC	9/19/2018
101-3412-541-4600	REPAIR & MAINT.-BLDG.& EQUIPMENT	18-08364	9/19/2018		4	767-B Vantage TS-1 Rack	555.50	ITERI005	ITERIS, INC	9/19/2018
101-3412-541-5200	OPERATING SUPPLIES	18-02149	12/14/2017		4	Blanket PO for Sod	189.00	LAKEI005	LAKE JEM FARMS INC.	12/14/2017
101-3412-541-6400	EQUIPMENT AND MACHINERY	18-02656	1/11/2018		5	2Y Support for Warrants 10	82.35	TRAFF005	TRAFFICWARE, LLC	1/11/2018
101-3412-541-6400	EQUIPMENT AND MACHINERY	18-02656	1/11/2018		6	Synchro plus SimTraffic 10	329.90	TRAFF005	TRAFFICWARE, LLC	1/11/2018
101-3412-541-6400	EQUIPMENT AND MACHINERY	18-03656	2/14/2018		1	Backup Camera for 37-1878	1,341.82	MAUDL005	MAUDLIN INTERNATIONAL	2/14/2018
101-3414-541-3400	OTHER CONTRACTUAL SERVICES	18-01347	11/9/2017		16	Inmate Program-Blanket W109501	14,877.25	DEPTO005	DEPT. OF CORRECTIONS	11/9/2017
102-3413-541-3100	PROFESSIONAL SERVICES	18-03965	3/5/2018		2	Traffic Study - NW Rec Cir	3,068.75	LUKET005	LUKE TRANSPORTATION ENGINEERIN	3/5/2018
102-3413-541-3112	TRAFFIC COUNTS	18-00502	10/20/2017		4	2017 Trans Concurency	1,040.00	LUKET005	LUKE TRANSPORTATION ENGINEERIN	10/20/2017



**EXHIBIT B  
CITY OF APOPKA**

**FISCAL YEAR 2018 PURCHASE ORDER CARRY FORWARDS INTO FISCAL YEAR 2019**

Account	Description	PO #	PO Date	Prior Year Line	Item	Item Description	Amount	Vendor #	Vendor Name	First Enc Date
102-3413-541-6300	IMPROVEMENTS OTHER THAN BLDGS.	17-04928	7/11/2017		7	6th St. - Geo tech Testing	224.55	UNIVE035	UNIVERSAL ENGINEERING SCIENCES	11/6/2017
102-3413-541-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-07541	8/7/2018		4	Town Center Roadway Design	137,627.03	TAUR005	TAURUS APOPKA CITY CENTER	8/7/2018
102-3413-541-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-07541	8/7/2018		5	Town Center Roadway Design	0.10	TAUR005	TAURUS APOPKA CITY CENTER	8/7/2018
102-3413-541-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-08623	9/30/2018		1	Vick & Martin Road Improvement	163,300.00	CITY005	CITY OF APOPKA	9/30/2018
104-3614-572-6300	IMPROVEMENTS OTHER THAN BLDGS.	17-04005	5/8/2017		14	Engineering Svcs.	816.00	BOOTH010	BOOTH, ERN, STRAUGHAN & HIOTT	1/17/2018
104-3614-572-6300	IMPROVEMENTS OTHER THAN BLDGS.	17-04005	5/8/2017	Y	15	Engineering Svcs.	4,056.00	BOOTH010	BOOTH, ERN, STRAUGHAN & HIOTT	5/8/2017
104-3614-572-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-04553	4/10/2018		10	KLN Splash Pad	4,988.50	FREEP005	FREEPORT FOUNTAINS, LLC	4/10/2018
120-3151-538-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-04744	4/18/2018		2	24" CMP Replacement Lk Marion	764.14	PROVI005	PROVIDENCE CONSTRUCTION & DEVE	4/18/2018
150-1020-512-5200	OPERATING SUPPLIES - HEROES & APOPKA	18-07684	8/13/2018		3	HEROES Supplies	9.25	IBERI005	IBERIA BANK	8/13/2018
150-1020-512-5200	OPERATING SUPPLIES - HEROES & APOPKA	18-07684	8/13/2018		4	HEROES Supplies FYE 18 CO	360.00	IBERI005	IBERIA BANK	9/30/2018
150-1020-512-5210	OPERATING SUPPLIES - SUMMER YOUTH	18-08624	9/30/2018		1	Dollar Wise FYE 18 Carry Over	547.48	CITY005	CITY OF APOPKA	9/30/2018
150-3514-572-6200	RECREATION ATHL PARKS AND RECRE	18-08368	9/19/2018		2	15% Approved Drawings	52,374.75	BIGSP005	BIG SPAN STRUCTURES, LLC	9/19/2018
150-3514-572-6200	RECREATION ATHL PARKS AND RECRE	18-08368	9/19/2018		3	25% Receipt of Materials	87,291.25	BIGSP005	BIG SPAN STRUCTURES, LLC	9/19/2018
150-3514-572-6200	RECREATION ATHL PARKS AND RECRE	18-08368	9/19/2018		4	30% Delivery to Premises	104,749.50	BIGSP005	BIG SPAN STRUCTURES, LLC	9/19/2018
150-3514-572-6200	RECREATION ATHL PARKS AND RECRE	18-08368	9/19/2018		5	20% Substantial Completion	69,833.00	BIGSP005	BIG SPAN STRUCTURES, LLC	9/19/2018
150-3514-572-6304	IMPROVEMENTS - RECREATION APOPKA AAC	18-08625	9/30/2018		1	AAC FRDAP FYE18 Carry Over	50,000.00	CITY005	CITY OF APOPKA	9/30/2018
150-3613-572-6200	ALONZO WILLIAMS COMMUNITY CENTER (CDBG)	18-01160	10/31/2017		10	BLANKET CONTRACT CHANGE ORDER	35,500.00	FREDF005	FRED FOX ENTERPRISES, INC.	11/1/2017
150-3613-572-6200	ALONZO WILLIAMS COMMUNITY CENTER (CDBG)	18-08590	9/30/2018		1	ASBESTOS SURVEY WILLIAMS PARK	1,600.00	UNIVE035	UNIVERSAL ENGINEERING SCIENCES	9/30/2018
150-3613-572-6200	ALONZO WILLIAMS COMMUNITY CENTER (CDBG)	18-08626	9/30/2018		1	ALONZO WILLIAMS CDBG FYE18 CO	696,601.16	CITY005	CITY OF APOPKA	9/30/2018
150-3613-572-6303	IMPROVEMENTS - KITLAND PARK (FRDAP)	18-08620	9/30/2018		1	A-FRAME PICNIC TABLE	4,354.00	RJTH005	RJ THOMAS MFG CO INC	9/30/2018
150-3613-572-6303	IMPROVEMENTS - KITLAND PARK (FRDAP)	18-08621	9/30/2018		1	BENCHES	5,574.89	PRIDE005	PRIDE ENTERPRISES	9/30/2018
150-3613-572-6303	IMPROVEMENTS - KITLAND PARK (FRDAP)	18-08627	9/30/2018		1	KITLAND PARK FRDAP FYE 18 CO	2,556.28	CITY005	CITY OF APOPKA	9/30/2018
150-3613-572-6304	IMPROVEMENTS-RECREATION TRAILS KITLAND	18-08494	9/27/2018		7	KLN Trails Change order #1	6,416.65	SMITH080	SMITH BROOMFIELD & HOWARD	9/27/2018
150-3613-572-6304	IMPROVEMENTS-RECREATION TRAILS KITLAND	18-08494	9/27/2018		8	KLN Trails Change order #2	1,674.00	SMITH080	SMITH BROOMFIELD & HOWARD	9/27/2018
150-3613-572-6304	IMPROVEMENTS-RECREATION TRAILS KITLAND	18-08494	9/27/2018		9	KLN Trails Change order #3	3,556.80	SMITH080	SMITH BROOMFIELD & HOWARD	9/27/2018
150-3613-572-6304	IMPROVEMENTS-RECREATION TRAILS KITLAND	18-08494	9/27/2018		10	KLN Trails Project & Grant	41,082.77	SMITH080	SMITH BROOMFIELD & HOWARD	9/27/2018
150-3613-572-6304	IMPROVEMENTS-RECREATION TRAILS KITLAND	18-08494	9/27/2018		11	KLN Trails Project & Grant	39,608.13	SMITH080	SMITH BROOMFIELD & HOWARD	9/27/2018
150-3613-572-6304	IMPROVEMENTS-RECREATION TRAILS KITLAND	18-08618	9/30/2018		1	KITLAND NELSON TRAILS GRANT	630.00	UNIVE035	UNIVERSAL ENGINEERING SCIENCES	9/30/2018
150-3613-572-6304	IMPROVEMENTS-RECREATION TRAILS KITLAND	18-08619	9/30/2018		1	CURB STOPS	2,974.40	CITY005	CITY OF APOPKA	9/30/2018
150-3613-572-6304	IMPROVEMENTS-RECREATION TRAILS KITLAND	18-08628	9/30/2018		1	KITLAND TRAILS FYE18 CO	9,029.29	CITY005	CITY OF APOPKA	9/30/2018
401-3010-539-6400	EQUIPMENT AND MACHINERY	18-02497	12/29/2017		7	Office Furniture	1,358.38	COMME015	COMMERCIAL DESIGN SERVICES	12/29/2017
401-3111-533-6300	IMPROVEMENTS OTHER THAN BLDGS.	17-03739	4/25/2017	Y	8	MPL Well #1 Modif. Design	88,319.73	REISS005	REISS ENGINEERING INC	4/25/2017
401-3111-533-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-01929	12/7/2017		9	Mt Plymouth Well #4 Design	11,377.50	REISS005	REISS ENGINEERING INC	12/7/2017
401-3111-533-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-01929	12/7/2017		10	Mt Plymouth Well #4 Design	74,791.50	REISS005	REISS ENGINEERING INC	12/7/2017
401-3111-533-6400	EQUIPMENT AND MACHINERY	18-07174	7/24/2018		1	300 kW Generator with Install	99,222.00	TRADEF020	TRADEWINDS POWER CORPORATION	7/24/2018
401-3111-533-6400	EQUIPMENT AND MACHINERY	18-08284	9/13/2018		1	Grossenbacher WTP upgrade	32,319.91	COREM005	CORE & MAIN LP	9/13/2018
401-3111-533-6400	EQUIPMENT AND MACHINERY	18-08284	9/13/2018		2	Grossenbacher WTP upgrade	2,170.00	COREM005	CORE & MAIN LP	9/13/2018
401-3111-533-6400	EQUIPMENT AND MACHINERY	18-08284	9/13/2018		3	Grossenbacher WTP upgrade	844.42	COREM005	CORE & MAIN LP	9/13/2018
401-3111-533-6400	EQUIPMENT AND MACHINERY	18-08284	9/13/2018		4	Grossenbacher WTP upgrade	4,832.63	COREM005	CORE & MAIN LP	9/13/2018
401-3111-533-6400	EQUIPMENT AND MACHINERY	18-08284	9/13/2018		5	Grossenbacher WTP upgrade	5,571.69	COREM005	CORE & MAIN LP	9/13/2018
401-3131-536-4300	UTILITY SERVICES	18-07542	8/7/2018		2	Land Fill Charges	1,359.10	MIDFL010	MID FLORIDA MATERIALS	8/7/2018
401-3131-536-6400	EQUIPMENT AND MACHINERY	18-02475	12/27/2017		3	Construction trailers	156.00	DTRCK005	DELAND TRUCK CENTER, INC	12/27/2017
401-3141-533-5200	OPERATING SUPPLIES	18-06719	6/27/2018		1	Prorated Year 11	2,332.00	COREM005	CORE & MAIN LP	6/27/2018
401-3141-533-5200	OPERATING SUPPLIES	18-06719	6/27/2018		2	Prorated Year 12	12,118.68	COREM005	CORE & MAIN LP	6/27/2018
401-3141-533-5200	OPERATING SUPPLIES	18-06719	6/27/2018		3	Prorated Year 14	225.00	COREM005	CORE & MAIN LP	6/27/2018
401-3141-533-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-06386	6/8/2018		1	Vaccon Debris Dumping	1,500.00	TANKS005	SHELLEY'S SEPTIC TANKS	6/8/2018
401-3141-533-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-06499	6/20/2018		2	Drill Mud removal Orange St.	877.73	PETRO010	PETROTECH SOUTHEAST, INC.	6/20/2018
401-3141-533-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-08592	9/30/2018		4	STUTZMAN CT WATER MAIN EXTENSI	91,638.00	STAGE010	STAGE DOOR II, INC.	9/30/2018
401-3141-533-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-08592	9/30/2018		5	STUTZMAN CT WATER MAIN EXTENSI	60,220.00	STAGE010	STAGE DOOR II, INC.	9/30/2018
401-3141-533-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-08592	9/30/2018		6	STUTZMAN CT WATER MAIN EXTENSI	6,594.00	STAGE010	STAGE DOOR II, INC.	9/30/2018
401-3141-533-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-08622	9/30/2018		1	STUTZMANS COUT PWS EXTENSION	32,055.00	CITY005	CITY OF APOPKA	9/30/2018
401-3141-533-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-08629	9/30/2018		1	STUTZMANS PROJECT FYE 18 CO	31,211.00	CITY005	CITY OF APOPKA	9/30/2018
401-3141-533-6400	EQUIPMENT AND MACHINERY	18-02513	12/29/2017		1	FORD F350 4X4 EXT CAB UTILITY	43,331.00	COGG1005	ASHBURY JAX FORD, LLC	12/29/2017
401-3161-533-4700	PRINTING SERVICES	18-04921	4/26/2018		126	UTILITY BILLING	13,313.81	MUNIC005	MUNICIPAL CODE CORPORATION	4/26/2018

**EXHIBIT B  
CITY OF APOPKA**

**FISCAL YEAR 2018 PURCHASE ORDER CARRY FORWARDS INTO FISCAL YEAR 2019**

Account	Description	PO #	PO Date	Prior Year Line	Item	Item Description	Amount	Vendor #	Vendor Name	First Enc Date
401-3171-535-5500	TRAINING	18-03788	2/23/2018		1	Joseph/Tyler training	300.00	ROADM005	ROADMASTER DRIVERS SCHOOL	2/23/2018
401-3171-535-6300	IMPROVEMENTS OTHER THAN BLDGS.	18-07539	8/7/2018		2	Zellwin Farms sewer meter	135.40	COREM005	CORE & MAIN LP	8/7/2018
401-3181-536-4600	REPAIR & MAINT.-BLDG.& EQUIPMENT	18-05107	5/3/2018		1	Keene Rd. Asphalt depression	1,000.00	MIDDLE005	MIDDLESEX CORPORATION, THE	5/3/2018
401-3181-536-4600	REPAIR & MAINT.-BLDG.& EQUIPMENT	18-07688	8/13/2018		1	blanket for asphalt	2,000.00	ORLAN015	ORLANDO PAVING CO	8/13/2018
401-3191-535-6400	EQUIPMENT AND MACHINERY	18-05063	4/30/2018		1	LS #077 350kW Generator	79,088.00	ZABAT005	ZABATT, INC.	4/30/2018
401-3191-535-6400	EQUIPMENT AND MACHINERY	18-05063	4/30/2018		2	Change Order #1	2,860.00	ZABAT005	ZABATT, INC.	9/30/2018
401-3191-535-6400	EQUIPMENT AND MACHINERY	18-06408	6/12/2018		1	LS #025 Control Panel	8,150.00	STAC0005	STA CON, LLC	6/12/2018
401-3191-535-6400	EQUIPMENT AND MACHINERY	18-06408	6/12/2018		2	LS #041 Control Panel	7,600.00	STAC0005	STA CON, LLC	6/12/2018
401-3191-535-6400	EQUIPMENT AND MACHINERY	18-07178	7/24/2018		1	LS #017 Pump Installation	10,749.00	MICH1005	MICHIGAN ST. PUMP & ELECTRIC M	7/24/2018
402-3210-534-4700	PRINTING SERVICES	18-07749	8/17/2018		1	Recycle calendar magnet printi	4,246.00	MAGNE005	MAGNETIC ATTRACTION INC.	8/17/2018
403-3113-533-6300	IMPROVE OTHER THAN BLDGS	18-04065	3/12/2018		6	Grossenbacher Well 1 Design	127,535.00	REISS005	REISS ENGINEERING INC	3/12/2018
403-3113-533-6300	IMPROVE OTHER THAN BLDGS	18-06126	5/24/2018		18	Potable Water Master Plan	6,362.00	WRIGH040	WRIGHT-PIERCE	5/24/2018
403-3113-533-6300	IMPROVE OTHER THAN BLDGS	18-06126	5/24/2018		20	Potable Water Master Plan	5,118.00	WRIGH040	WRIGHT-PIERCE	5/24/2018
403-3113-533-6300	IMPROVE OTHER THAN BLDGS	18-06126	5/24/2018		23	Potable Water Master Plan	25,788.33	WRIGH040	WRIGHT-PIERCE	5/24/2018
403-3113-533-6300	IMPROVE OTHER THAN BLDGS	18-08270	9/11/2018		6	Change Order #1	4,609.33	ATLAN010	ATLANTIC CONCRETE & MECHANICAL	9/30/2018
403-3113-533-6300	IMPROVE OTHER THAN BLDGS	18-08270	9/11/2018		7	Golden Gem Reclaim Pipe Instal	27,019.67	ATLAN010	ATLANTIC CONCRETE & MECHANICAL	9/11/2018
403-3113-533-6300	IMPROVE OTHER THAN BLDGS	18-08271	9/11/2018		6	Well drilling Mt Plymouth	62,460.00	APPL1015	APPLIED DRILLING ENGINEERING	9/11/2018
403-3113-533-6300	IMPROVE OTHER THAN BLDGS	18-08271	9/11/2018		8	Well drilling Mt Plymouth	24,984.00	APPL1015	APPLIED DRILLING ENGINEERING	9/11/2018
403-3113-533-6300	IMPROVE OTHER THAN BLDGS	18-08271	9/11/2018		9	Well drilling Mt Plymouth	981,076.00	APPL1015	APPLIED DRILLING ENGINEERING	9/11/2018
403-3115-535-6300	IMPROVE OTHER THAN BLD.	00129244	4/13/2016	Y	2	IMPROVEMENTS OTHER THAN BUILDI	14,250.00	ECOLO005	ECOLOGICAL CONSULTING SOLUTION	4/13/2016
403-3115-535-6300	IMPROVE OTHER THAN BLD.	00129244	4/13/2016	Y	3	IMPROVE OTHER THAN BLD.	6,047.00	ECOLO005	ECOLOGICAL CONSULTING SOLUTION	4/13/2016
403-3115-535-6300	IMPROVE OTHER THAN BLD.	17-05623	8/2/2017	Y	7	RWS Extension Ocoee Apopka Rd	35,081.40	PROV1005	PROVIDENCE CONSTRUCTION & DEVE	8/2/2017
403-3115-535-6300	IMPROVE OTHER THAN BLD.	17-05624	8/2/2017	Y	7	RWS Ext. Ph3 Pipe Purchase	80,192.55	HDSU005	HD SUPPLY WATER WORKS, LTD.	8/2/2017
403-3115-535-6300	IMPROVE OTHER THAN BLD.	17-06572	9/29/2017	Y	1	Install 1sr Well - NW Park	24,365.00	PROV1005	PROVIDENCE CONSTRUCTION & DEVE	9/29/2017
403-3115-535-6300	IMPROVE OTHER THAN BLD.	17-06575	9/29/2017	Y	1	NWRC Irrigation Pumps Purchase	110,000.00	BARNE015	BARNEY'S PUMPS	9/29/2017
403-3115-535-6300	IMPROVE OTHER THAN BLD.	18-00288	10/10/2017		1	O.C. Permits/ Keene Rd.	4,847.66	ORANG010	BOARD OF COUNTY COMMISSIONERS,	10/10/2017
403-3115-535-6300	IMPROVE OTHER THAN BLD.	18-03777	2/23/2018		1	M.O.T. Flag Operation Keene Rd	1,260.00	FLASH005	FLASH-RITE, INC.	2/23/2018
403-3115-535-6300	IMPROVE OTHER THAN BLD.	18-03949	3/5/2018		1	Kenne Rd Repair-Geotech Serv	350.00	TERRA010	TERRACON CONSULTANTS, INC.	3/5/2018
403-3115-535-6300	IMPROVE OTHER THAN BLD.	18-04082	3/13/2018		4	Project No. 20170018	4,598.00	TETRA005	TETRA TECH INC.	3/13/2018
403-3115-535-6300	IMPROVE OTHER THAN BLD.	18-06126	5/24/2018		17	Reclaimed Water Master Plan	6,362.00	WRIGH040	WRIGHT-PIERCE	5/24/2018
403-3115-535-6300	IMPROVE OTHER THAN BLD.	18-06126	5/24/2018		19	Reclaimed Water Master Plan	5,118.00	WRIGH040	WRIGHT-PIERCE	5/24/2018
403-3115-535-6300	IMPROVE OTHER THAN BLD.	18-06126	5/24/2018		22	Reclaimed Water Master Plan	29,511.34	WRIGH040	WRIGHT-PIERCE	5/24/2018
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	00129754	5/25/2016	Y	30	IMPROVEMENTS OTHER THAN BUILDI	40,119.03	TETRA005	TETRA TECH INC.	5/25/2016
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	00129754	5/25/2016	Y	31	IMPROVE OTHER THAN BLDGS	822,307.81	TETRA005	TETRA TECH INC.	5/25/2016
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	00129754	5/25/2016	Y	32	IMPROVEMENTS OTHER THAN BUILDI	872,930.89	TETRA005	TETRA TECH INC.	5/25/2016
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	17-02849	3/10/2017	Y	2	Engineering & Start Up	5,900.00	GARDN005	GARDNER DENVER, INC.	3/10/2017
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	17-02849	3/10/2017	Y	3	Freight	2,820.00	GARDN005	GARDNER DENVER, INC.	3/10/2017
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	17-02849	3/10/2017	Y	4	Cast Iron Multistage Blowers	13,943.90	GARDN005	GARDNER DENVER, INC.	3/10/2017
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	17-05851	8/18/2017	Y	18	Field Svc Full Day Start Up	3,978.00	HACHC005	HACH COMPANY	8/18/2017
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	17-05851	8/18/2017	Y	19	Field Svc Hach S.U. Travel	404.00	HACHC005	HACH COMPANY	8/18/2017
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	18-00510	10/20/2018		9	Pipe, Fittings & Accessories	35,009.98	FERG0005	FERGUSON ENTERPRISES, INC.	10/20/2018
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	18-04856	4/23/2018		23	Golden Gem Rd. RWM pipe&Fittin	952.00	COREM005	CORE & MAIN LP	4/23/2018
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	18-04856	4/23/2018		24	Golden Gem Rd. RWM pipe&Fittin	13,661.23	COREM005	CORE & MAIN LP	4/23/2018
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	18-05790	5/8/2018		1	Pipe & Valves	7,059.00	COREM005	CORE & MAIN LP	5/8/2018
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	18-06126	5/24/2018		16	Wastewater Master Plan	6,362.00	WRIGH040	WRIGHT-PIERCE	5/24/2018
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	18-06126	5/24/2018		21	Wastewater Master Plan	42,335.33	WRIGH040	WRIGHT-PIERCE	5/24/2018
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	18-06546	6/22/2018		1	Cruise Car Utility Vehicle	20,798.00	CRUIS005	CRUISE CAR, INC.	6/22/2018
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	18-06896	7/5/2018		2	Retainage	241,400.00	KOML1005	KOMLINE-SANDERSON CORPORATION	7/5/2018
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	18-07006	7/13/2018		2	Retainage	25,485.00	KOML1005	KOMLINE-SANDERSON CORPORATION	7/13/2018
403-3123-535-6300	IMPROVE OTHER THAN BLDGS	18-08287	9/13/2018		1	Lab Eqp for new testing WWTP	3,136.86	ENVIR005	ENVIRONMENTAL EXPRESS	9/13/2018
410-4200-542-5250	FUEL - AIRPORT	18-08291	9/13/2018		1	Task 3	1,149.62	FRSEN005	FRS ENVIRONMENTAL REMEDIATION	9/13/2018
610-9950-515-3100	PROFESSIONAL SERVICES	18-04391	3/27/2018		2	Station St Prj Boundary Survey	350.00	SOUTH010	SOUTHEASTERN SURVEYING	3/27/2018
610-9950-515-3100	PROFESSIONAL SERVICES	18-04391	3/27/2018		3	Station St Prj Boundary Survey	896.00	SOUTH010	SOUTHEASTERN SURVEYING	3/27/2018
<b>Total 2018 Purchase Order Carry Overs</b>							<b>7,886,384.83</b>			

## **Kevin Becotte**

Kevin Becotte is a proven leader with 28 years of local government experience having served the citizens of Pinellas County for the past 18 years in several senior leadership positions. His most recent position was Director of Utilities Engineering where he managed a \$40 million annual capital improvement program. Prior to Pinellas County, Kevin previously served as the Director of Utilities for the City of Clearwater, the City Engineer for the City of Largo, and the Assistant City Engineer for the City of Delray Beach.

Kevin has experience with successfully managing large workforce teams consisting of licensed professionals, technicians, skilled laborers as well as administrative and financial team members. At Pinellas County, he managed engineering teams with up to 100 employees, and operations and maintenance departments consisting of 90 to 500 employees. He is highly skilled in organizing work efforts, and he has been successful at strategically guiding teams with the mission of providing outstanding public service.

Kevin received his Bachelor of Science Degree in Civil Engineering from the University of Central Florida and a Master of Public Administration Degree from the University of South Florida as well as a Bachelor of Science Degree with a focus on Accounting from Franklin Pierce College. He is a registered Professional Engineer in the State of Florida since 1995, and is active in the Florida Engineering Society where he has served in various roles and as an officer on several state and local boards and committees.

**SUMMARY**

A skilled leader with 28 years of government experience in Engineering and Utilities management of which, 20 years were in management roles leading teams to successfully complete capital projects. Has experience with successfully managing workforce teams consisting of licensed professionals, technicians, skilled and unskilled laborers as well as administrative and financial team members. Highly skilled in organizing work efforts and assigning work based on knowledge, skills, and abilities. Has the proven leadership skills needed to deliver projects on schedule and within budget by using innovative technical and financial strategies to meet organizational challenges. Passionate about mentoring and training team members to help others grow in their careers as they navigate through the organization. Empowers team members to make decisions to deliver cost effective solutions, and promotes a culture focused on teamwork to deliver superior customer service.

**EXPERIENCE**

**Pinellas County, Clearwater, FL**

**2000 – 2018**

Eighteen years serving the citizens of Pinellas County in several responsible Professional Engineering and Utilities Operations positions.

***Director of Utilities Engineering (2½ years)***

Duties and Responsibilities:

- Managed 28 employees responsible for planning, design, and construction of \$40 million of projects in the Utilities 2018 Capital Improvement Program.
- Provided engineering design services to Utilities with a focus on renewal and replacement to support the Operations and Maintenance Divisions.

Accomplishments:

- Reorganized the Engineering Division with a focus on Asset Management by creating two planning sections and two production sections aligned to address horizontal and vertical assets.
- Partnered with local municipalities and assigned staff to perform outreach in order to better serve the community.
- Initiated an Inflow & Infiltration flow monitoring program, and a sewer forcemain and air release valve (ARV) condition assessment program.
- Completed the construction of several major forcemain projects.

***Director of Engineering (1½ years)***

Duties and Responsibilities:

- Managed 100 employees responsible for planning, design, and construction of \$85 million of projects in the County’s 2016 Capital Improvement Program.

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- Provide engineering design services to four operating departments including Public Works, Utilities, Parks, and Solid Waste.

### Accomplishments:

- Reorganized the department and hired several Professional Engineers to fill strategic positions.
- Strengthened relationships with the operating departments by strategically organizing business units assigned to assist with renewal and replacement of assets.
- Partnered with USF to initiate an Infiltration Study of the wastewater system.

### *Operations Manager (2½ years)*

#### Duties and Responsibilities:

- Managed 93 employees responsible for the operation of two Water Reclamation Facilities (33 MGD and 9 MGD), 300 wastewater pump stations, a Water Treatment and Pumping Facility, and five water booster pump stations.

#### Accomplishments:

- Renegotiated the reclaimed water wholesale purchase contract with the City of Clearwater.
- Coordinated the design for the relocation of the two points of connection with Tampa Bay Water, the regional water supplier.
- Coordinated the renewal of a Bio-solids pelletizing contract with Synagro.
- Developed an RFP and finalized the contract for the private operation of the County's fats, oil, and grease (FOG) facility.
- Completed an assessment of the Indian Rocks Beach Sewer System to negotiate acquisition.

### *Interim Director of Utilities (1 ¾ years)*

#### Duties and Responsibilities:

- Performed executive management of six operating divisions (Finance, Customer Service, Engineering, Facility Operations, General Maintenance, and Solid Waste) with 500 employees, an operating budget of \$200 million, and a six year capital budget of \$400 million.
- Responsible for the operation of two Water Reclamation Facilities and a Water Treatment and Pumping Facility; maintenance of over 3,500 miles of water, sewer and reclaimed water pipelines; and operation of a 3,000 ton per day Waste to Energy facility with a permitted 75 Mega Watt capacity.
- Responsible for making presentations to the Board of County Commissioners.

#### Accomplishments:

- Implemented a Backflow Fee to test and maintain backflows.
- Negotiated a Joint Project Agreement with Tampa Bay Water, the regional water supplier, to jointly participate in the improvements to a 55+ year old Water Supply and Pumping Facility.
- Coordinated the repairs of a major 48" water main break two days before Christmas including regular media updates.



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***Assistant Director of Utilities (1¾ years)***

Duties and Responsibilities:

- Responsible for the operations of the Utilities Department water and sewer operations including oversight of two operating departments (General Maintenance and Operations) as well as two service departments (Customer Services and Alternate Water).
- Responsible for contracts associated with the land management of a 12,500 acre parcel (ranch) owned by the water system including wildlife management, pine straw and pine timber sales, and an education center.

Accomplishments:

- Completed an update of customer Fees and Charges that were last reviewed in 1987.
- Coordinated the transfer of easements for well field access to Tampa Bay Water, the regional wholesale water supplier.

***Division Engineer/Assistant Director of Utilities Engineering (3 ¼ years)***

Duties and Responsibilities:

- Assisted with the administration and management for Utilities Engineering including technical and financial coordination of a six year \$400 million Capital Improvement Program.
- Coordinated a Reclaimed Water expansion program with 12 projects totaling over \$42 million.
- Managed the GIS and CAD as well as in-house design of water and sewer projects.

Accomplishments:

- Implemented a top down Asset Management Program to identify the consequences and likelihood of asset failure with the ultimate goal of balancing asset risk.
- Developed a sanitary sewer preventative maintenance program and completed a Capacity, Management, Operation, and Maintenance (CMOM) report submitted to EPA in June 2006.
- Expanded the gravity sewer CIPP lining program.
- Initiated a 20 year renewal and replacement program for wastewater pump stations.

***Division Director of Utilities General Maintenance (1½ years)***

Duties and Responsibilities:

- The General Maintenance Division has 175 employees comprising four sections and an operating budget of \$16 million.
- Responsible for the maintenance and repairs of the water, sewer, and reclaimed systems consisting of 3,500 miles of pipelines.

Accomplishments:

- Developed a Career Ladder opportunity for field staff with promotions based on skill levels.
- Reorganized the Locates team in response to changes implemented by Florida One Call.
- Created a special six person team to provide timely responses to the six contractors replacing 120 miles of galvanized water mains.
- Created the Employee of the Quarter award and nominated several employees as eventual winners of the County Administrator's Gold and Silver awards.
- Organized employee teams to bid and compete with contractors on construction projects.

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*Senior Engineer (3 years)*

Duties and Responsibilities:

- Managed the expansion of the County's two reclaimed water distribution systems consisting of eighteen projects ranging from \$0.5 million to \$13 million with a total value of \$75 million.
- Represented the County Utility Department as the program coordinator for FDOT utility relocation projects.
- Served as project manager for the Unidirectional Flushing Program, which included the hydraulic modeling and flushing of over 1,750 miles of water distribution mains.

**City of Clearwater, FL**

**1998 – 2000**

*Director of Public Utilities*

Duties and Responsibilities:

- Served a population of over 100,000 with an estimated 36,000 water and wastewater customers with an operating budget of \$34 million.
- Managed four divisions with 154 employees including a water system with 500 miles of water mains and a daily flow of 15 MGD, and a wastewater system with 400 miles of gravity sewer and force mains, 75 pump stations, and three advanced wastewater treatment plants with a total capacity of 28.5 MGD and an average daily flow of 16 MGD.

Accomplishments:

- Completed development of a 20-year Master Plan for a reclaimed water system expansion.
- Initiated a Sanitary Sewer Evaluation Study to model the wastewater collection system, and evaluate wet and dry weather flows to determine areas needing improvements.
- Developed a \$10 million-five year plan to renew and replace 25 pump stations.
- Initiated a rate study that included a rate structure evaluation to determine rate equity for utility customers with emphasis on differences between residential and commercial/industrial customers by evaluating the base rate and the consumption rate.
- Implemented an Industrial Pretreatment Program to permit categorical industrial discharges into the wastewater system, and expanded this program to include a grease ordinance.
- Coordinated the design completion of a \$9.4 million expansion for a 13.5 MGD wastewater treatment facility, and a state of the art Laboratory Facility for water and wastewater monitoring.
- Reorganized the Public Utilities Department and implemented team building programs such as 4/10 work weeks, self-directed work teams, and customer quality programs.

**City of Largo, FL**

**1996 – 1998**

*City Engineer*

Duties and Responsibilities:

- Performed project management for consultant designed projects, and site plan review for developments within the City.
- Developed the Engineering operations budget as well as the Capital Improvement Program budget for streets and drainage projects.
- Acted as the liaison with Pinellas County, Water Management District, FDOT, and other agencies involved in cooperative projects with the City.

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- Made detailed presentations to the City Commission and tracked projects by preparing weekly, monthly, and annual reports.

Accomplishments:

- Served as the program manager during the design phase for the downtown district improvements, which included projects totaling over \$10 million consisting of a major drainage collection system and pond, and widening of a State road.
- Developed minimum construction standards and managed multiple engineering capital projects including the County's first Alum stormwater treatment pond and the City's first mast arm traffic signal.

**City of Delray Beach, FL**

**1992 - 1996**

*Assistant City Engineer/Chief Design Engineer (2 years)*

*Civil Engineer I & II (2 years)*

Duties and Responsibilities:

- Managed the in-house engineering design group and provided project management and design of water and sewer systems and various other Public Works projects.
- Evaluated project scope, scheduled site surveys, performed engineering calculations, designed site plans, prepared preliminary cost estimates, applied for permits, and completed construction specifications required to provide bid ready sets of construction plans and contract documents.

Accomplishments:

- Completed several major projects as the Chief Design Engineer including a \$4.5 million Downtown Drainage project requiring extensive modeling for the Water Management District, and a \$2.6 million widening of a minor arterial road using FDOT standards.

**EDUCATION**

- Master of Public Administration                      University of South Florida, Tampa, Florida
- Bachelor of Science, Civil Engineering              University of Central Florida, Orlando, Florida
- Bachelor of Science, Accounting                      Franklin Pierce College, Rindge, New Hampshire

**PROFESSIONAL REGISTRATIONS AND AFFILIATIONS**

- State of Florida Professional Engineer (48800)
- Florida Engineering Society (FES),
  - Pinellas Chapter Past President
  - Pinellas Chapter State Director
  - Florida Professional Engineer's in Government (FPEG) – Treasurer/Secretary
- Florida Water Environment Association (FWEA), Committee Chair
- NSPE, ASCE, AWWA, WEF

**AWARDS**

- 2007 Government Engineer of the Year              (Florida Engineering Society Pinellas Chapter)
- 2008 Engineer of the Year                              (Florida Engineering Society Pinellas Chapter)